

CITY OF LAKEWOOD OHIO

Division of Housing and Building
12650 Detroit Ave, Lakewood OH 44107
building_permits@lakewoodoh.gov
(216) 529-6270



DETACHED GARAGE

Prototype Drawings

This prototype was developed to create a framework for the minimum submission necessary for plan review, permitting and construction. Other submission formats are acceptable but should include the same level of information. If these drawings are submitted for plan review, it is important to fill in *ALL* requested information and include *ONLY* applicable pages.

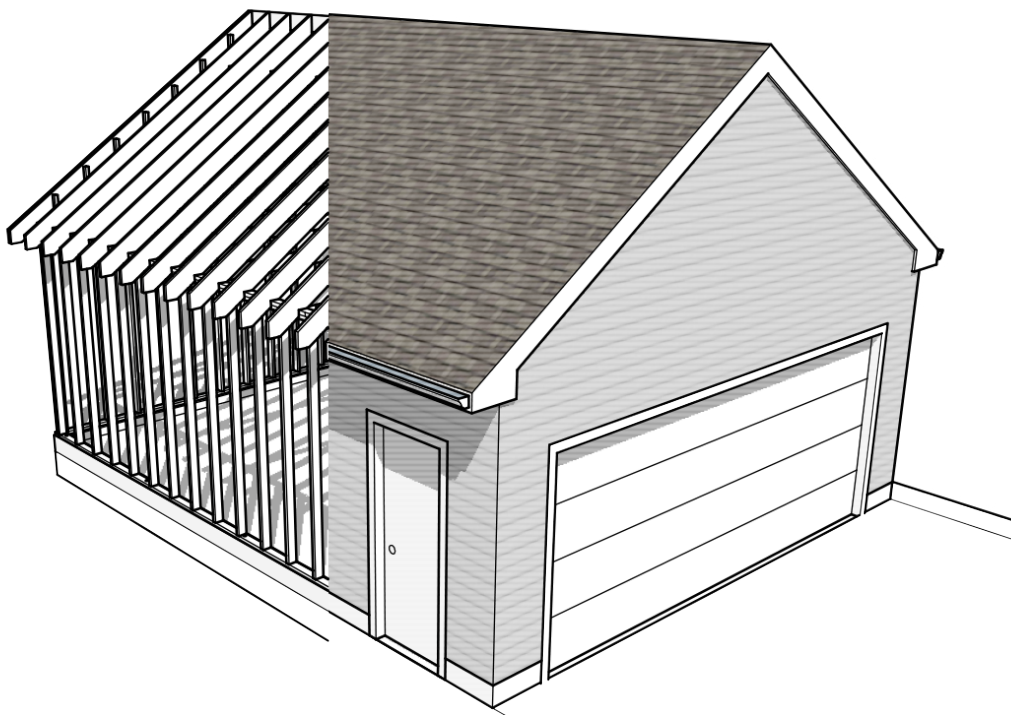
The following sheets contain prototype drawings for a freestanding wood framed 1 or 2 car garage less than 600 sf in total area. Drawings are provided for garage on either the right or left side of the house. Options are also included for either field framed or manufactured roof truss systems.

While many prescribed code requirements are included throughout these drawings, other information must be filled in by the applicant. For instance, roof rafter sizes must be listed by the applicant as the minimum required member is dependent on the span of the roof.

THIS PROTOTYPE WAS DEVELOPED BASED ON THE ZONING CODE OF LAKEWOOD OHIO AND THE JULY 2019 EDITION OF THE 2019 RESIDENTIAL CODE OF OHIO. UPDATES AND/OR SPECIFIC CIRCUMSTANCES MAY AFFECT REQUIREMENTS INDICATED.

THE RESIDENTIAL CODE OF OHIO:
<https://codes.iccsafe.org/category/Ohio>

THE LAKEWOOD ZONING CODE
https://www.amlegal.com/codes/client/lakewood_oh/





City of Lakewood
Department of Housing
and Building

Case #:

Building Permit Application

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

building.permits@lakewoodoh.gov

PROJECT ADDRESS:

Suite/Unit #

or **PERMANENT PARCEL NUMBER:**

PROPERTY CLASSIFICATION:

1, 2 or 3 Family

OR

Commercial (includes multifamily and condominiums)

Who is performing the work?

Homeowner

OR

Contractor

PERMIT TYPE:

Building

*Plumbing

*Mechanical

*Electrical

*(complete reverse side)



SCOPE OF PERMIT (Check all that apply):

New Primary Structure	Addition	Alteration	Repair	Equip. Replacement	Commercial Sign
Tent or Temporary	Rear Deck	Shed	Pool/Hot Tub	Water Controlling	Waterproofing
Commercial Hood	Fire Suppression		Fire Alarm	Storm Sewer	Refrigeration
Demolition	Paving	Drain	No Drain	Fence __ New or __ Existing	

Other (Please specify): _____

Generator

Manufacturer _____

Model _____

No. of BTU's _____

***VALUATION: (cost of the work) \$**

***PROJECT SIZE: (in square feet)**

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)

DRAIN IN WORKSPACE (NEW REPLACEMENT EXISTING)

PROPERTY OWNER NAME:

*Phone:

Business Name (if applicable)

*Email:

Mailing Address:

City:

State:

Zip:

CONTRACTOR CO. NAME:

*Phone:

CONTRACTOR NAME:

*Email:

Mailing Address:

City:

State:

Zip:

ARCHITECT/ENGINEER:

Phone:

Mailing Address:

City:

State:

Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

Anticipated Completion Date: _____

SIGNATURE OF CONTRACTOR / OWNER

DATE



**City of Lakewood
Department of Housing
and Building**

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107
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Garage Demo Memo

Date: _____

Garage Demo Memo for Address: _____

I _____ understand and agree to the requirements
(HOMEOWNERS PRINTED NAME)
listed below, in order to obtain a demolition permit for my garage prior to plan approval.

- 1) The new garage pad will be placed on the lot according to Lakewood Codified Ordinances 1143.05.
- 2) Construction drawings complying with the 2019 Residential Code of Ohio (RCO) for the new garage pad and garage must be submitted for review a minimum of 30 days in advance of planned construction, and permits obtained.
- 3) The new garage will be completely rebuilt within 6 months of the closing of the demolition permit.

SIGNED: _____ Date: _____
(HOMEOWNERS SIGNATURE)



Owner Acknowledgement of Property Lines

Housing & Building

(216) 529-6270

building.permits@lakewoodoh.gov

Date: _____

I hereby acknowledge that property line location is the sole responsibility of the property owner. The location of the accessory structure or addition to a primary structure on the plot plan will be measured from a point that the homeowner deems as the property line. Lakewood assumes no responsibility for errors related to property line location. If there is a question regarding an existing property line, a licensed surveyor should be consulted to obtain a property line survey.

Project Address: _____

Owner Name: _____

Owner Address: _____

Owner Phone#: _____

Email Address: _____

Project Description: _____

Property Owner Signature

DETACHED GARAGE PROTOTYPE INSTRUCTIONS

PROPERTY ADDRESS: _____

Select either Right- or Left-hand option. Include the property address and page number on each page. Fill in ALL requested information and submit ONLY applicable pages.

SITE PLAN PAGE

- Highlight the north arrow to indicate geographic north in relation to the property.
- Fill in lot size, rear yard dimensions, garage dimensions, setbacks, and if applicable driveway and drain.
- Lot dimensions may be field measured or determined based on parcel information from the county auditor. Rear yard depth is measured from the back of the house or an attached deck if present.
- In Lakewood, the following restrictions apply:
 - 1) Garages are limited to 480 SF or 25% of the rear yard, whichever is greater.
 - 2) Minimum setbacks in R1H, R2 zoning districts are 18 inches, 36 inches in R1M for side and rear yards.*

ELEVATION PAGE(S)

- Fill in eave height, total garage height and roof slope.
- In Lakewood, garage height measured from grade to the midpoint between roof ridge and eave is limited to 15'-0".
- Indicate any additional door or window opening locations.
- Include rear and opposite side elevations only if additional windows or doors are planned for either wall

FLOOR PLAN PAGE

- Fill in dimensions for overall width and depth.
- Fill in dimensions for vehicle and man door. Note, at least one side-hinged door 2'-6" x 6'-8" is required.
- Indicate locations of electrical devices if garage is so equipped.
- Note electrical requirements:
 - Exterior light at the man door, GFCI receptacles at all locations. (1) receptacle per vehicle parking bay, underground conductors shall be buried per current NEC requirements. Interior receptacles and exterior lighting cannot be on the same circuit.

WALL SECTION PAGE

- Select either Framed or Truss roof option. Note, if trusses are being used, engineer stamped truss drawings must be submitted.
- Fill framing member size and spacing information.
- Fill in siding and wall sheathing information
- Fill in overhang dimension. Note that roof overhangs are limited by proximity to a property line. Overhangs may be no closer than 6 inches to a property line and must be fire rated if within 12 inches to a property line.

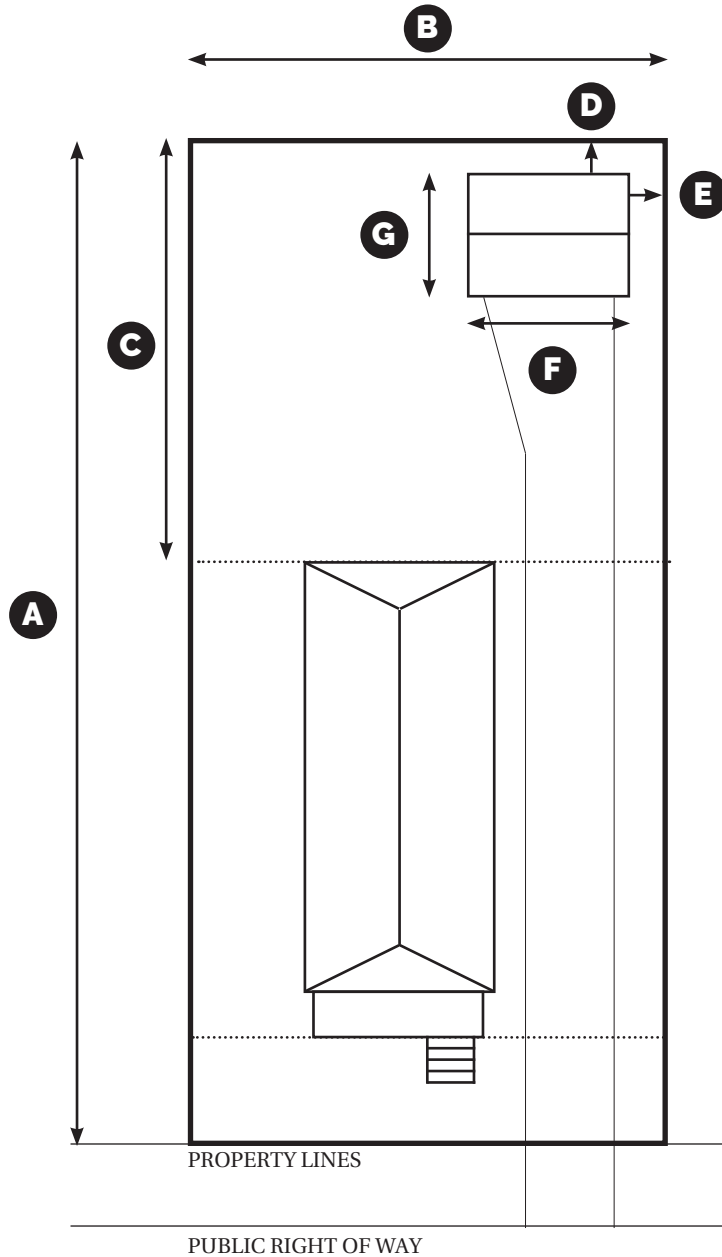
PFG PORTAL FRAMING PAGE

- Include if neither wing wall adjacent to the vehicle (overhead) door is 48 inches or wider.

***NOTE: GARAGES LOCATED LESS THAN 3 FEET FROM THE PROPERTY LINE ARE REQUIRED TO COMPLY WITH THE MINIMUM FIRE-RESISTANCE RATING AS SHOWN IN TABLE 302.1(4) DETACHED GARAGES ACCESSORY TO A DWELLING LOCATED WITHIN 2 FEET (610 MM) OF A LOT LINE ARE PERMITTED TO HAVE ROOF EAVE PROJECTIONS NOT EXCEEDING 4 INCHES (102 MM). RCO 302.1 (Ex. 6)**

DETACHED GARAGE PLACEMENT PLACEMENT WORKSHEET

PROPERTY ADDRESS: _____



DETACHED GARAGE (IN FEET)

A	LOT DEPTH	_____
B	LOT WIDTH	_____
C	REAR YARD DEPTH	_____
D	REAR SETBACK	_____
E	SIDE SETBACK	_____
F	GARAGE WIDTH	_____
G	GARAGE DEPTH	_____
-	GARAGE AREA (WIDTH X DEPTH)	_____
		SF

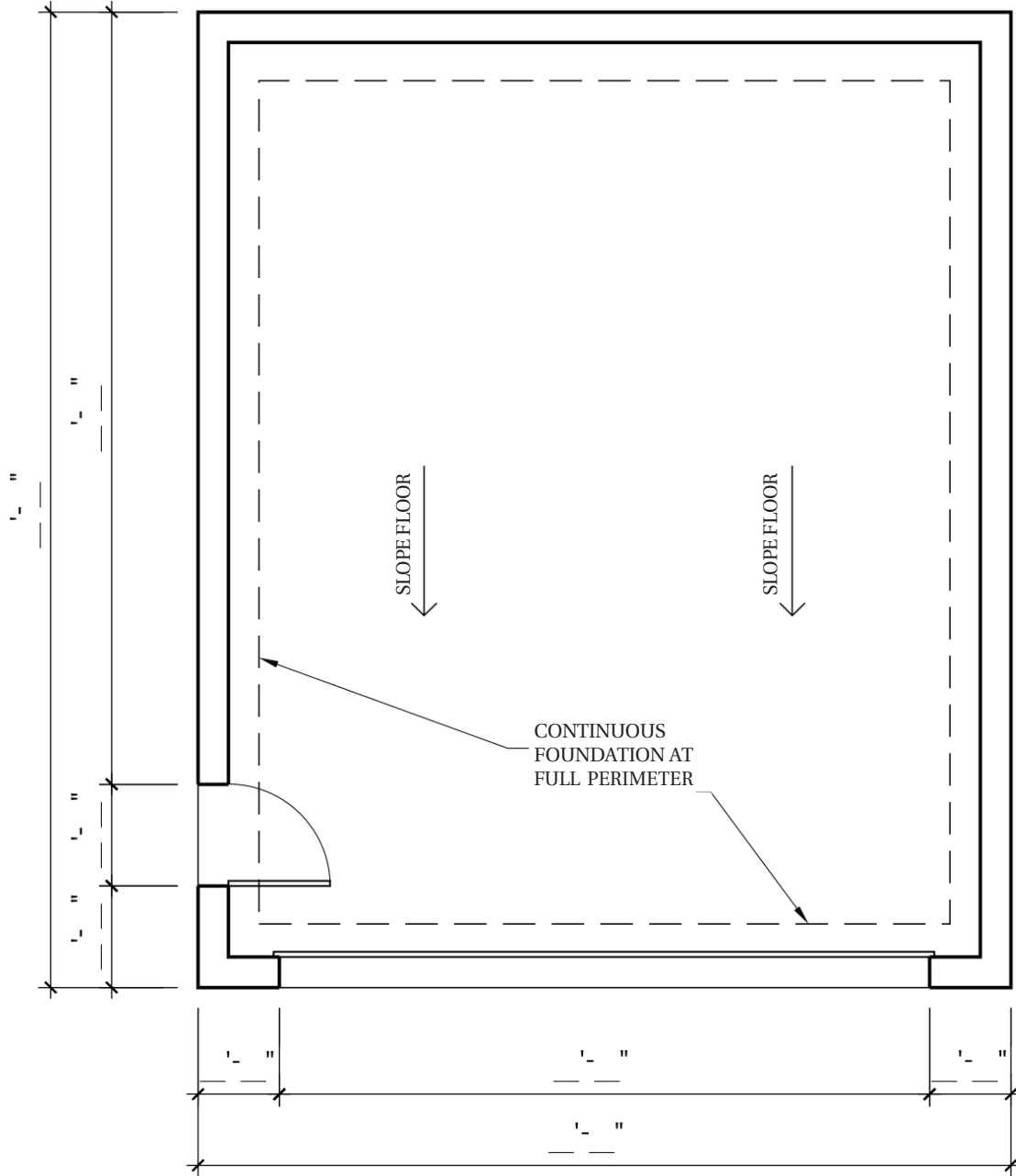
DRIVE WAY

REPLACEMENT	Y / N
DRAIN	Y / N

SITE PLAN

**DETACHED GARAGE PROTOTYPE
 FLOOR PLAN (RIGHT-HAND OPTION)**

PROPERTY ADDRESS: _____



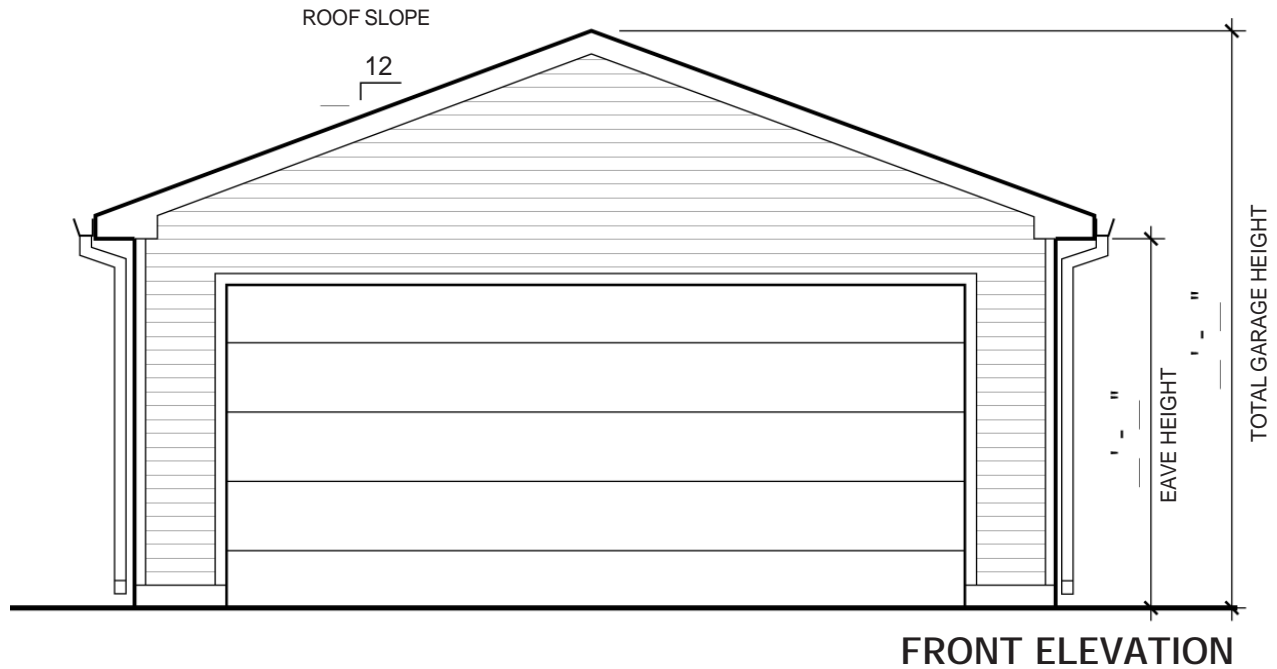
FLOOR PLAN

ELECTRICAL SYMBOL LEGEND

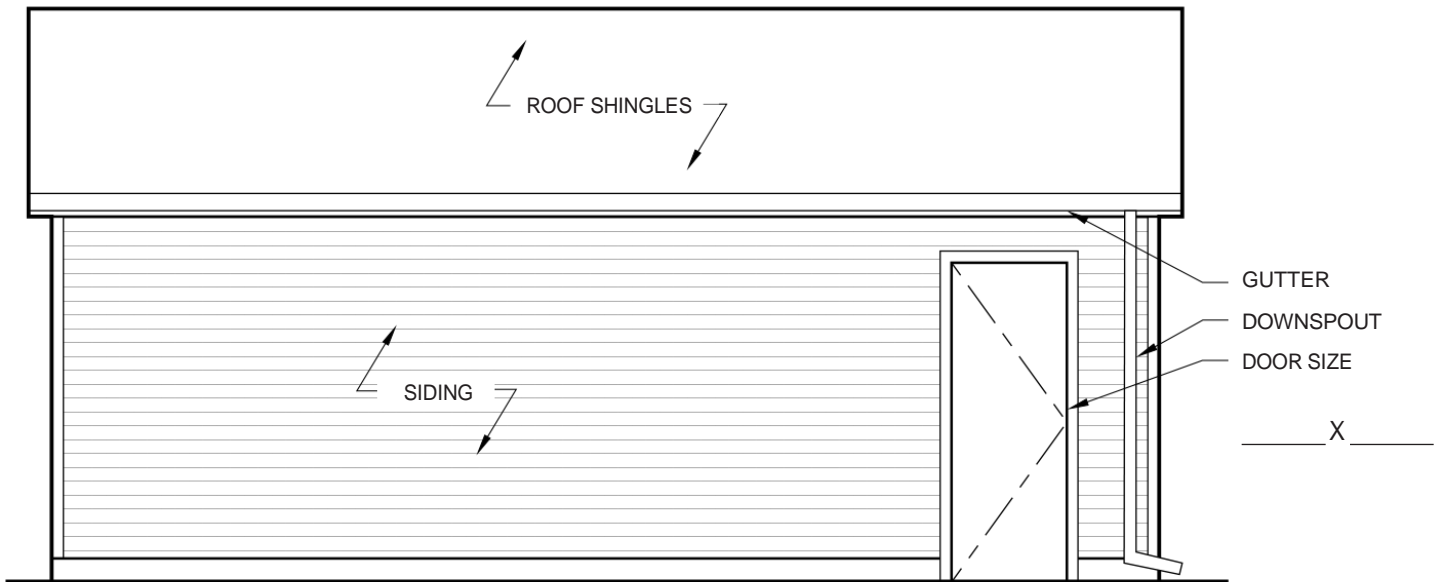
<p>OHD </p> <p>GF </p>	<p>110V DUPLEX CEILING MOUNTED DOOR OPERATOR RECEPTACLE</p> <p>110V GFCI RECEPTACLE</p>	<p></p> <p></p>	<p>LIGHTSWITCH</p> <p>LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT</p>	<p></p> <p>30 AMP</p> <p>SUB-PANEL WITH DISCONNECTING</p>
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DETACHED GARAGE PROTOTYPE ELEVATIONS (RIGHT-HAND OPTION)

PROPERTY ADDRESS: _____



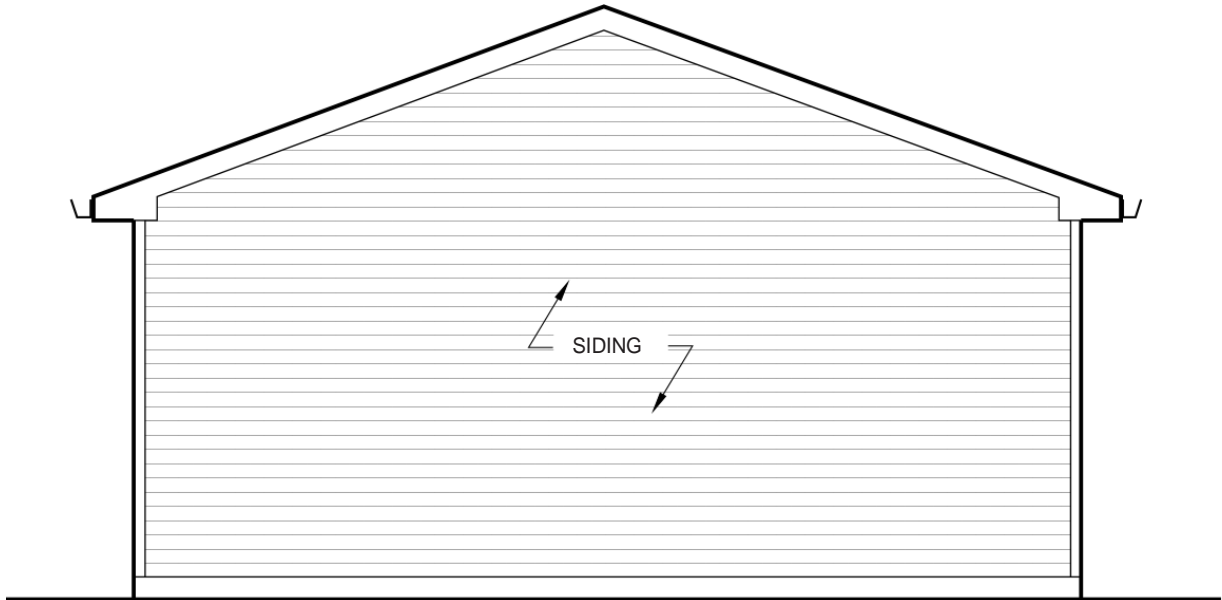
FRONT ELEVATION



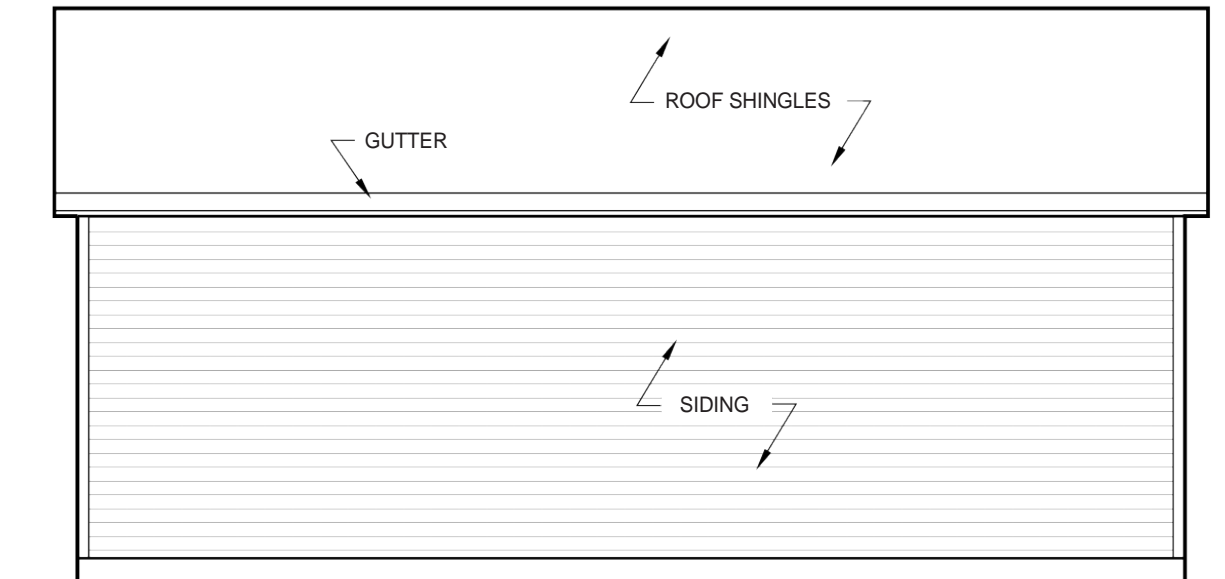
RIGHT SIDE ELEVATION

**DETACHED GARAGE PROTOTYPE
ELEVATIONS (RIGHT- OR LEFT-HAND OPTION)**

PROPERTY ADDRESS: _____



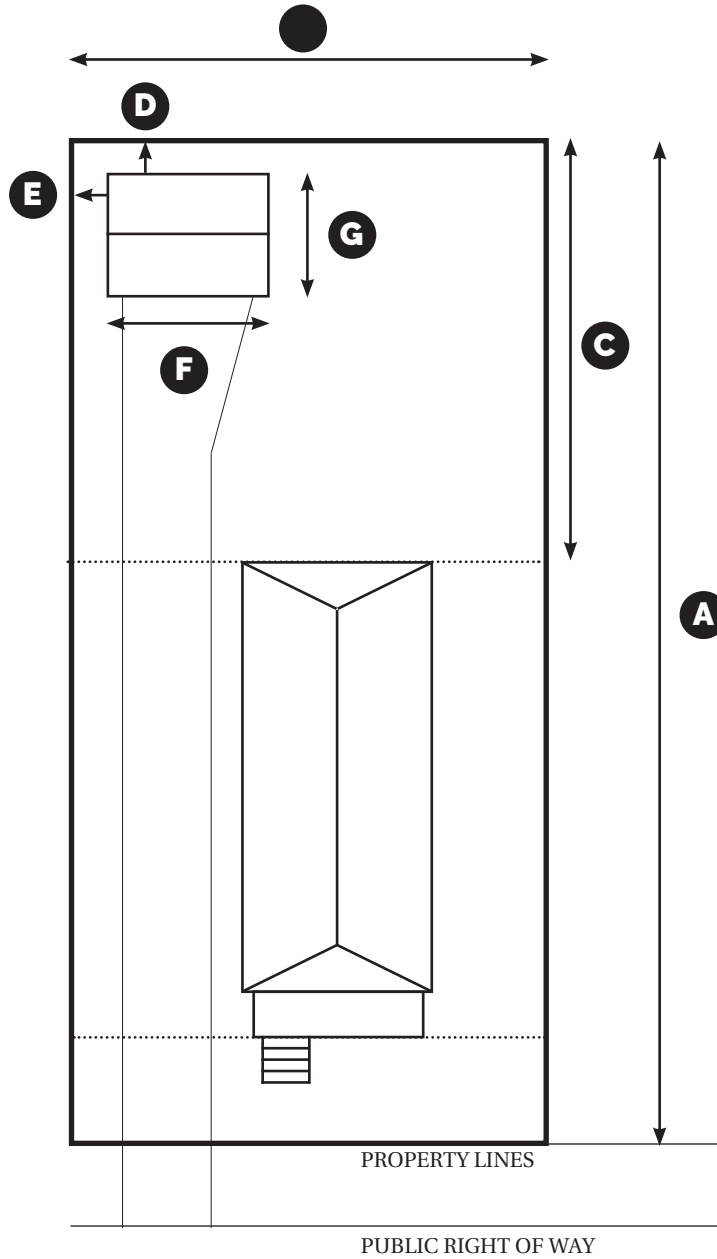
REAR ELEVATION



SIDE ELEVATION

DETACHED GARAGE PLACEMENT PLACEMENT WORKSHEET

PROPERTY ADDRESS: _____



DETACHED GARAGE (IN FEET)

A	LOT DEPTH	_____
B	LOT WIDTH	_____
C	REAR YARD DEPTH	_____
D	REAR SETBACK	_____
E	SIDE SETBACK	_____
F	GARAGE WIDTH	_____
G	GARAGE DEPTH	_____
-	GARAGE AREA (WIDTH X DEPTH)	_____
		SF

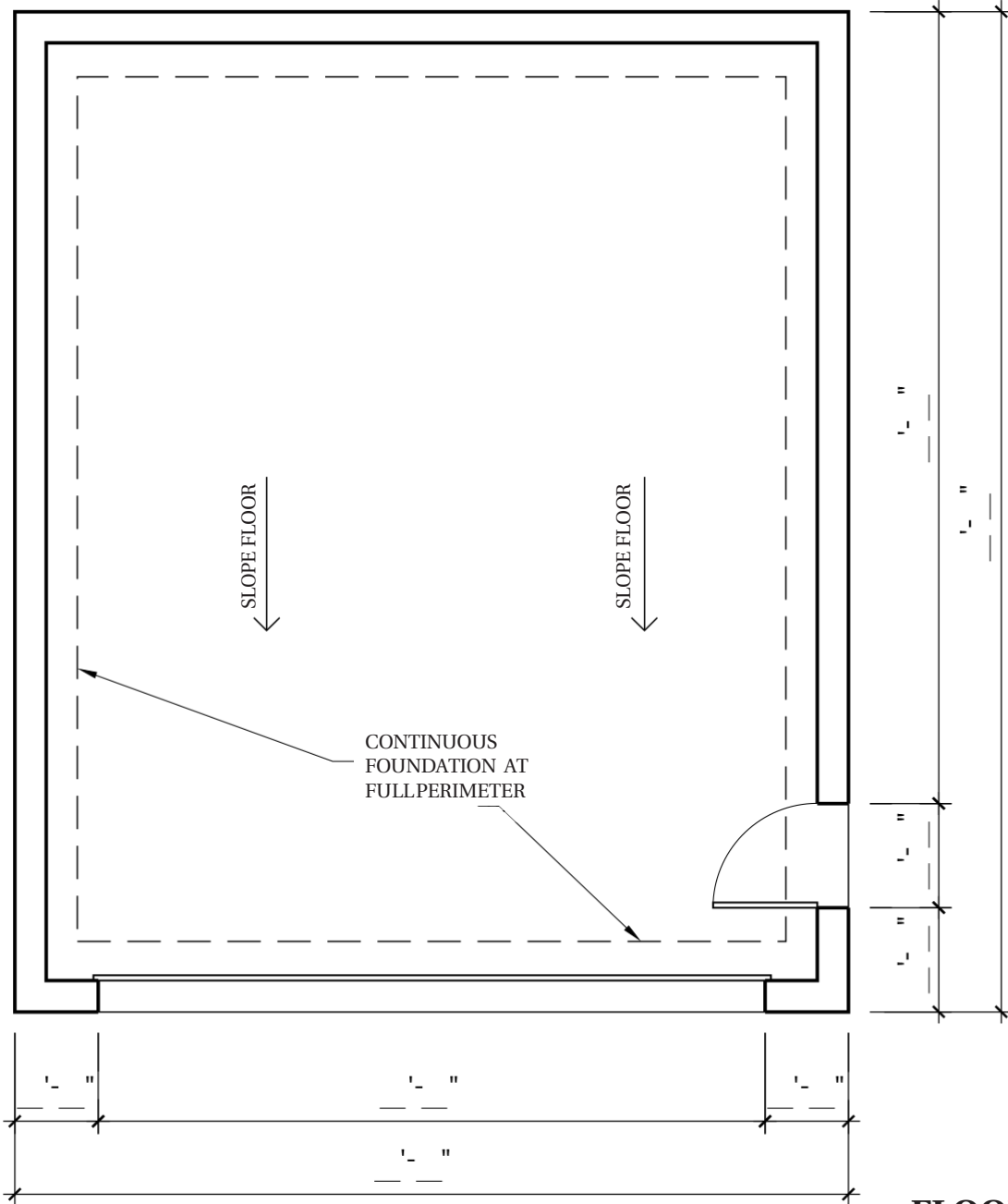
DRIVE WAY

REPLACEMENT	Y / N
DRAIN	Y / N

SITE PLAN

DETACHED GARAGE PROTOTYPE FLOOR PLAN (LEFT-HAND OPTION)

PROPERTY ADDRESS: _____



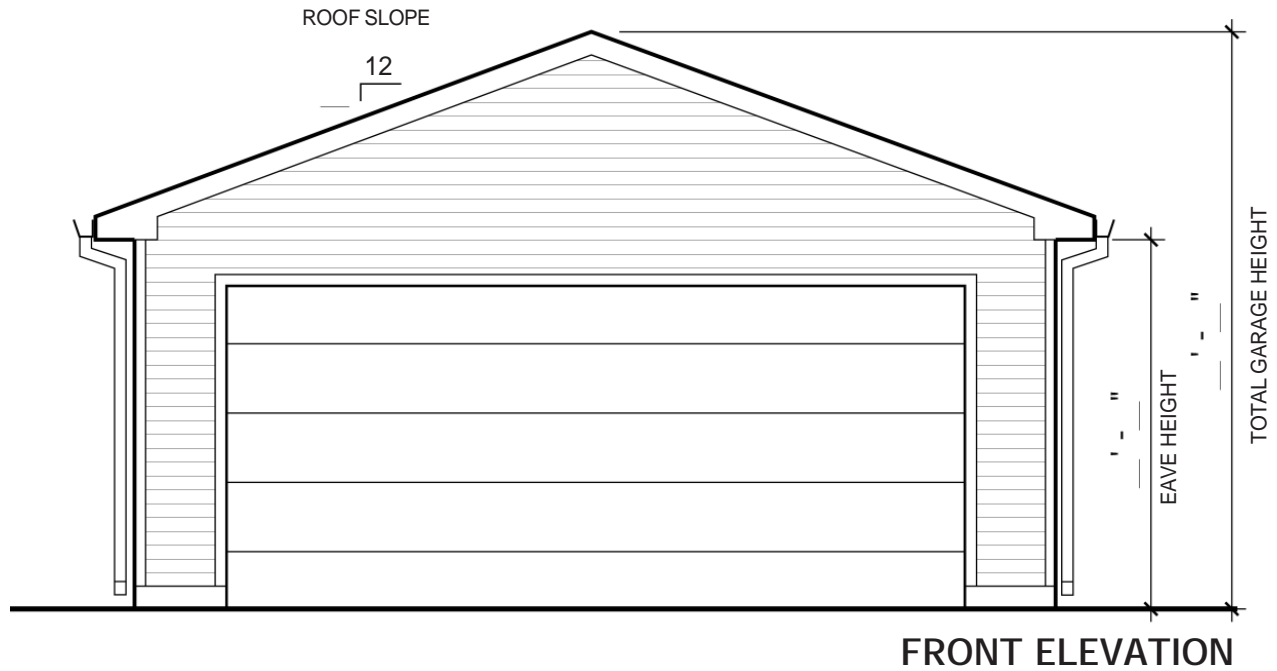
FLOOR PLAN

ELECTRICAL SYMBOL LEGEND

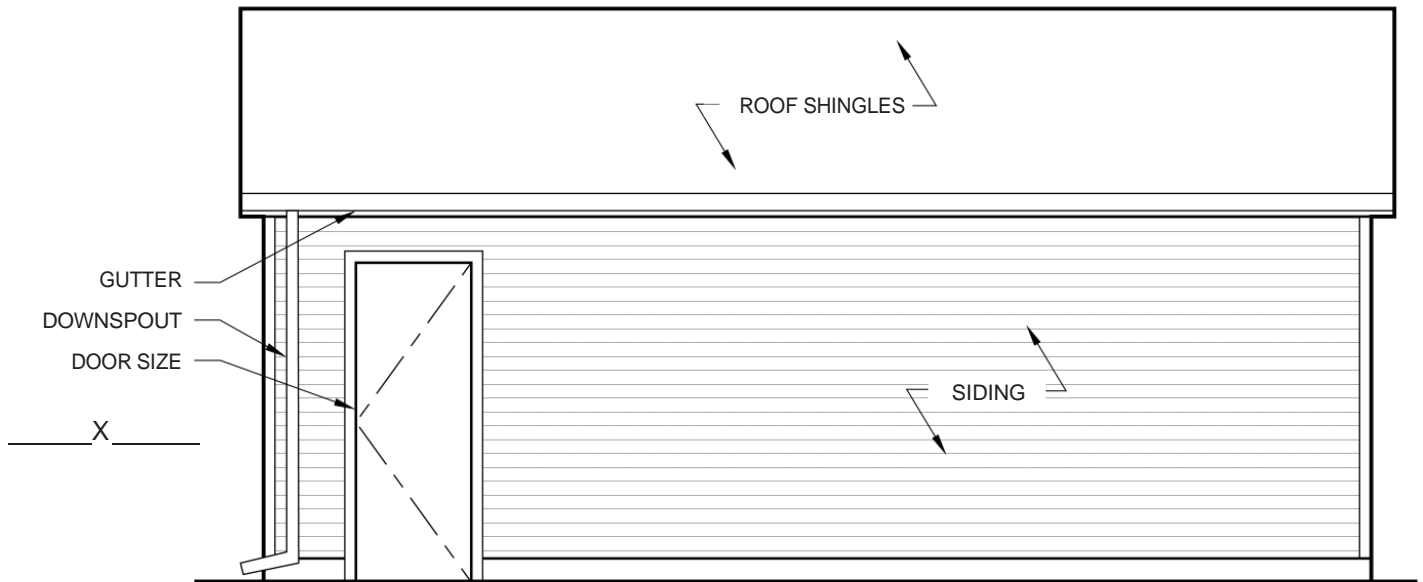
<p>OHD </p> <p>GF </p>	<p>110V DUPLEX CEILING MOUNTED DOOR OPERATOR RECEPTACLE</p> <p>110V GFCI RECEPTACLE</p>	<p></p> <p>LIGHTSWITCH</p> <p></p> <p>LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT</p>	<p></p> <p>30 AMP</p> <p>SUB-PANEL WITH DISCONNECTING</p>
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DETACHED GARAGE PROTOTYPE ELEVATIONS (LEFT-HAND OPTION)

PROPERTY ADDRESS: _____



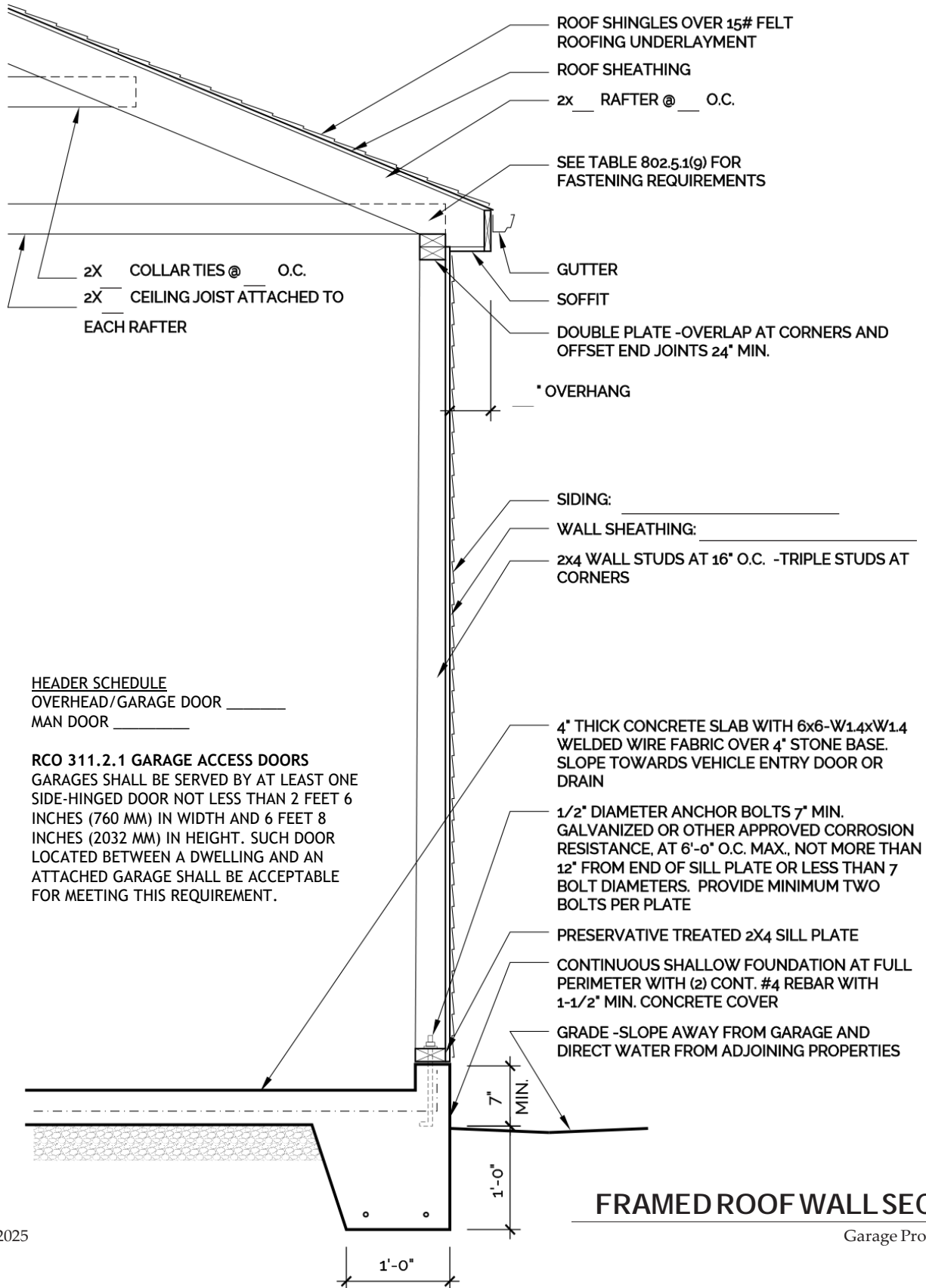
FRONT ELEVATION



LEFT SIDE ELEVATION

DETACHED GARAGE PROTOTYPE SECTIONS

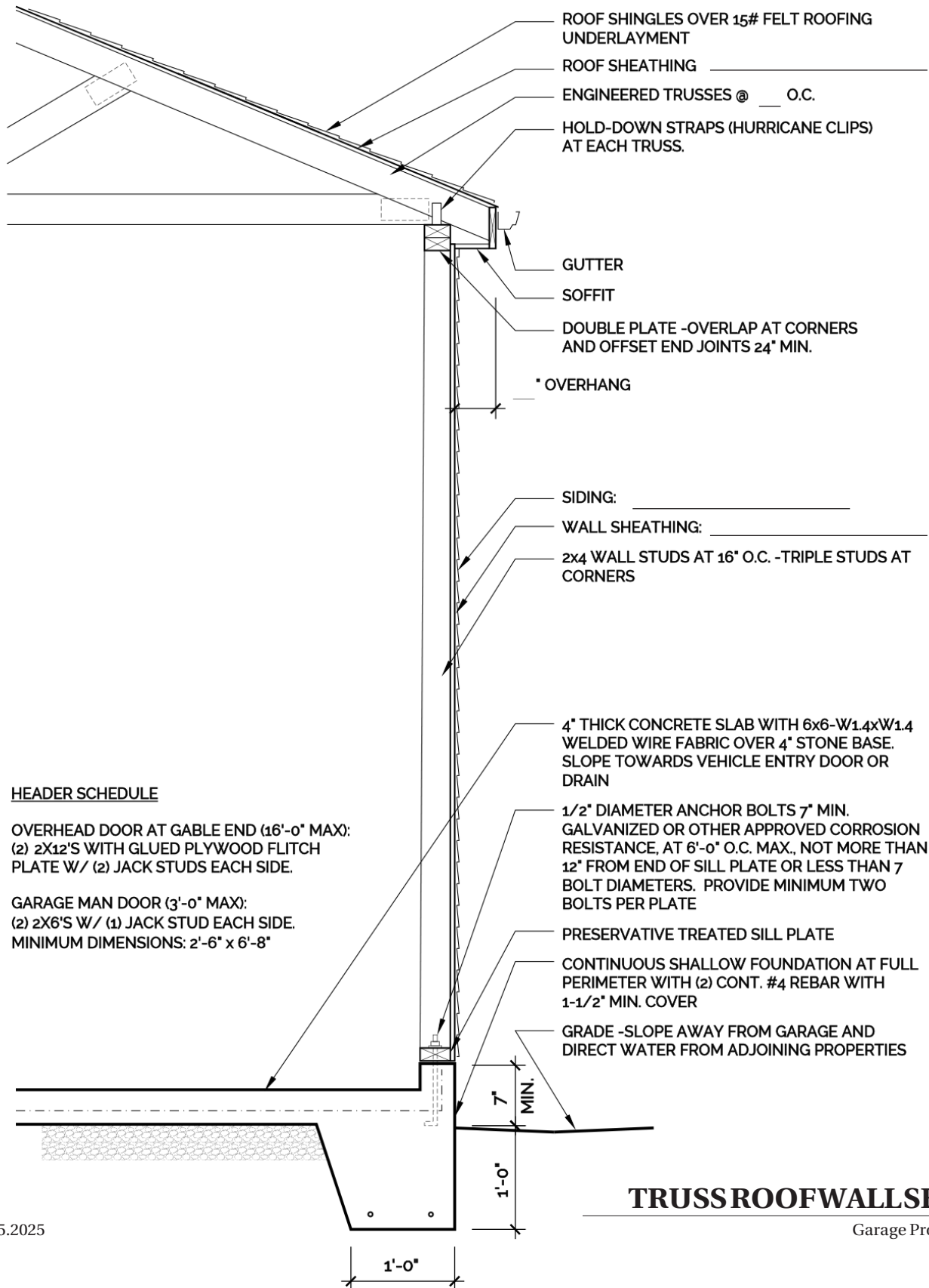
PROPERTY ADDRESS: _____



FRAMED ROOF WALL SECTION

DETACHED GARAGE PROTOTYPE SECTIONS

PROPERTY ADDRESS: _____



HEADER SCHEDULE

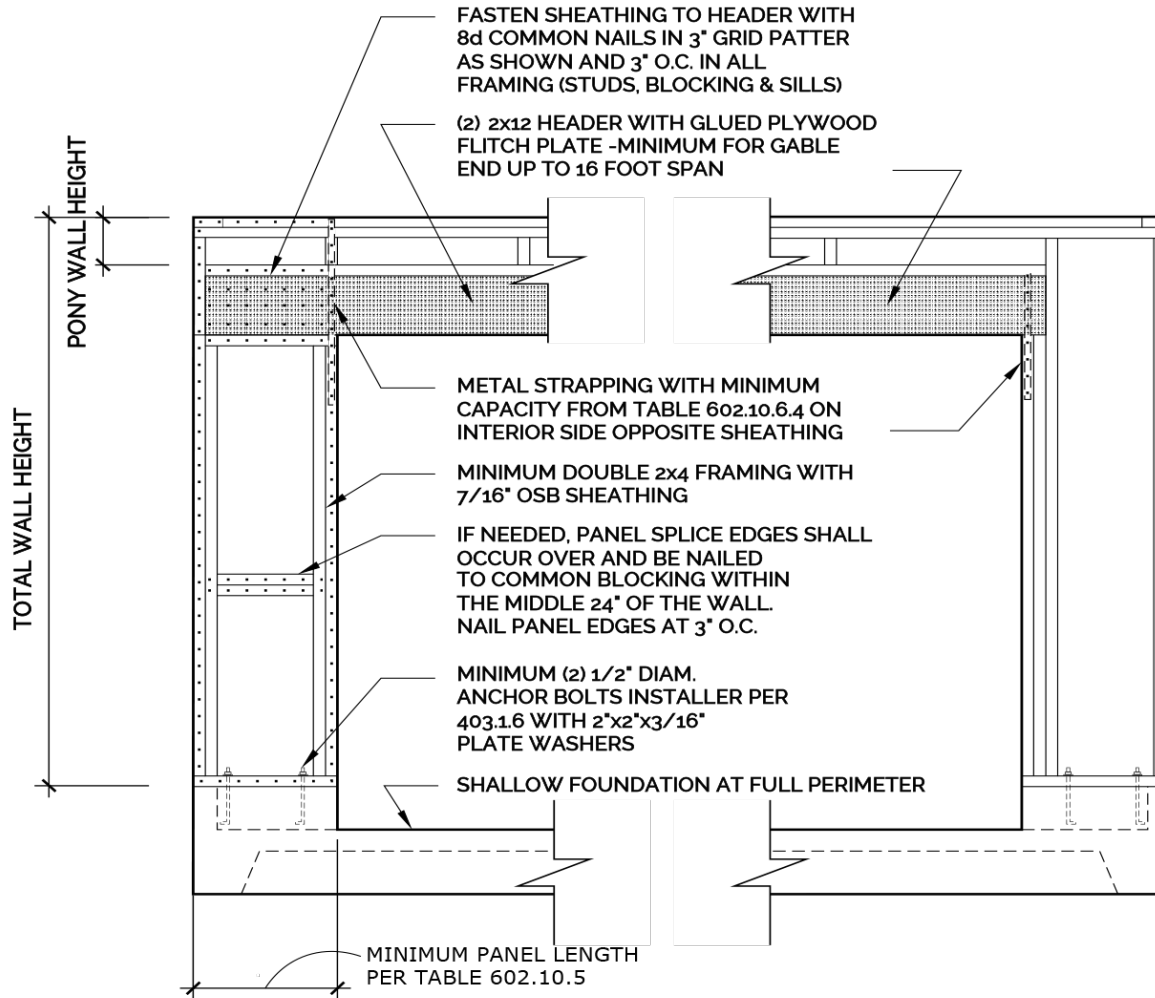
OVERHEAD DOOR AT GABLE END (16'-0" MAX):
 (2) 2X12'S WITH GLUED PLYWOOD FLITCH PLATE W/ (2) JACK STUDS EACH SIDE.

GARAGE MAN DOOR (3'-0" MAX):
 (2) 2X6'S W/ (1) JACK STUD EACH SIDE.
 MINIMUM DIMENSIONS: 2'-6" x 6'-8"

TRUSS ROOF WALL SECTION

DETACHED GARAGE PROTOTYPE PORTAL FRAME GARAGE (PFG) REQUIREMENTS

PROPERTY ADDRESS: _____



RCO TABLE 602.10.5
 PFG (PORTAL FRAME AT GARAGE) METHOD
 MINIMUM LENGTH OF BRACED WALL PANELS

TOTAL WALL HEIGHT	MINIMUM LENGTH
8 ft	24"
9 ft	27"
10 ft	30"

RCO TABLE 602.10.6.4 [ABBREVIATED]
 TENSION STRAP CAPACITY REQUIRED FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHOD PFH, PFG AND CS-PF BRACED WALL PANELS

2x4 STUD WALLS, 10 ft OR LESS AT 90 mph BASIC WIND SPEED, EXPOSURE B

MAXIMUM PONY WALL HEIGHT (ft)	MAXIMUM TOTAL WALL HEIGHT (ft)	TENSION STRAP CAPACITY (lb)
0	18	1000
	9	1000
1	16	1000
	18	1200
2	9	1000
	16	2025
	18	2400