



City of Lakewood  
Department of Housing  
and Building

City of Lakewood, Ohio  
12650 Detroit Ave.  
Lakewood, OH 44107  
(216) 529-6270  
building.permits@lakewoodoh.gov

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## Fence Packet

June 2024

### **Required Items:**

1. Building Permit Application. (See attached)
2. Site Plan. Birds eye view of the property showing where the fence will be placed. Must have property lines, existing buildings, existing fence, and proposed fence. (Can be hand drawn but must be legible) (See attached)
3. "Owner Acknowledgement of Property Line" form signed by the homeowner. (See attached)
4. A neighbor notification must be sent to the neighbor advising them of the fence installation. This is required when installing/removing and replacing a fence. (See attached)
5. When constructing a new fence, mark the location of the new fence by attaching string to a temporary post showing where the fence will be installed 5 calendar days before construction.

### **Procedure:**

1. When installing a new fence, the location of the new fence needs to be marked using a string on temporary posts showing where the fence will be installed. Must be in place for 5 calendar days prior to permit being issued.
2. Turn in completed "Building Permit" application, "Owner Acknowledgement of Property Lines" form, "Plot Plan" showing where the fence will be placed, and the "Neighbor Notification Letter".
3. If this is a new fence installation, you will be notified when to contact your inspector so the temporary line can be inspected.
4. **We are not verifying the legal boundary; we are only verifying that the string line is present. Property lines are the sole responsibility of the Homeowner who is constructing the fence.**
5. Once all the requirements are verified and approved, you will receive an approval email notifying you that the permit is ready to be paid for and issued.
6. You can then log onto the CitizenServe portal and make your payment or contact us and pay over the phone.

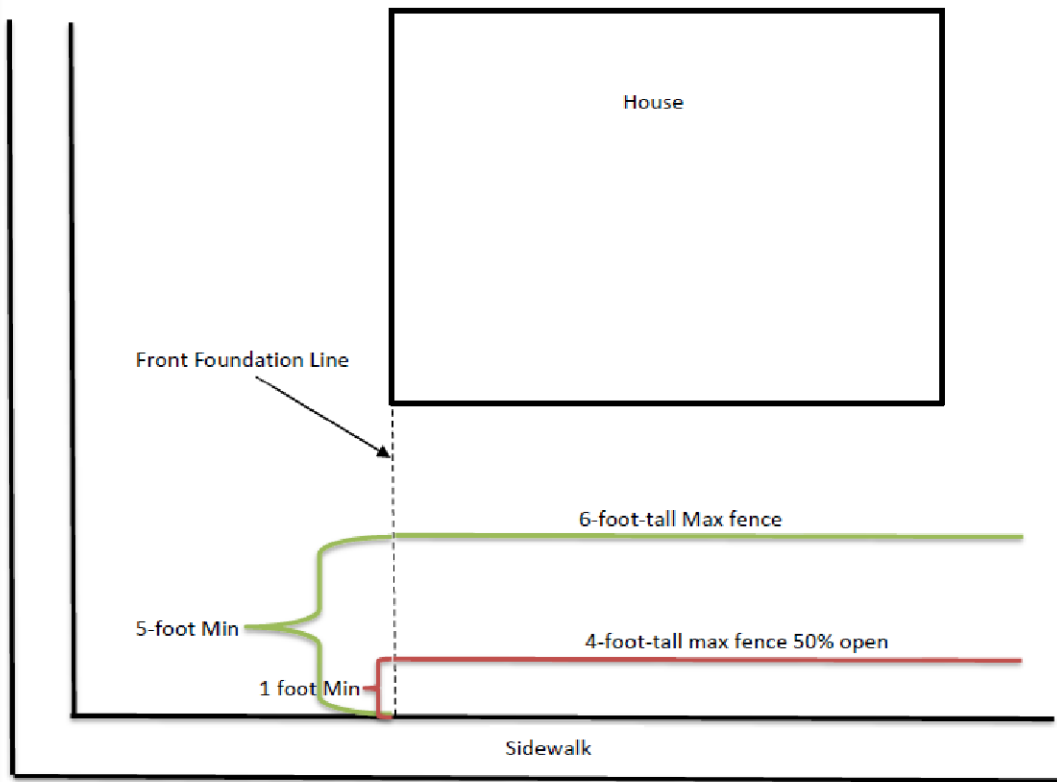
7. Once the permit is issued, you can construct your fence and then notify the Building Department for the final inspection.

## **FENCE FAQ'S**

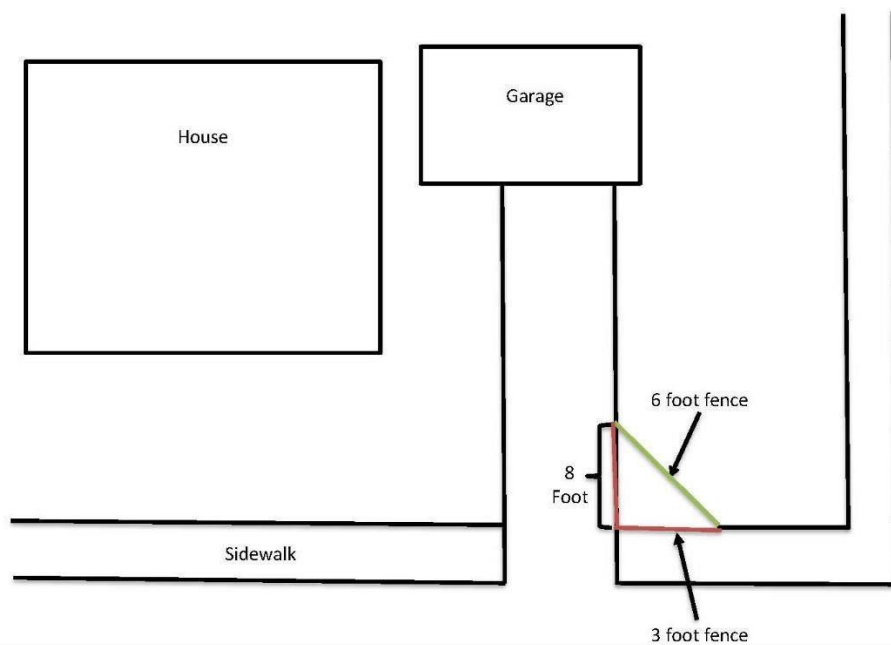
**June 2024**

- **The finished side of the fence must face the neighbor's view.**
- **If a contractor is doing the work, they must be registered with the City of Lakewood, and it is their responsibility to apply for the permit.**
- Fences may be placed up to but not on top of the property line.
- Property owners are responsible for knowing where their property line is. The City of Lakewood does not keep survey records. You can check with the Cuyahoga County Auditor's office at 216-443-7010 or online at [myplace.cuyahogacounty.us](https://myplace.cuyahogacounty.us)
- The "Owner Acknowledgement Property Lines" affidavit must be completed by the homeowner. This acknowledges that the property owner is solely responsible for knowing where their property line is.
- Fences can be no higher than 6' (or 72") behind the building line.
- Fences can be no higher than 3' (or 36") in front of the building line.
- Fence repairs less than 8 total feet in length do not require a permit.

### Fence Corner Yard

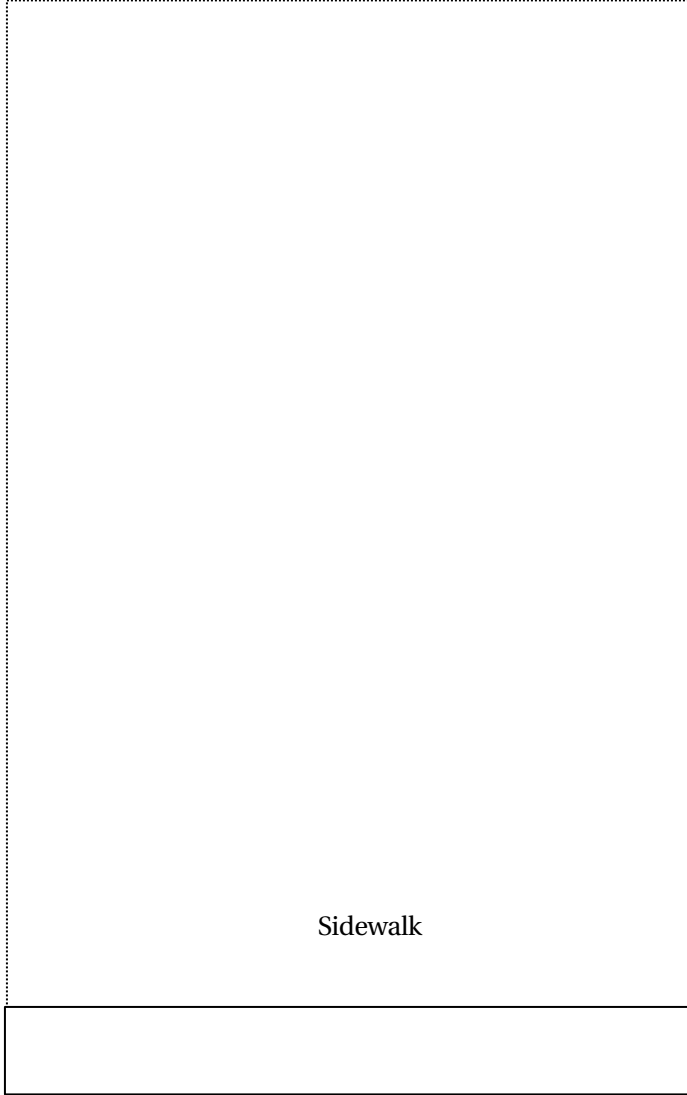


### Fence Diagram II



# Site Plan Worksheet

Property Line



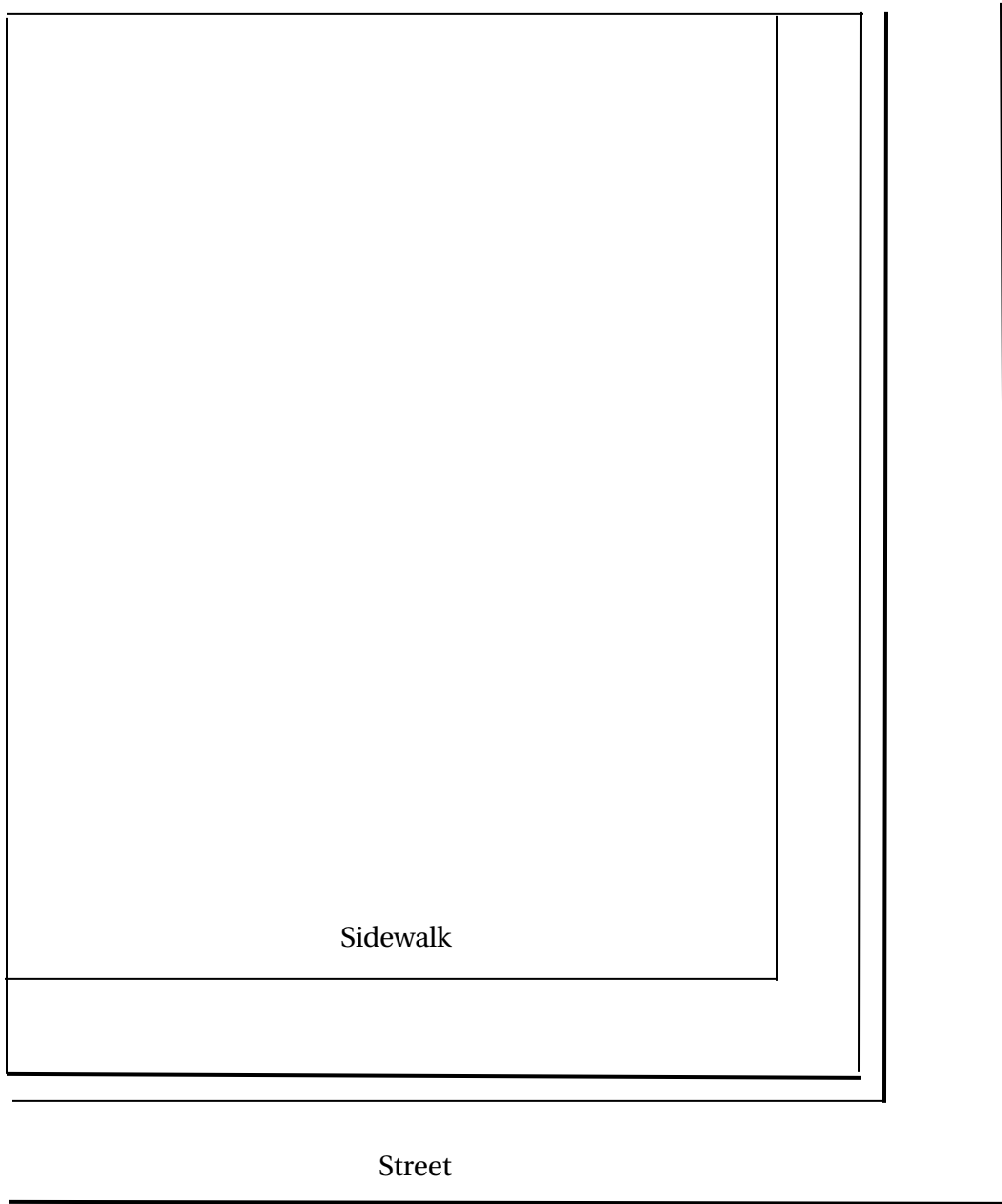
Sidewalk

Street

## Requirements:

1. Location of existing buildings
2. Location of existing fence
3. Location of proposed fence  
(Include height, length, materials,  
distance from property lines)
4. Property perimeter dimensions
5. Location of driveway

**Site Plan Corner Lot**





# Owner Acknowledgement of Property Lines

Housing & Building

(216) 529-6270

building.permits@lakewoodoh.gov

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**Date:** \_\_\_\_\_

I hereby acknowledge that property line location is the sole responsibility of the property owner. The location of the accessory structure or addition to a primary structure on the plot plan will be measured from a point that the homeowner deems as the property line. Lakewood assumes no responsibility for errors related to property line location. If there is a question regarding an existing property line, a licensed surveyor should be consulted to obtain a property line survey.

**Project Address:** \_\_\_\_\_

**Owner Name:** \_\_\_\_\_

**Owner Address:** \_\_\_\_\_

**Owner Phone#:** \_\_\_\_\_

**Email Address:** \_\_\_\_\_

**Project Description:** \_\_\_\_\_

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**Property Owner Signature**



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**Neighbor Notification Letter**  
**TO BE MAILED TO NEIGHBOR(S)**

Date: \_\_\_\_\_

Dear Neighbor,

I am notifying you per City of Lakewood Building Department policy that we will be installing/removing and replacing the existing fence at:

(Address) \_\_\_\_\_.

I am required by the City of Lakewood Building Department policy to notify all abutting property owners that the work will commence on or around

Date: \_\_\_\_\_.

It is my responsibility as the homeowner/contractor to establish property lines. If there is a question regarding the property line, the City of Lakewood Building Department advises the fence permit applicant to obtain a professional boundary survey. The City of Lakewood does not determine property lines.

Property Owner/Contractor: \_\_\_\_\_

Date of Notification: \_\_\_\_\_

Abutting Neighbor's Address Notified: \_\_\_\_\_

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Property Owner Signature



City of Lakewood  
Department of Housing  
and Building

Case #:

Building Permit Application

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

[building.permits@lakewoodoh.gov](mailto:building.permits@lakewoodoh.gov)

**PROJECT ADDRESS:**

Suite/Unit #

or **PERMANENT PARCEL NUMBER:**

**PROPERTY CLASSIFICATION:**

1, 2 or 3 Family

OR

Commercial (includes multifamily and condominiums)

**Who is performing the work?**

Homeowner

OR

Contractor

**PERMIT TYPE:**

Building

\*Plumbing

\*Mechanical

\*Electrical

\*(complete reverse side)



**SCOPE OF PERMIT** (Check all that apply):

New Primary Structure	Addition	Alteration	Repair	Equip. Replacement	Commercial Sign
Tent or Temporary	Rear Deck	Shed	Pool/Hot Tub	Water Controlling	Waterproofing
Commercial Hood	Fire Suppression		Fire Alarm	Storm Sewer	Refrigeration
Demolition	Paving	Drain	No Drain	Fence __ New or __ Existing	

Other (Please specify): \_\_\_\_\_

Generator

Manufacturer \_\_\_\_\_

Model \_\_\_\_\_

No. of BTU's \_\_\_\_\_

**\*VALUATION: (cost of the work) \$**

**\*PROJECT SIZE: (in square feet)**

**BRIEF DESCRIPTION OF WORK:** (Include scope, dimension, location)

**DRAIN IN WORKSPACE** ( NEW  REPLACEMENT  EXISTING)

**PROPERTY OWNER NAME:**

\*Phone:

Business Name (if applicable)

\*Email:

Mailing Address:

City:

State:

Zip:

**CONTRACTOR CO. NAME:**

\*Phone:

**CONTRACTOR NAME:**

\*Email:

Mailing Address:

City:

State:

Zip:

**ARCHITECT/ENGINEER:**

Phone:

Mailing Address:

City:

State:

Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

Anticipated Completion Date: \_\_\_\_\_

**SIGNATURE OF CONTRACTOR / OWNER**

**DATE**

## City of Lakewood Fence Ordinance

Section 2. New Chapter 1153 of the Codified Ordinances is hereby enacted to read as follows:

### **DEFINITIONS.**

- a) FENCE means an unroofed structure, including a living fence, erected in such a manner and in such a location as to enclose, secure, partially enclose or secure, provide privacy for, decorate, define, or enhance all or any part of a lot.
- b) LIVING FENCE means a grouping of plants including, but not limited to, hedges, shrubs, bushes, or trees, arranged and/or growing in such a manner as to enclose, secure, partially enclose or secure, provide privacy for, decorate, define, or enhance all or any part of a lot.
- c) YARD, CORNER SIDE means a yard, occurring on a corner lot, which is adjacent to a public or private street, extending from the front foundation wall of the building on the side facing the street to which it is addressed, to the rear lot line as determined by the Building Commissioner, and extending from the side foundation wall to the public or private right-of-way.

### **PERMIT REQUIRED.**

Pursuant to 1306.62, a permit must be obtained prior to installing a new fence, replacing a fence, or modifying the location, height, material, type, style, or other changes not considered a repair of any existing fence. The Building Commissioner has the authority to establish permit requirements and conditions required to ensure any application for permit conforms to the requirements of this Section.

### **FENCE PLACEMENT AND TYPES.**

- a) **Location.** The property owner installing or modifying a fence shall determine their own property lines and ascertain that the fence or wall as constructed does not deviate from the plans as approved by the Building Commissioner and does not encroach upon another lot. The issuance of a permit by the city shall not be construed to mean the City has determined the fence is not encroaching upon another lot, nor shall it relieve the property owner of the duty imposed herein. Fences and walls may be placed adjacent to a property line, but not on a property line.
- b) **Placement.**
  - (1) To the extent possible, two fences or walls should not be placed back-to-back along a common property line. Every effort should be made to utilize the existing fence or wall. Otherwise, there shall be no separation between the two fences or walls, or a minimum separation of two (2) feet between fences

or walls shall be provided for the maintenance of the fences or walls and the ground area between the two fences or walls.

(2) Wherever a public or private sidewalk or right-of-way and a driveway intersect, no part of a fence greater than thirty-six (36) inches above grade shall be within eight (8) feet of the intersection of the driveway and sidewalk or right-of-way.

c) **Front Yards.** No fence shall be erected, placed, or extended in front of the front foundation wall of the primary structure. There are two exceptions:

(1) Along a side property line where a residential use abuts a lot containing a non-residential use, upon determination by the Building Commissioner that such a fence does not obstruct the view of vehicle or pedestrian traffic or constitute a hazard. The maximum height of such a fence is forty-eight (48) inches above grade. The fence must be a minimum of twelve (12) inches from the right-of-way.

(2) A fence erected in the front yard and parallel to the public right-of-way may be permitted provided that:

A. The maximum height shall be thirty-six (36) inches above grade.

B. The maximum length of the fence shall not exceed fifty-five percent (55%) of the foundation wall of the primary structure facing the public right of way.

C. The maximum distance from any portion of the primary structure, including porches, shall be eight (8) feet.

D. The minimum distance from the public right-of-way shall be ten (10) feet.

E. No gate shall be included in the fence.

ci) **Rear and Side Yards.** A fence a maximum of seventy-two (72) inches above grade may be installed. Whenever a rear or side yard of a residential use abuts a lot containing a non-residential use a fence a maximum of ninety-six (96) inches above grade may be installed provided any portion above seventy-two (72) inches is a minimum of twenty-five percent (25%) open to the through passage of light and air between abutting properties.

cii) **Corner Side Yards.** In a corner side yard, the following fences, except a chain link fence, are permitted:

1) Any fence allowed in a rear and side yard may be erected no closer than five (5) feet from public or private right-of-way.

2) A fence a maximum of forty-eight (48) inches above grade and a minimum of fifty percent (50%) open to the through passage of light and air may be erected no closer than twelve (12) inches from the public or private right-of-way.

#### **ADDITIONAL FENCE REGULATIONS.**

a) Fences shall be of durable materials conforming to accepted industry standards for fencing materials and display a finished face toward adjacent streets and properties and shall not be adorned with signs, graphics, or paintings of any kind.

b) All repairs or partial replacements to any part of an existing fence must match and conform to the existing size, shape, materials, and color or the entire fence shall be replaced completely.

- c) Fences and living fences immediately adjacent to a property line shall not be included in the calculation of total principal or accessory structure lot coverage.
- d) Fences enclosing swimming pools shall be permitted, pursuant to Section 1722.08.
- e) A security fence is permitted as regulated by Section 1159.05(i)(1).
- f) Barbed wire and/or razor fences:
  - 1) Are prohibited in residential and commercial zoning districts.
  - 2) Are permitted in industrial zoning districts provided that such fences shall be of chain link construction topped with barb arms with no more than three (3) strands of barbed wire; said arms to be no less than seventy-two (72) inches and no more than ninety-six (96) inches above grade.
- g) Temporary construction fence for the protection pedestrians during excavation and construction shall be approved by the Building Commissioner as part of the demolition or construction plan (See Ohio Building Code Chapter 33 for guidance). Temporary construction fencing shall remain in place until construction and all inspections are complete as certified by the Building Commissioner and must be removed upon such certification.
- h) Fences are permitted in Planned Development Districts pursuant to Section 1156.05(k).
- i) The Building Commissioner may require Architectural Board of Review (ABR) review and approval of any fence design. ABR shall consider fence designs depicted in the most recent edition of the American Institute of Architects' "Architectural Graphic Standards" and the development of adjacent, contiguous, and neighboring buildings, and properties in order to achieve the purposes of the ABR as set forth in Chapter 1325.

Section 3. It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were passed in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including R.C. Section 121.22