

**AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
EAST CONFERENCE ROOM  
TUESDAY, JULY 2, 2024  
4:00 P.M.**

**REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JULY 11, 2024  
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE JUNE 13, 2024 MEETING
3. OPENING REMARKS

**OLD BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW**

- |   |            |   |
|---|------------|---|
| <b>4. Docket No. 06-57-24</b>   | <b>(C)</b> | <b>16000 + 15801 Detroit Ave.<br/>Barry Buick Development</b>               |
| <br><input type="checkbox"/> Approve<br><input type="checkbox"/> Deny<br><input type="checkbox"/> Defer |            | <br>Michael Christoff<br>Vocon<br>3142 Prospect Ave.<br>Cleveland, OH 44115 |

Applicant proposes a mixed-use development with ground floor new retail, lobby, amenity space, and elevated residential units. (Page 5)

**RETURN FOR MODIFICATIONS**

**ARCHITECTURAL BOARD OF REVIEW**

- |   |            |  |
|---|------------|--|
| <b>5. Docket No. 03-13-24</b>   | <b>(R)</b> | <b>17428 Edgewater Dr.</b>   |
| <br><input type="checkbox"/> Approve<br><input type="checkbox"/> Deny<br><input type="checkbox"/> Defer |            | <br>Alexander Kolbe<br>evoDOMUS LLC<br>2176 S. Taylor Rd.<br>Cleveland Heights, OH 44118 |

Applicant proposes modifications to a new home construction that was approved at the March 14, 2024 meeting. (Page 44)

**NEW BUSINESS**

**BOARD OF BUILDING STANDARDS**

- 6. Docket No. 07-59-24 (R) 17879 Lake Rd.**
- ( ) Approve Mark Reinhold  
( ) Deny Architect  
( ) Defer 1120 Forest Rd.  
Lakewood, OH 44107

Applicant proposes a front porch addition, railings do not meet the required standards pursuant to RCO Section 109 – outstanding nonconformance items. This property is in the R1L, Single-Family Low Density district. (Page 48)

**SIGN REVIEW**

- 7. Docket No. 07-60-24 16918 Detroit Ave.  
Wine Dive**
- ( ) Approve Shawn Warren  
( ) Deny Erie Design Co. Inc.  
( ) Defer 16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes blade sign and window graphics for new business. (Page 69)

- 8. Docket No. 07-61-24 15516 Madison Ave.  
Carol Lynn's Salon**
- ( ) Approve Shawn Warren  
( ) Deny Erie Design Co. Inc.  
( ) Defer 16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes revised signage in band sign and window graphics. (Page 75)

- 9. Docket No. 07-62-24 17112 Detroit Ave.  
Cleveland Vegan**
- ( ) Approve Shawn Warren  
( ) Deny Erie Design Co. Inc.  
( ) Defer 16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes refacing of an existing blade sign and new window graphics. (Page 81)

**10. Docket No. 07-63-24**

**16400 Detroit Ave.  
Body Fit Training**

- Approve
- Deny
- Defer

Monica Fletcher  
 Brady Signs Company  
 1721 Hancock St.  
 Sandusky, OH 44870

Applicant proposes installation of an internally lit 13 ft., six in. high freestanding blade sign. (Page 87)

**11. Docket No. 07-64-24**

**15001 Madison Ave.  
Neo Pets and Working Dog**

- Approve
- Deny
- Defer

Steven Foster  
 The Sign & Graphics Firm, LLC  
 14837 Detroit Ave., Ste. 195  
 Lakewood, OH 44107

Applicant proposes new signage in the board band. (Page 97)

**ARCHITECTURAL BOARD OF REVIEW**

**12. Docket No. 07-65-24**

**(C)**

**14100 Franklin Blvd.  
Lakewood High School**

- Approve
- Deny
- Defer

Frederick Long  
 GDP Group  
 520 South Main St., Suite 2531  
 Akron, OH 44311

Applicant proposes a 6,400 s.f. addition to the D Building at Lakewood High School. (Page 100)

**13. Docket No. 07-66-24**

**(R)**

**2105 Lincoln Ave.**

- Approve
- Deny
- Defer

John D'Amico  
 The Great Garage Co.  
 1309 Ridge Rd., Ste. 4  
 Hinckley, OH 44233

Applicant proposes the demolition and build of a new garage. (Page 111)

**14. Docket No. 07-67-24**

**(R)**

**17620 Riverside Dr.**

- Approve
- Deny
- Defer

Daniel Margulies  
 Daniel Margulies Co. Inc.  
 14204 Detroit Ave.  
 Lakewood, OH 44107

Applicant proposes a two-story addition, renovation, and new detached garage for an existing home. (Page 128)

**15. Docket No. 07-68-24**

**(R)**

**1115 Wilbert Rd.**

- Approve
- Deny
- Defer

Elizabeth Davis  
Old World Classics LLC  
7056 Mears Gate Dr. NW  
North Canton, OH 44720

Applicant proposes an addition to an existing home. (Page 135)

**ADJOURN**

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nocht at (216) 529-5906 [michelle.nochta@lakewoodoh.gov](mailto:michelle.nochta@lakewoodoh.gov)."*



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 06-57-24**

**Permit No.: BBS24-000062 and BBS24-000066**

**Applicant Name: Michael Christoff, Vocon**

**Project Address: 16000 & 15801 Detroit Ave.**

**Project Name: Barry Buick Development**

**Project: Applicant proposes a mixed-use development with ground floor new retail, lobby, amenity space, and elevated residential units.**

May 22, 2024

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**RE: Architectural Review Board / Planning Commission – Project Narrative**

**Project Name:** Lakewood Detroit LLC  
**Project Location:** 16000 Detroit Avenue & 15801 Detroit Avenue

**Vocon Project No.** 220508.00

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**16000 Detroit Avenue & 15801 Detroit Avenue Mixed-Use Development**

The new mixed-use development located at 16000 Detroit Avenue & 15801 Detroit Avenue is situated on two adjacent sites comprising a total of 2.15 acres +/- (93450.83 sf). The site is situated on both the north and south sides of Detroit Avenue, between Rosewood Avenue to the east and Cranford Avenue to the west. The total project is approximately 124,824 gross square feet and will replace the currently vacant Buick car dealership.

The new development's ground floor addresses the street with 1,575 square feet of new retail, lobby, amenity space, and elevated residential units designed to complement the adjacent commercial district. The typical upper levels of both buildings are a mix of one-bedroom and two-bedroom units varying in size and offerings, giving the community several options in unit scale and affordability.

**Design Approach: Enhancing Community Fabric in Lakewood, Ohio**

Within Lakewood, Ohio's Commercial District, there's an opportunity to integrate modern elements with historical context, aiming to create an urban environment that aligns with the community's values and aspirations. Our proposed development consists of multifamily and mixed-use buildings, intending to address this opportunity through a contextually sensitivity and design quality.

Lakewood's Commercial District thrives on pedestrian activity, underscoring the importance of designing spaces conducive to human-scale interactions. The buildings prioritize pedestrian access, site continuity, and safety for residents and neighbors alike. Retail, lobby and amenity spaces are strategically located, and ground floors are activated with engaging storefronts to foster vibrant pedestrian corridors.

**Contextual Integration and Adaptive Design:**

Lakewood's architectural heritage, characterized by a mix of historic and modern structures, presents an opportunity for our development. Extensive site analysis and contextual research guided us to respect the scale, materials, and character of the surrounding built environment while meeting contemporary urban needs. Our design approach integrates traditional materials like brick and metal panels, blending into the district's historic fabric, while introducing modern elements to enhance the urban experience.

**Parking and Mobility Solutions:**

Our design incorporates discreet parking solutions at the rear of each building, internal parking opportunities, and dedicated bicycle parking facilities strategically located for accessibility and connectivity.

**Quality of Design and Materiality:**

Our design framework prioritizes design excellence and material integrity. Through evaluation of proportions, material properties, construction techniques, and environmental performance, we selected high-quality materials that enhance the buildings' aesthetic appeal, durability, sustainability, and resilience. Well-crafted masonry facades with depth of materiality and details, accents, and first-floor detail elements showcase a richness in building form and texture, elevating the architectural expression, and enriching the urban fabric of Lakewood's Commercial District.

**Conclusion:**

The design for the proposed multifamily and mixed-use buildings in Lakewood reflects a thoughtful and strategic approach to urban design and placemaking. By leveraging design rigor, contextual understanding, and a commitment to excellence, our aim is to create a development that enhances the community fabric.

**Building Information Summary:**

**Building North: 16000 Detroit Avenue**

Gross Area: 124,824 sf +/-

Retail Area: 1,573 sf +/-

1<sup>st</sup> Floor Lobby & Amenities: 3,879 sf +/-

Height: 48'-0"

Units: 66

Parking: 76

**Building South: 15801 Detroit Avenue**

Gross Area: 55,875 sf +/-

Retail Area: none

1<sup>st</sup> Floor Lobby & Amenities: 770 sf +/-

Height: 48'-0"

Units: 58

Parking: 77

**vocon.**

CITY OF LAKEWOOD ARB PLANNING SUBMISSION

**newbrook**  
PARTNERS

**TKG**  
THE KRUEGER GROUP



**LAKWOOD DETROIT LLC**

**16000 & 15801 DETROIT AVENUE | LAKEWOOD, OH**

# AGENDA

- 01 Site Context
- 02 Master Plan
- 03 Floor Plans
- 04 Building Elevations
- 05 Wall Sections & Details
- 06 Renderings
- 07 Landscape Plan & Site Lighting

# LAKWOOD- SITE CONTEXT



1. Brockley Avenue Looking South



2. Brockley Avenue & Detroit Avenue Intersection



3. Rosewood Avenue Looking North



4. Rosewood Avenue & Detroit Avenue Looking West on Detroit Avenue



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"



# LAKWOOD- SITE CONTEXT



5. Cranford Avenue Looking South



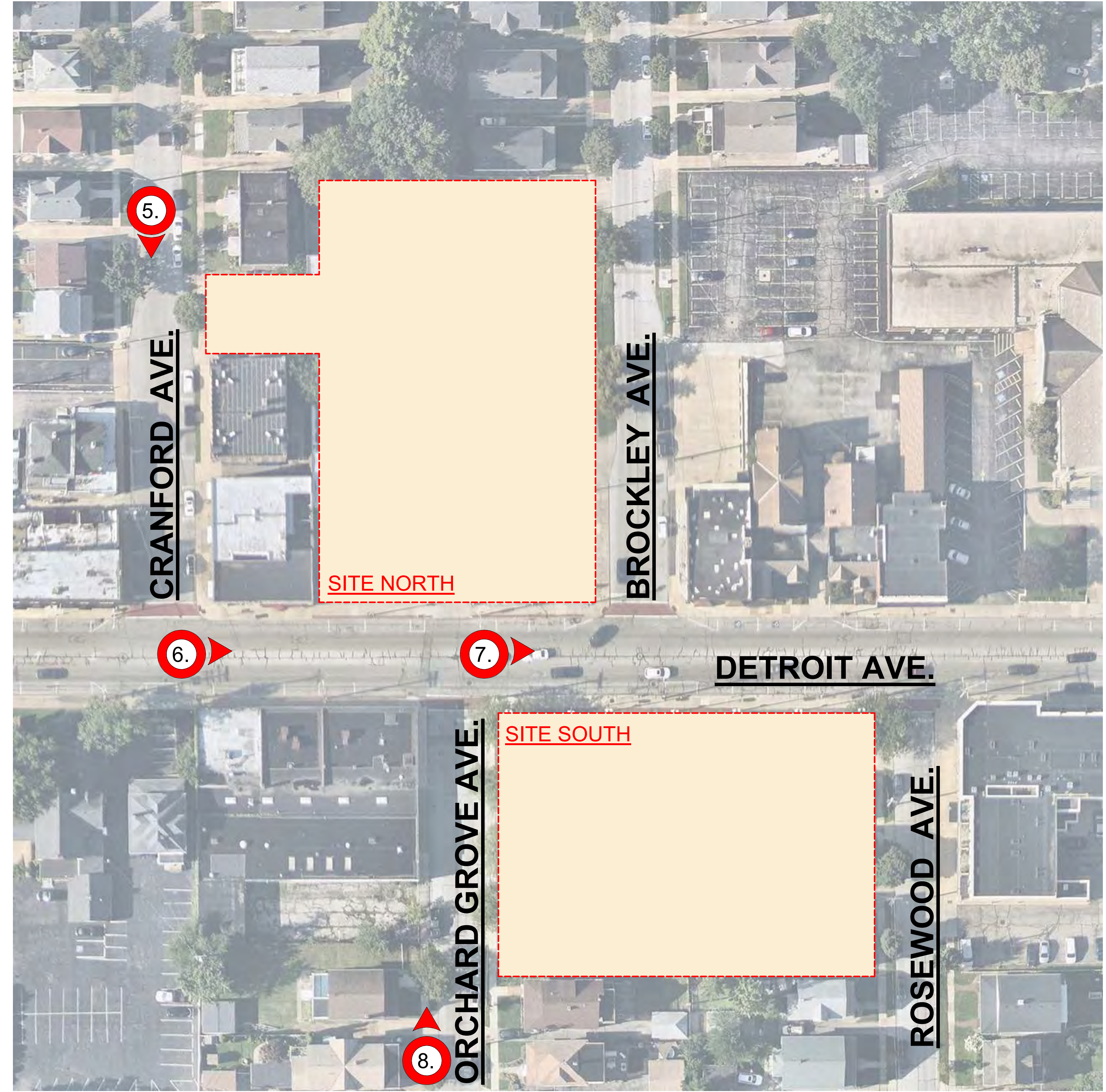
6. Cranford Avenue & Detroit Avenue Intersection Looking East on Detroit Avenue



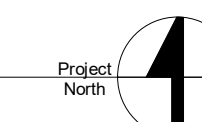
7. Orchard Grove Avenue & Detroit Avenue Looking East



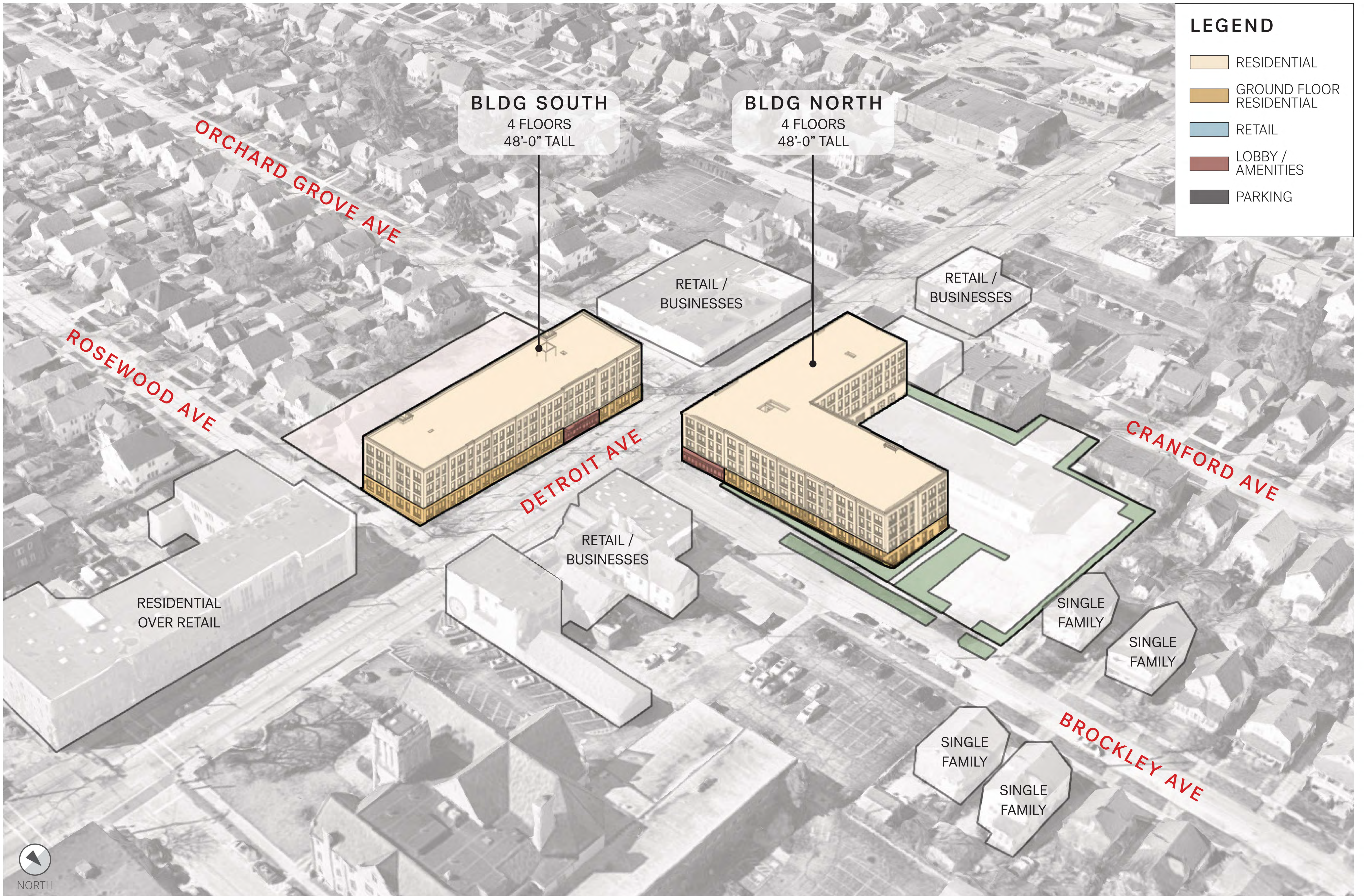
8. Orchard Grove Avenue Looking North



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"







**LEGEND**

- RESIDENTIAL
- GROUND FLOOR RESIDENTIAL
- RETAIL
- LOBBY / AMENITIES
- PARKING

**BLDG SOUTH**  
4 FLOORS  
48'-0" TALL

**BLDG NORTH**  
4 FLOORS  
48'-0" TALL

RETAIL /  
BUSINESSES

RETAIL /  
BUSINESSES

RETAIL /  
BUSINESSES

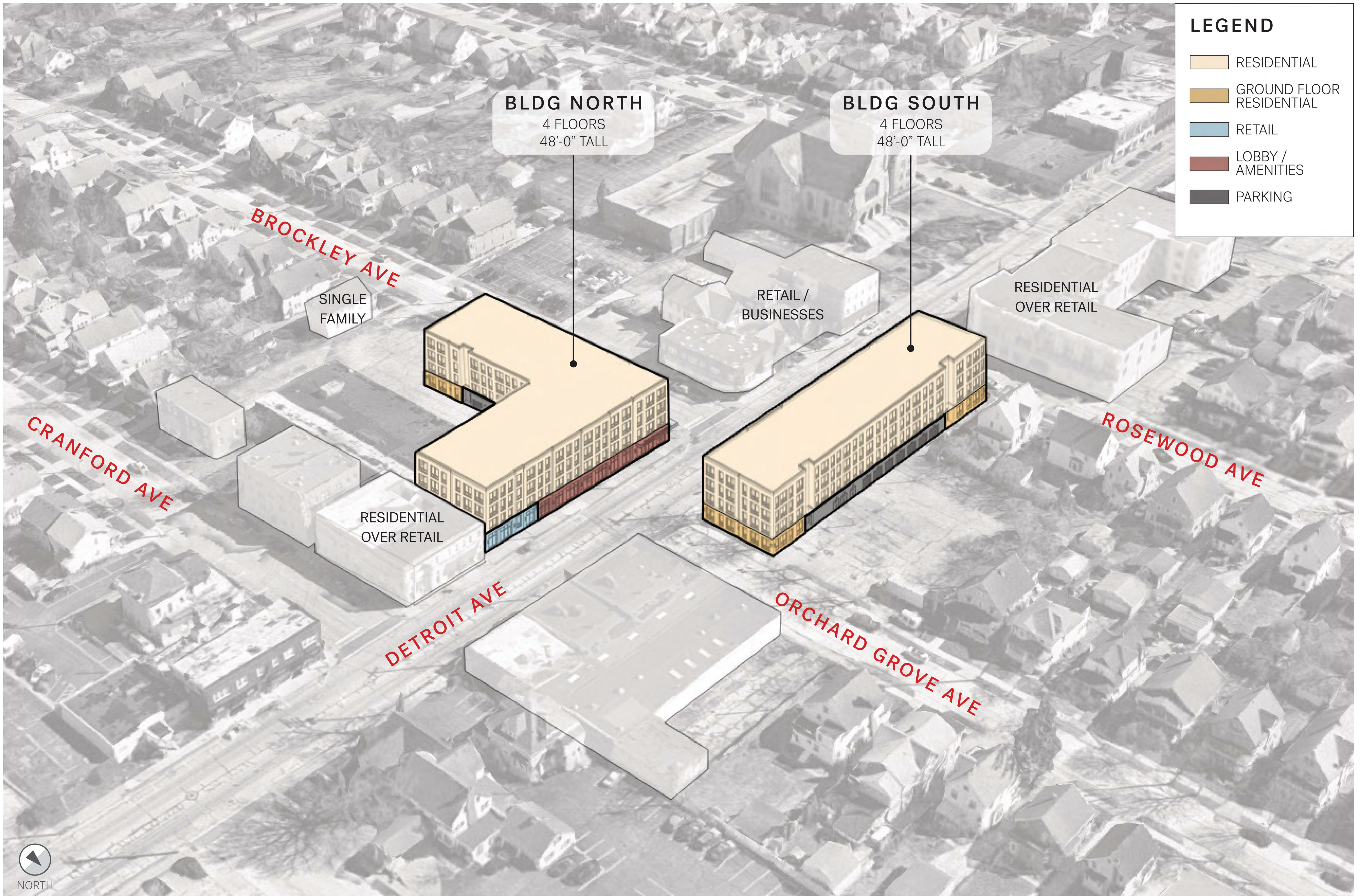
SINGLE  
FAMILY

SINGLE  
FAMILY

SINGLE  
FAMILY

SINGLE  
FAMILY





**LEGEND**

- RESIDENTIAL
- GROUND FLOOR RESIDENTIAL
- RETAIL
- LOBBY / AMENITIES
- PARKING

**BLDG NORTH**  
4 FLOORS  
48'-0" TALL

**BLDG SOUTH**  
4 FLOORS  
48'-0" TALL

**BROCKLEY AVE**

SINGLE FAMILY

**CRANFORD AVE**

RESIDENTIAL OVER RETAIL

**DETROIT AVE**

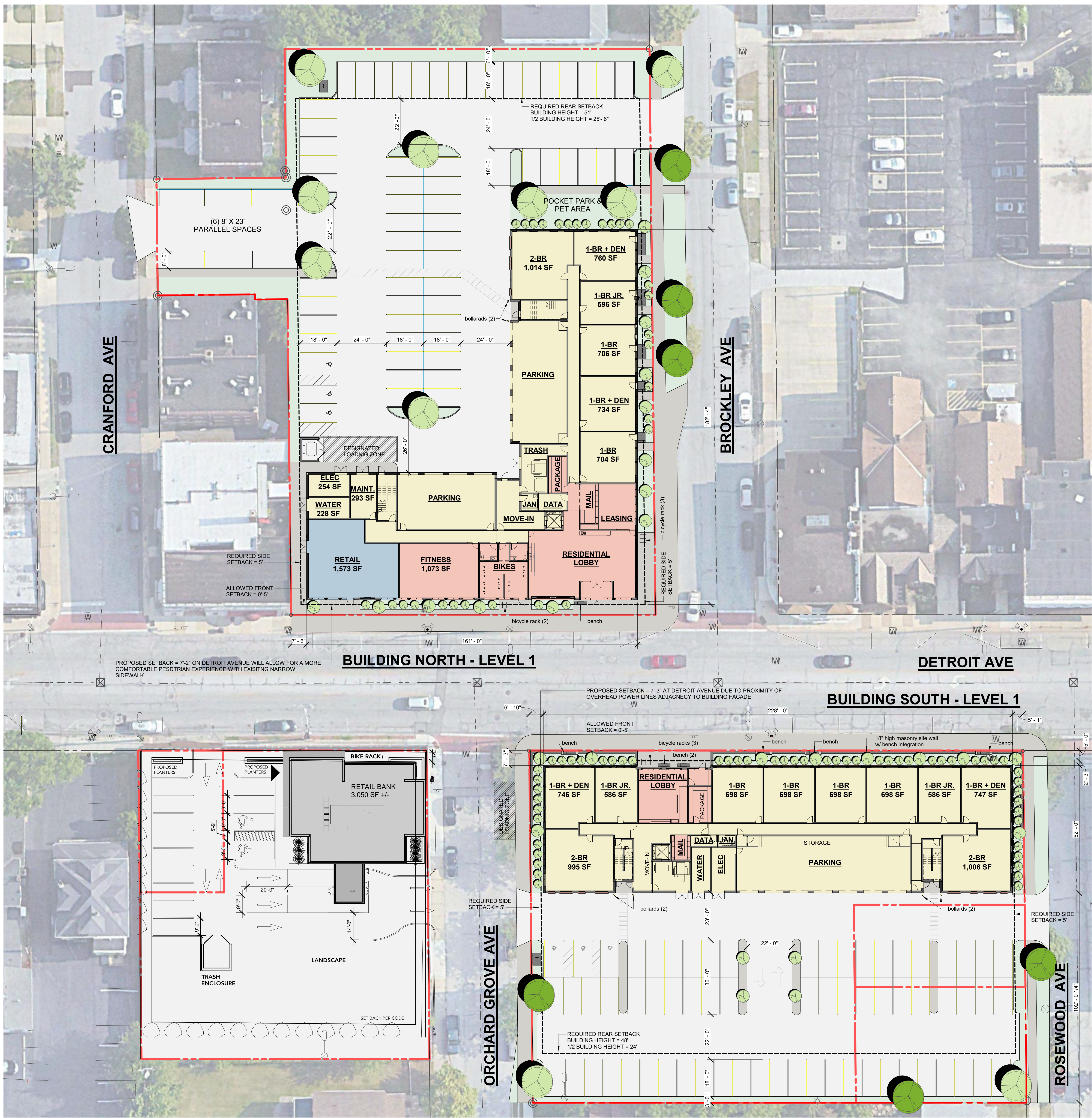
RETAIL / BUSINESSES

**ROSEWOOD AVE**

RESIDENTIAL OVER RETAIL

**ORCHARD GROVE AVE**





**GROSS BUILDING AREA**

BUILDING - NORTH	
LEVEL 01 +680	17,148 SF
LEVEL 02	17,267 SF
LEVEL 03	17,267 SF
LEVEL 04	17,267 SF
<b>TOTAL</b>	<b>68,949 SF</b>

BUILDING - SOUTH	
LEVEL 01 +680	13,911 SF
LEVEL 02	13,988 SF
LEVEL 03	13,988 SF
LEVEL 04	13,988 SF
<b>TOTAL</b>	<b>55,875 SF</b>

**TOTAL GROSS AREA 124,824 SF**

**BUILDING UNIT MIX**

UNIT TYPE	UNIT SIZE	COUNT
<b>BUILDING - NORTH</b>		
1 BR	665-700 sf +/-	29
1 BR - DEN	760 sf +/-	8
1 BR - JR	600 sf +/-	16
2 BR - #1	1,000 -1,100sf +/-	13
<b>TOTAL</b>		<b>66</b>
<b>BUILDING - SOUTH</b>		
1 BR	665-700 sf +/-	28
1 BR - DEN	760 sf +/-	11
1 BR - JR	<varies>	8
2 BR - #1	1,000 -1,100sf +/-	11
<b>TOTAL</b>		<b>58</b>
<b>TOTAL # OF UNITS</b>		<b>124</b>

**RESIDENTIAL LEASEABLE**

BUILDING - NORTH	
LEVEL 01 +680	4,513 SF
LEVEL 02	14,954 SF
LEVEL 03	14,954 SF
LEVEL 04	14,954 SF
<b>TOTAL</b>	<b>49,374 SF</b>

BUILDING - SOUTH	
LEVEL 01 +680	7,458 SF
LEVEL 02	12,232 SF
LEVEL 03	12,232 SF
LEVEL 04	12,232 SF
<b>TOTAL</b>	<b>44,154 SF</b>

**TOTAL LEASEABLE AREA 93,529 SF**

**UNIT MIX BY PERCENTAGE**

UNIT TYPE	UNIT SIZE	PERCENTAGE	COUNT
1 BR	665-700 sf +/-	46%	57
1 BR - DEN	760 sf +/-	15%	19
1 BR - JR	<varies>	19%	24
2 BR - #1	1,000 -1,100sf +/-	19%	24
<b>TOTAL # OF UNITS</b>			<b>124</b>

**AMENITIES & BLDG SERVICES**

BUILDING - NORTH	
AMENITIES	2,116 SF
BUILDING SERVICES	1,387 SF
LOBBY	2,390 SF
PARKING	3,061 SF
RETAIL	1,573 SF
<b>TOTAL</b>	<b>10,527 SF</b>

BUILDING - SOUTH	
BUILDING SERVICES	1,240 SF
LOBBY	770 SF
PARKING	2,400 SF
<b>TOTAL</b>	<b>4,410 SF</b>

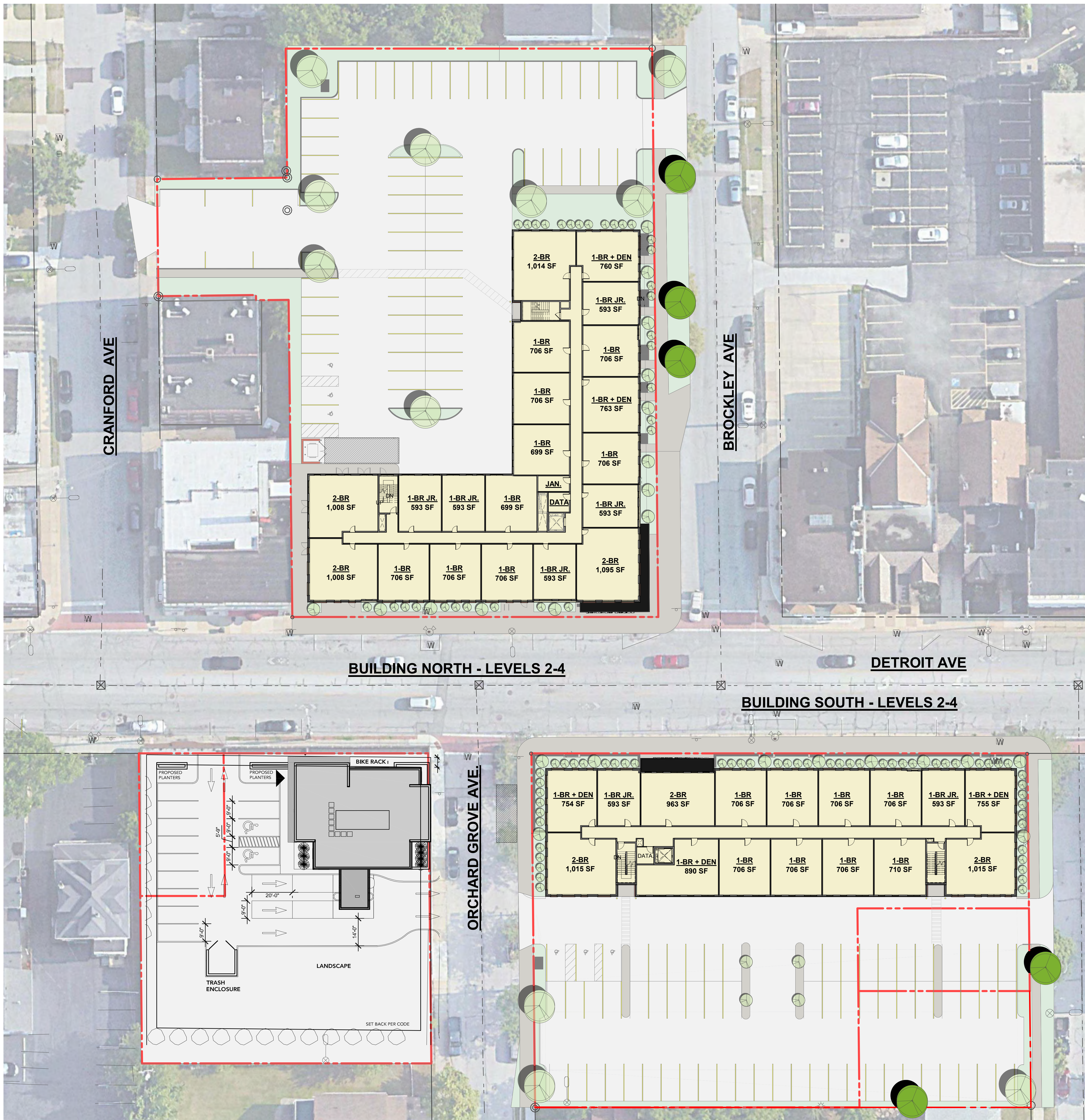
**PARKING COUNTS**

BUILDING - NORTH PARKING	
Accessible Parking - 9'x18'	2
Accessible Parking - 11'x18' van	1
Covered Parking - 12'x20'	9
Parallel Parking - 23' x 8'	6
Standard Parking - 9'x18'	57
<b>Building - North Total</b>	<b>75</b>
<b>BUILDING - SOUTH PARKING</b>	
Accessible Parking - 9'x18'	3
Covered Parking - 12'x20'	7
Standard Parking - 9'x18'	63
<b>Building - South Total</b>	<b>73</b>
<b>TOTAL PARKING PROVIDED</b>	<b>148</b>

**ZONING NOTES:**

This project is being proposed as a Mixed Use Overlay within the C3 General Business District, under Chapter 1135 Mixed Use Overlay District.

- Requesting a conditional use permit for ground floor residential units as allowed through Section 1135.05 Principal and Conditionally Permitted Uses and Chapter 1161 Conditional Uses, Section 1161.02 General Standards for all Conditional Uses
- Section 1135.09 Minimum Yards
  - Requesting relaxation of the maximum 5' front yard setback on Detroit Avenue (Per base C3 Zoning District, Section 1129.06)
  - Proposing a 7'-2" front yard setback on Detroit Avenue for the North Building
  - Proposing a 7'-3" front yard setback on Detroit Avenue for the South Building
- Requesting relaxation of 10' landscaped buffer between the proposed Mixed Use Overlay and the adjacent R2 – Residential, Single and Two Family District.
  - Proposed 6'-0" landscape buffer along the north property line of the north building site with a 6' high opaque vinyl fence
  - Proposed 3'-0" landscape buffer along the south property line of the south building with a 6' high opaque vinyl fence.



**GROSS BUILDING AREA**

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**TOTAL GROSS AREA: 124,824 SF**

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<b>TOTAL</b>		<b>58</b>

**TOTAL # OF UNITS: 124**

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**TOTAL PARKING PROVIDED: 148**

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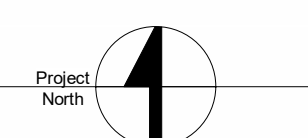
2 BUILDING SOUTH - TYPICAL UPPER FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 Project North

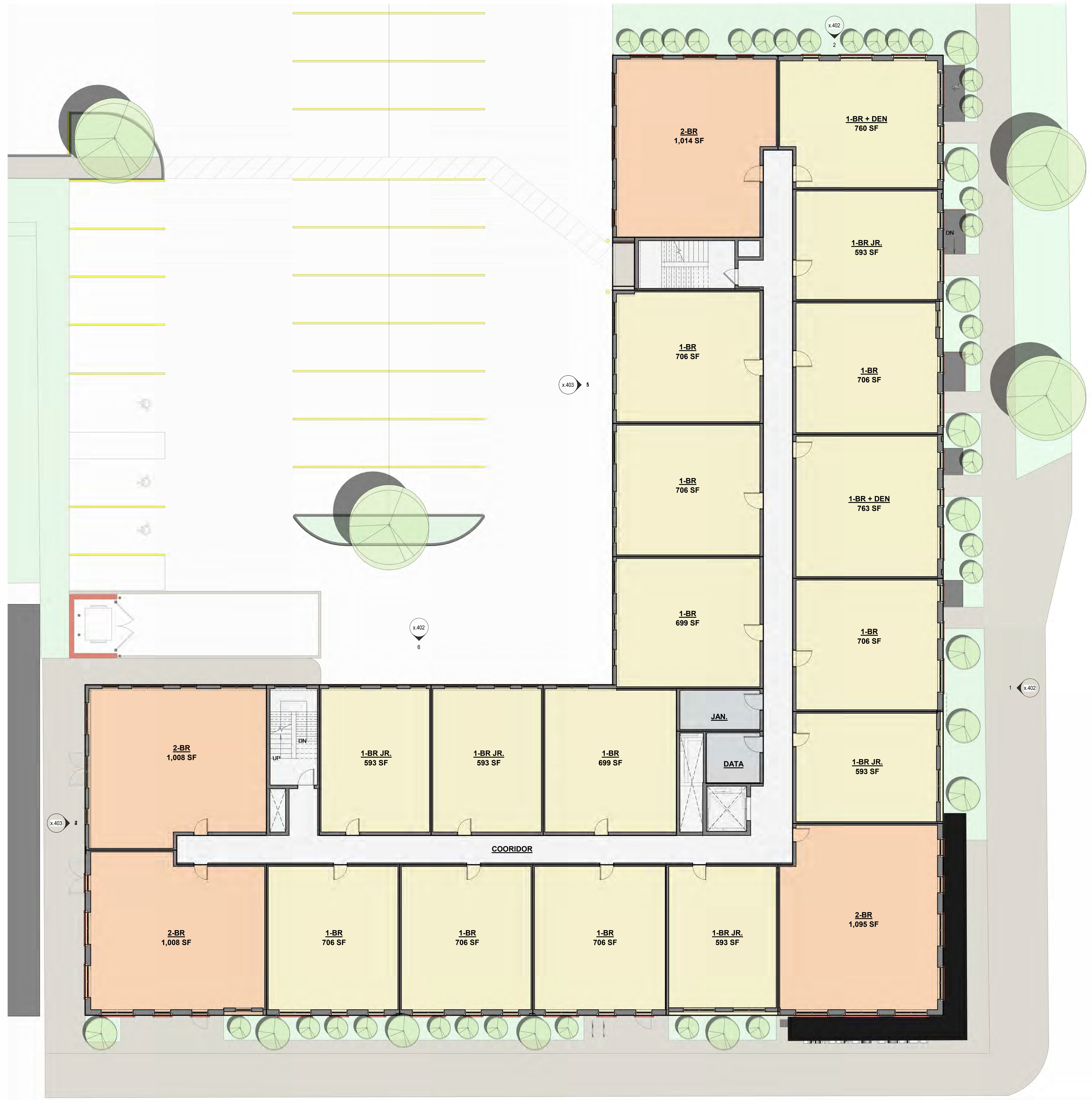


1 BUILDING SOUTH - FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 Project North



1 BUILDING NORTH - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"





1 BUILDING NORTH - TYPICAL UPPER FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



4 BUILDING SOUTH - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 BUILDING SOUTH - WEST ELEVATION  
SCALE: 1/8" = 1'-0"




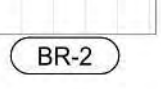








2 BUILDING SOUTH - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 BUILDING SOUTH - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR CLADDING</b> PACCLAD CONCEALED FASTENER METAL PANEL SYSTEM PROFILE: BOX RIB COLOR: GRAPHITE
	<b>EXTERIOR CLADDING</b> PACCLAD EXPOSED FASTENER METAL PANEL SYSTEM PROFILE: M-36 PANEL COLOR: GRAPHITE
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT TEXTURE: FLAT COLOR: CHARCOAL
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT, DETAIL TRIM TEXTURE: FLAT COLOR: CHARCOAL
	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
	<b>COPING</b> ALUMINUM COPING COLOR TO MATCH FC-1
	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD

**NOTE:** EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER  
2 LIGHT 12" TALL OUTDOOR WALL SCONCE

EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR CLADDING</b> PACCLAD CONCEALED FASTENER METAL PANEL SYSTEM PROFILE: BOX RIB 1 COLOR: GRAPHITE
	<b>EXTERIOR CLADDING</b> PACCLAD EXPOSED FASTENER METAL PANEL SYSTEM PROFILE: M-36 PANEL COLOR: GRAPHITE
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT TEXTURE: FLAT COLOR: CHARCOAL
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT, DETAIL TRIM TEXTURE: FLAT COLOR: CHARCOAL
	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
	<b>COPING</b> ALUMINUM COPING COLOR TO MATCH FC-1
	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD
<b>NOTE:</b> EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER 2 LIGHT 12" TALL OUTDOOR WALL SCONCE	



6 BUILDING NORTH - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



5 BUILDING NORTH - WEST ELEVATION 1  
SCALE: 1/8" = 1'-0"



4 BUILDING NORTH - WEST ELEVATION 2  
SCALE: 1/8" = 1'-0"



3 BUILDING NORTH - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



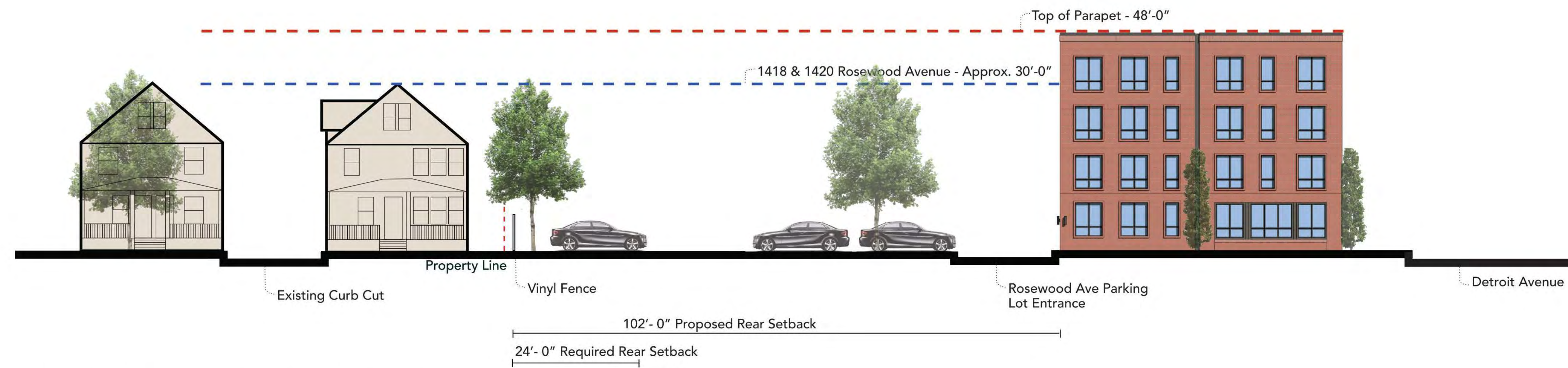
2 BUILDING NORTH - NORTH ELEVATION 2  
SCALE: 1/8" = 1'-0"



1 BUILDING NORTH - EAST ELEVATION 1  
SCALE: 1/8" = 1'-0"



**Building South | Detroit Avenue Site Section**



**Building South | Rosewood Avenue Site Section**



**Building North | Brockley Avenue Site Section**



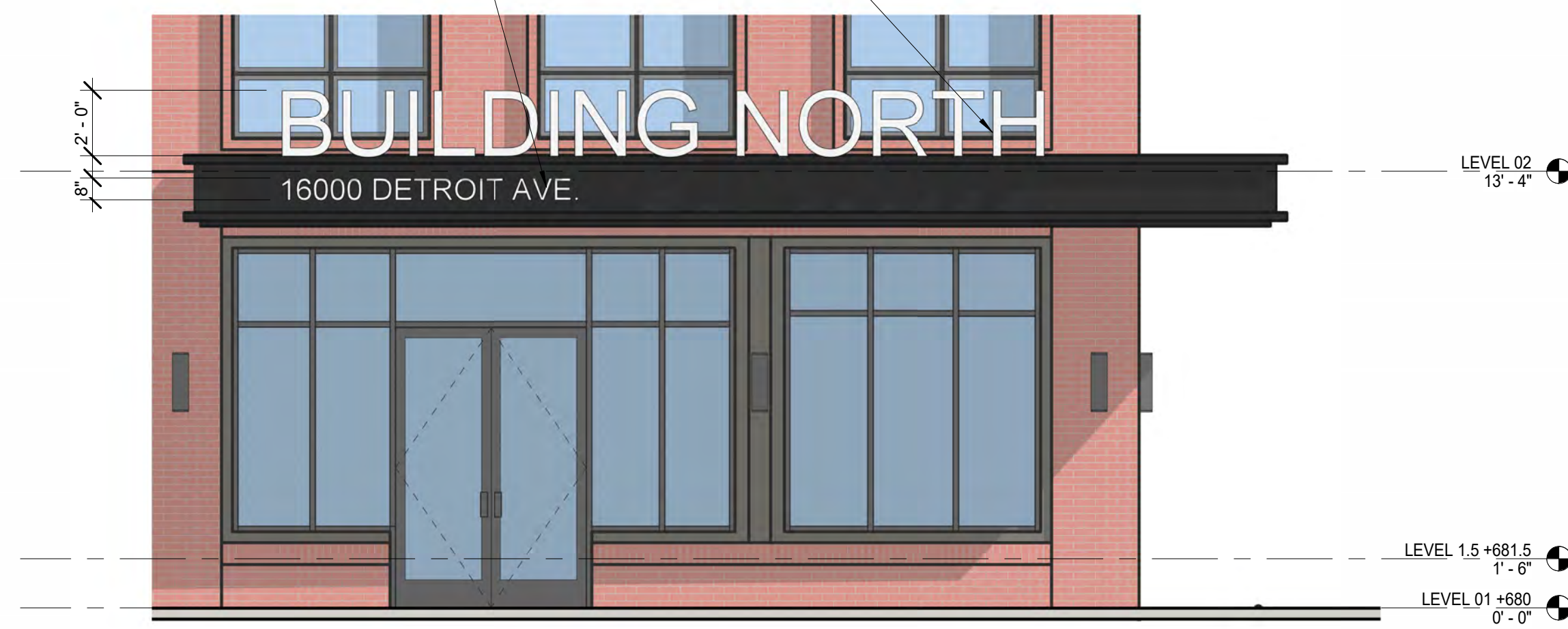
**Building North | Cranford Avenue Site Section**



3 TYPICAL RESIDENTIAL WINDOW DESIGN - DETROIT AVE.  
SCALE: 1/4" = 1'-0"

24" TALL X 3" DEEP REVERSE CHANNEL LETTERS .090 ALUMINUM CONSTRUCTION  
LETTERS ARE TO BE SECURED USING A STRUCTURE OF FABRICATED BRACKETS AND BACKING RAIL WHICH WILL MOUNT TO THE CANOPY DECKING AND ALSO PERMIT FOR THE BASE OF THE LETTERS TO BE ELEVATED TO CLEAR THE PARAPET.  
FINISH TBD OR MATCH THE CANOPY COLOR

8" TALL X 5" DEEP CHARACTERS MACHINED FROM SOLID ALUMINUM ATTACHMENT WILL BE USING PIN-MOUNTED LEGS AND STAND-OFFS  
FINISH TBD OR MATCH THE CANOPY COLOR

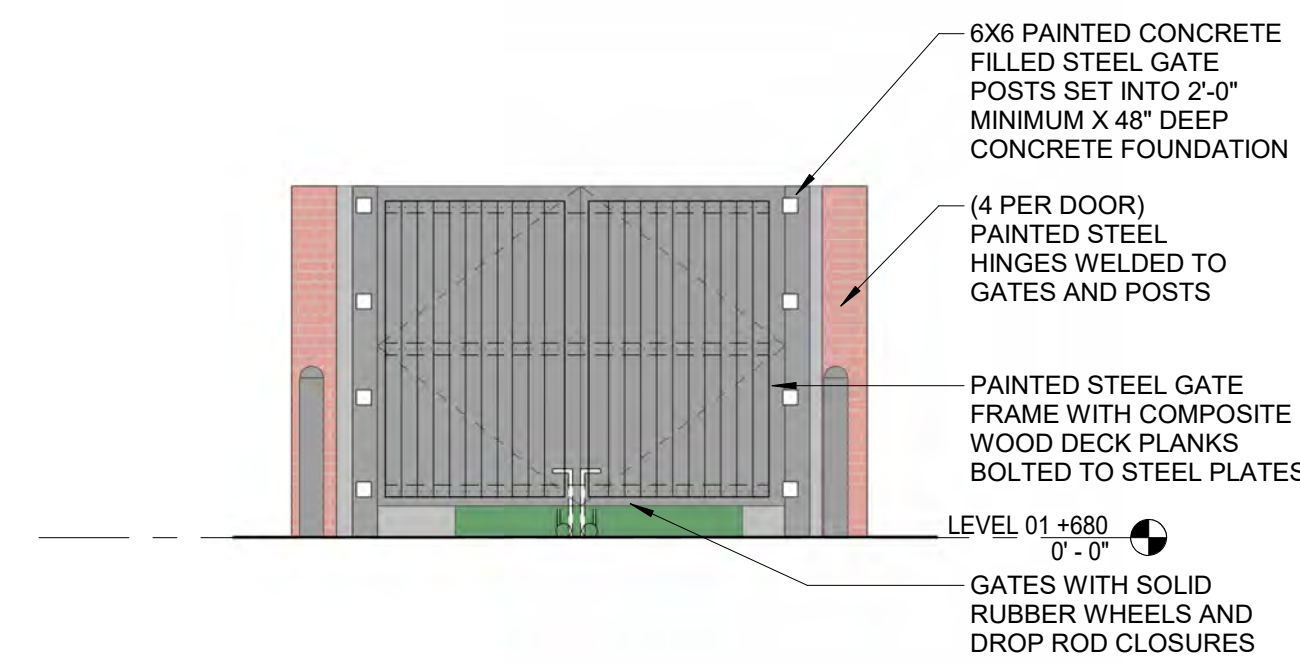


2 BUILDING NORTH - SIGNAGE  
SCALE: 1/4" = 1'-0"

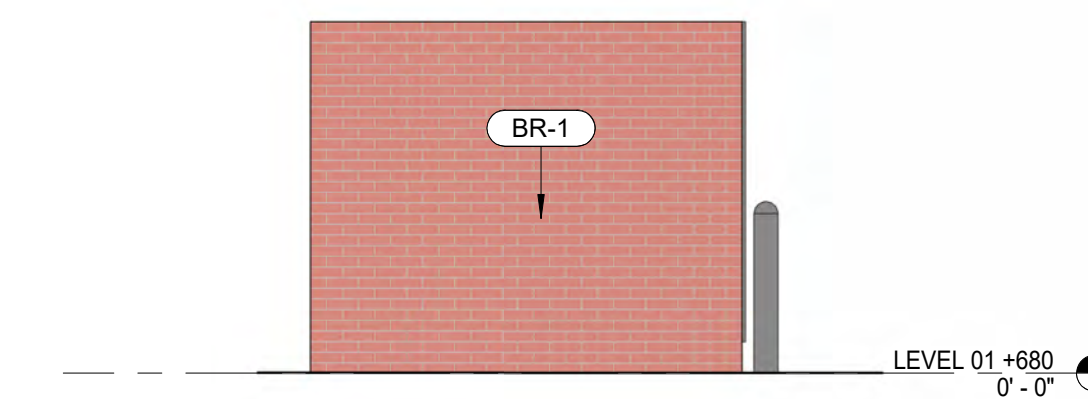
8" TALL X 5" DEEP CHARACTERS MACHINED FROM SOLID ALUMINUM ATTACHMENT WILL BE USING PIN-MOUNTED LEGS AND STAND-OFFS  
FINISH TBD OR MATCH THE CANOPY COLOR



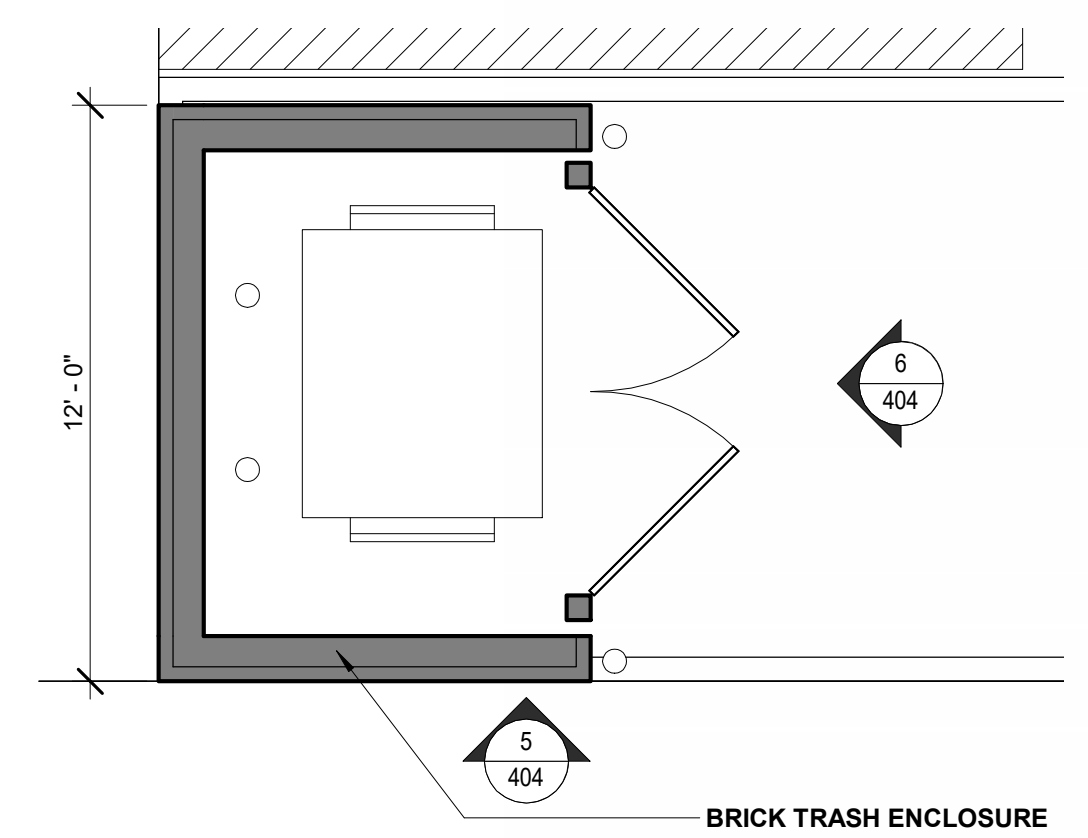
1 BUILDING SOUTH - SIGNAGE  
SCALE: 1/4" = 1'-0"



6 BUILDING NORTH - TRASH ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"

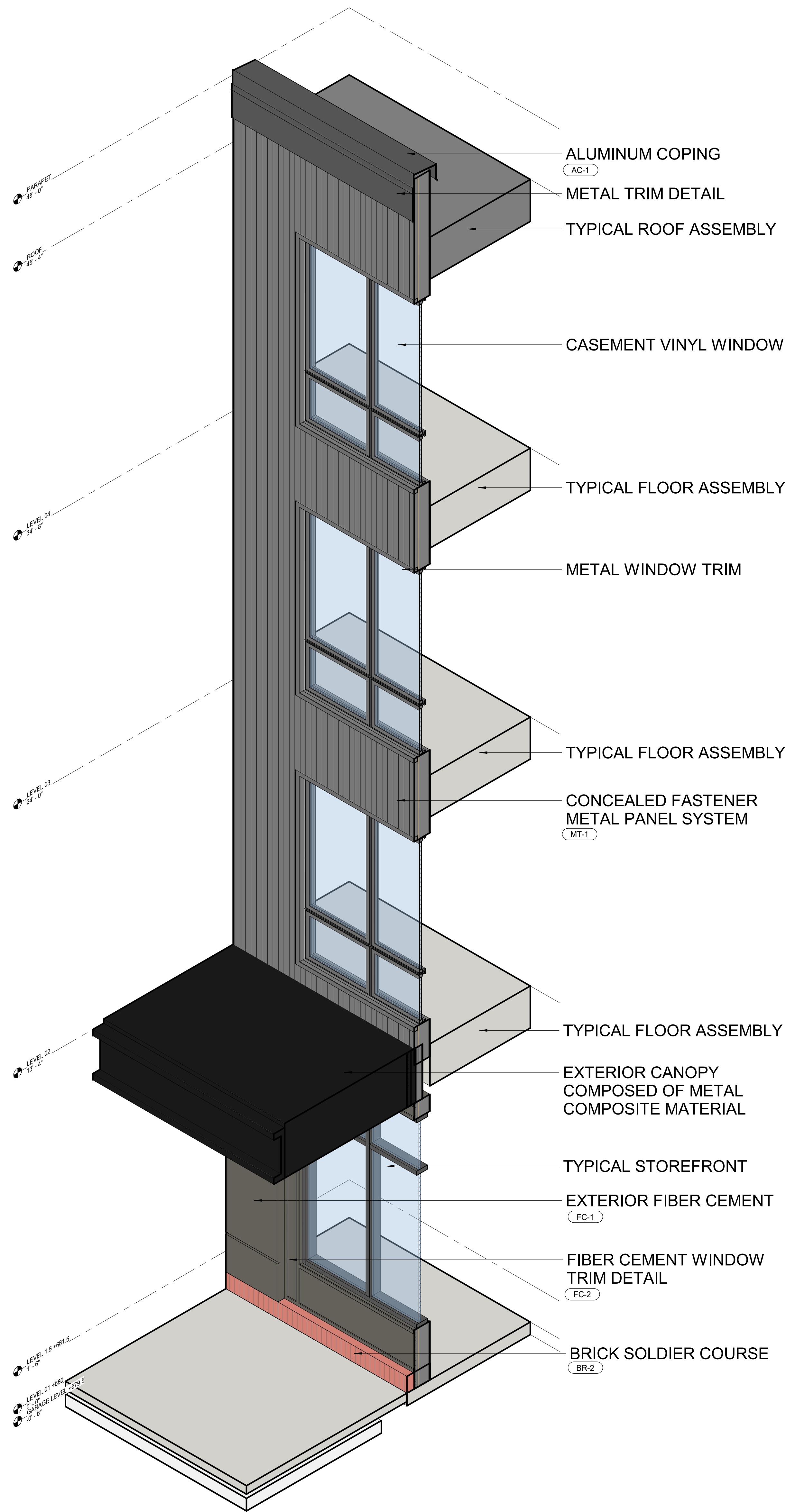


5 BUILDING NORTH - TRASH ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"

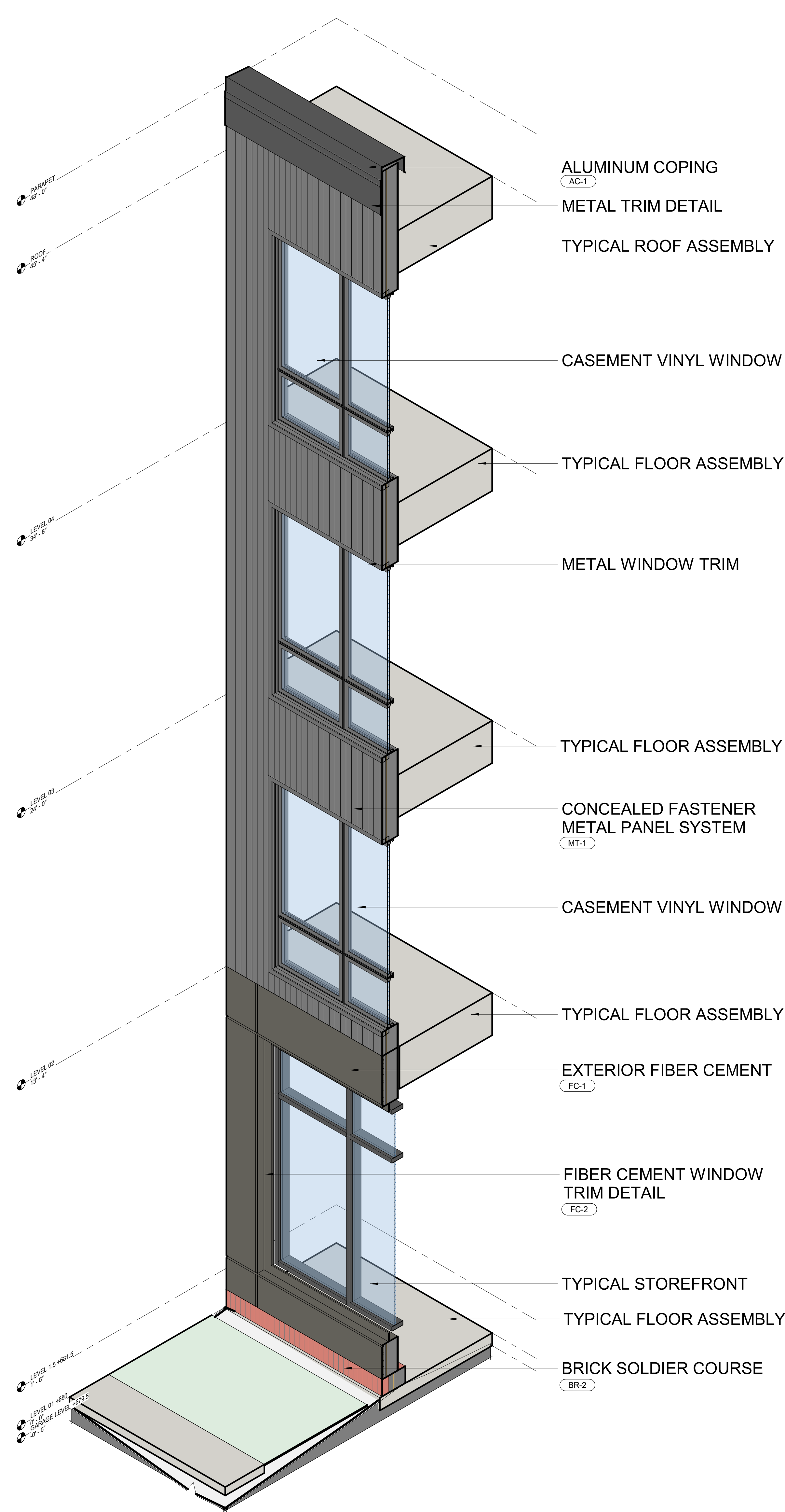


4 BUILDING NORTH - TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"

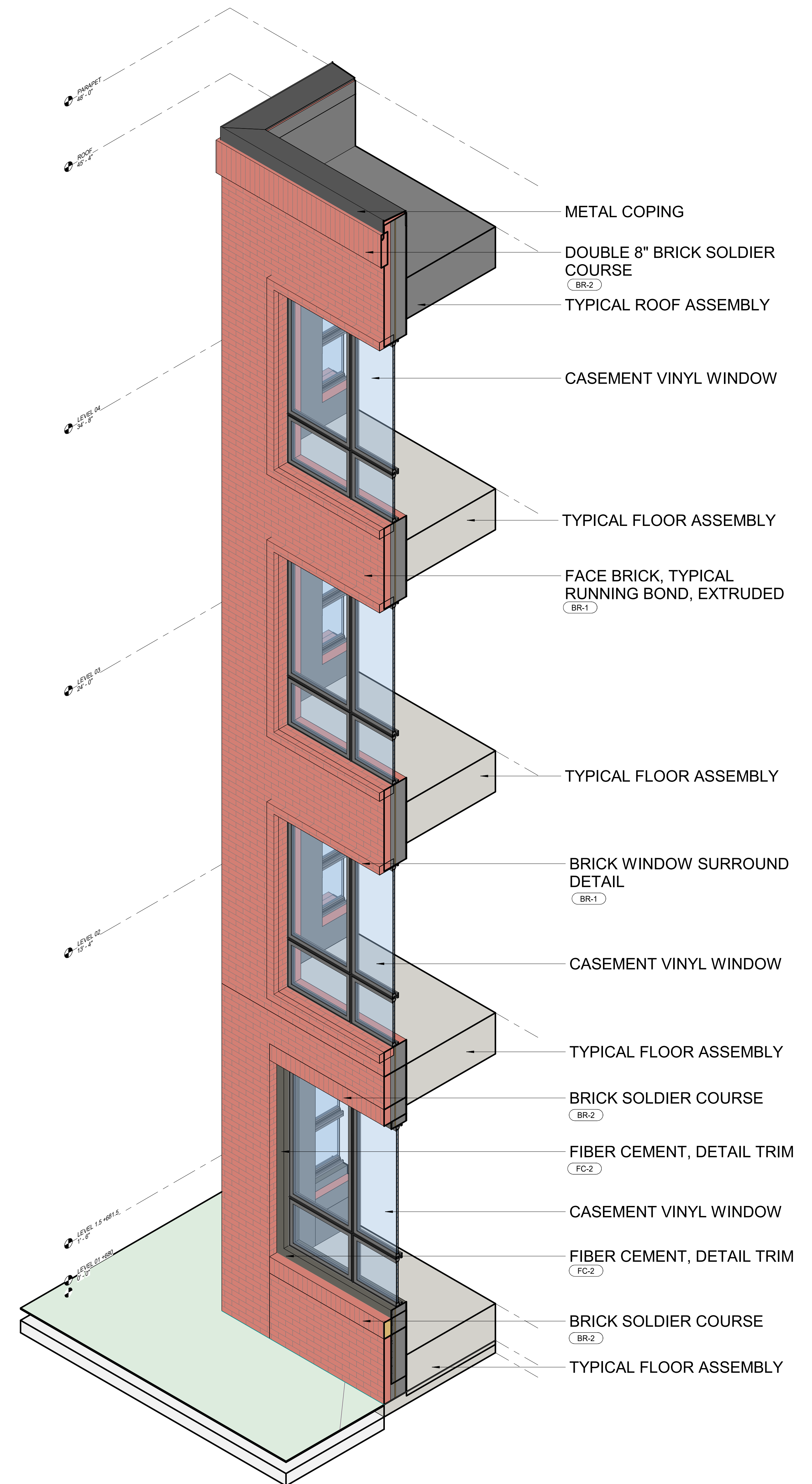
EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED YANKEE HILL - OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED YANKEE HILL - OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR CLADDING</b> PACCLAD CONCEALED FASTENER METAL PANEL SYSTEM PROFILE: BOX RIB 1 COLOR: GRAPHITE
	<b>EXTERIOR CLADDING</b> PACCLAD EXPOSED FASTENER METAL PANEL SYSTEM PROFILE: M-36 PANEL COLOR: GRAPHITE
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT TEXTURE: FLAT COLOR: CHARCOAL
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT, DETAIL TRIM TEXTURE: FLAT COLOR: CHARCOAL
	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
	<b>COPING</b> ALUMINUM COPING COLOR TO MATCH FC-1
	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD
<b>NOTE:</b> EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER 2 LIGHT 12" TALL OUTDOOR WALL SCONCE	



1 TYPICAL STOREFRONT CANOPY - METAL PANEL WALL AXON  
SCALE:



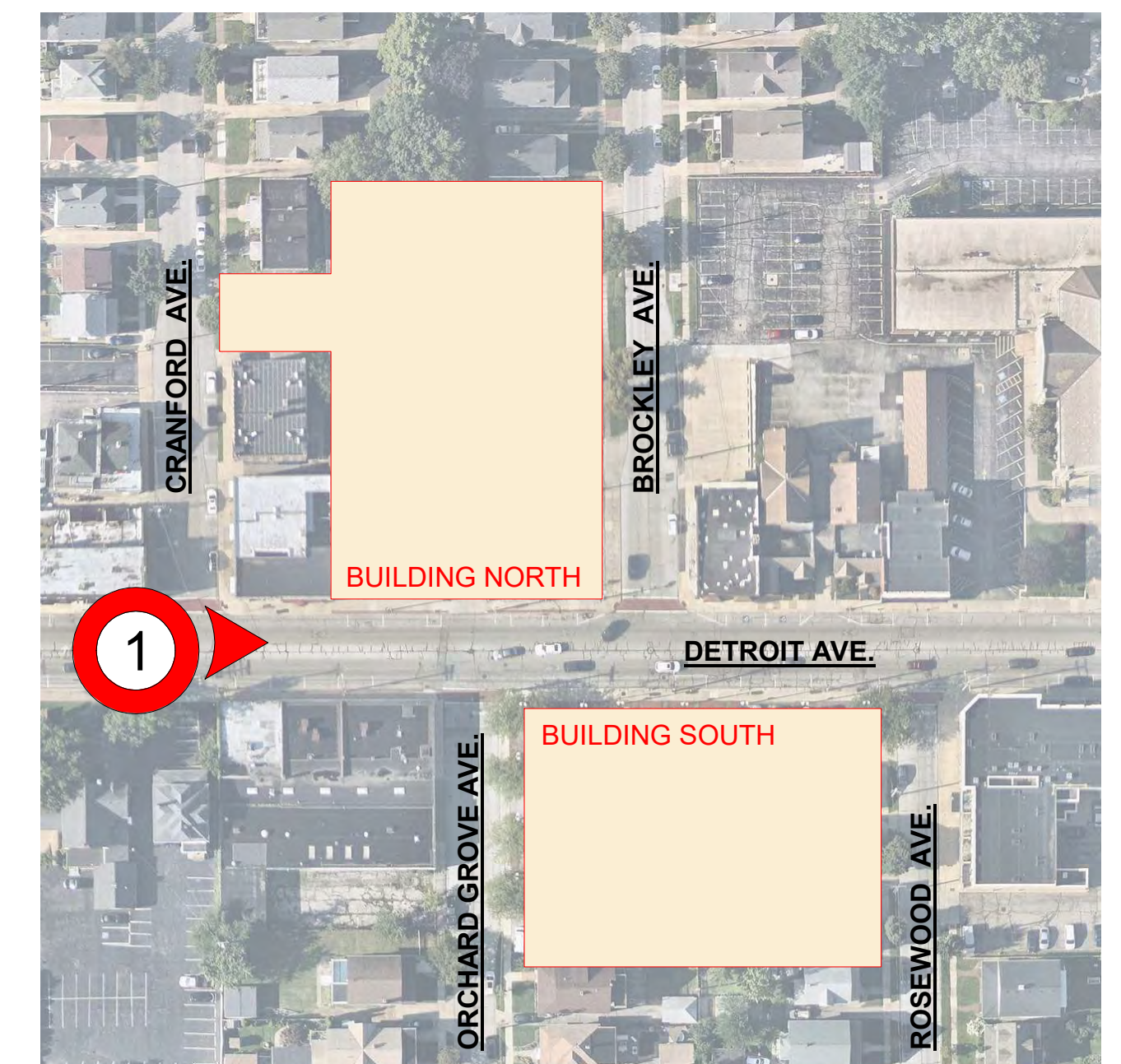
2 TYPICAL METAL PANEL FENESTRATION - WALL AXON  
SCALE:



3 TYPICAL BRICK FENESTRATION - WALL AXON  
SCALE:



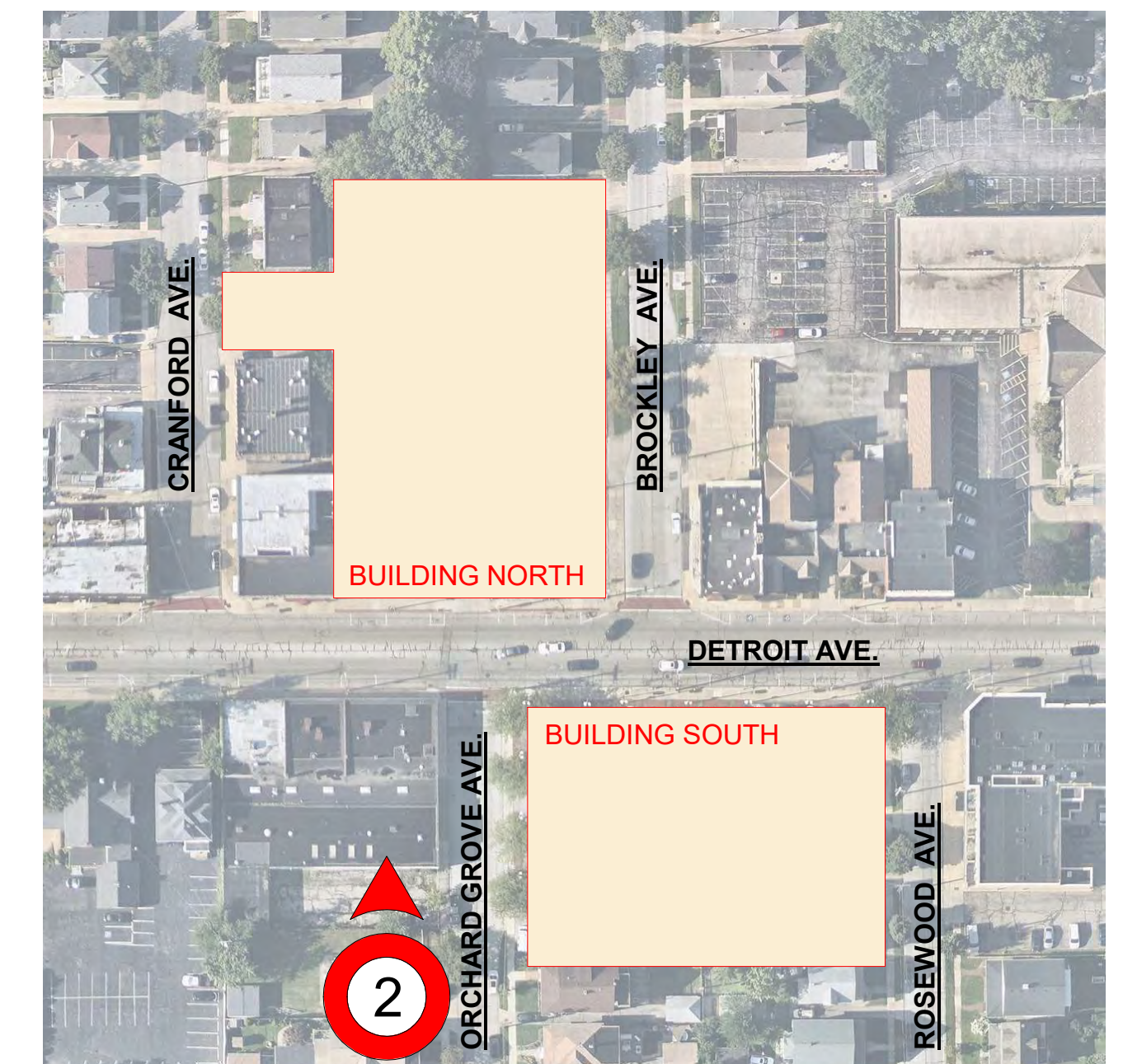
1. BUILDING NORTH & SOUTH - CORNER OF DETROIT AVENUE & CRANFORD AVENUE



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"



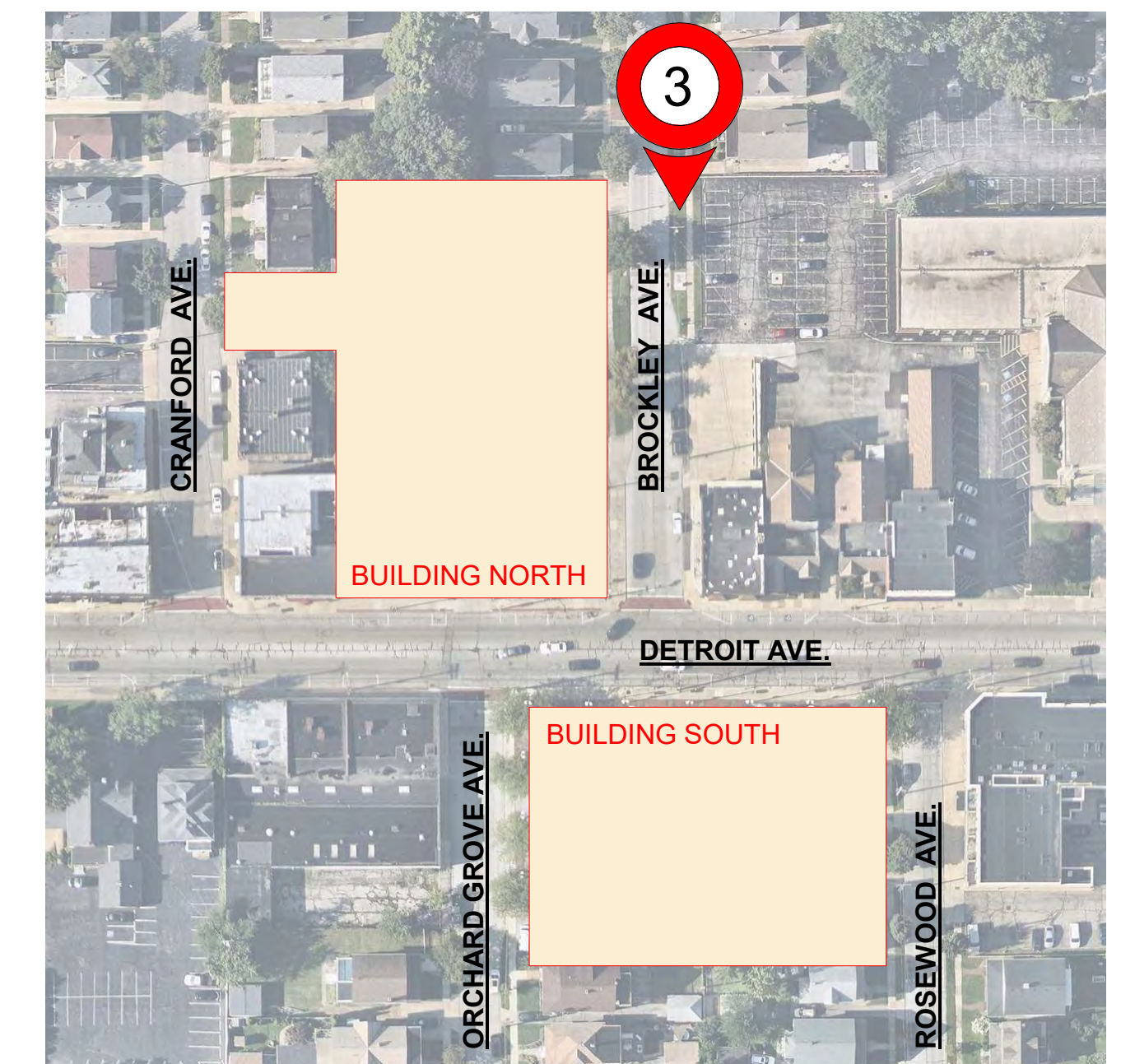
2. BUILDING NORTH & SOUTH - ORCHARD GROVE AVENUE LOOKING NORTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



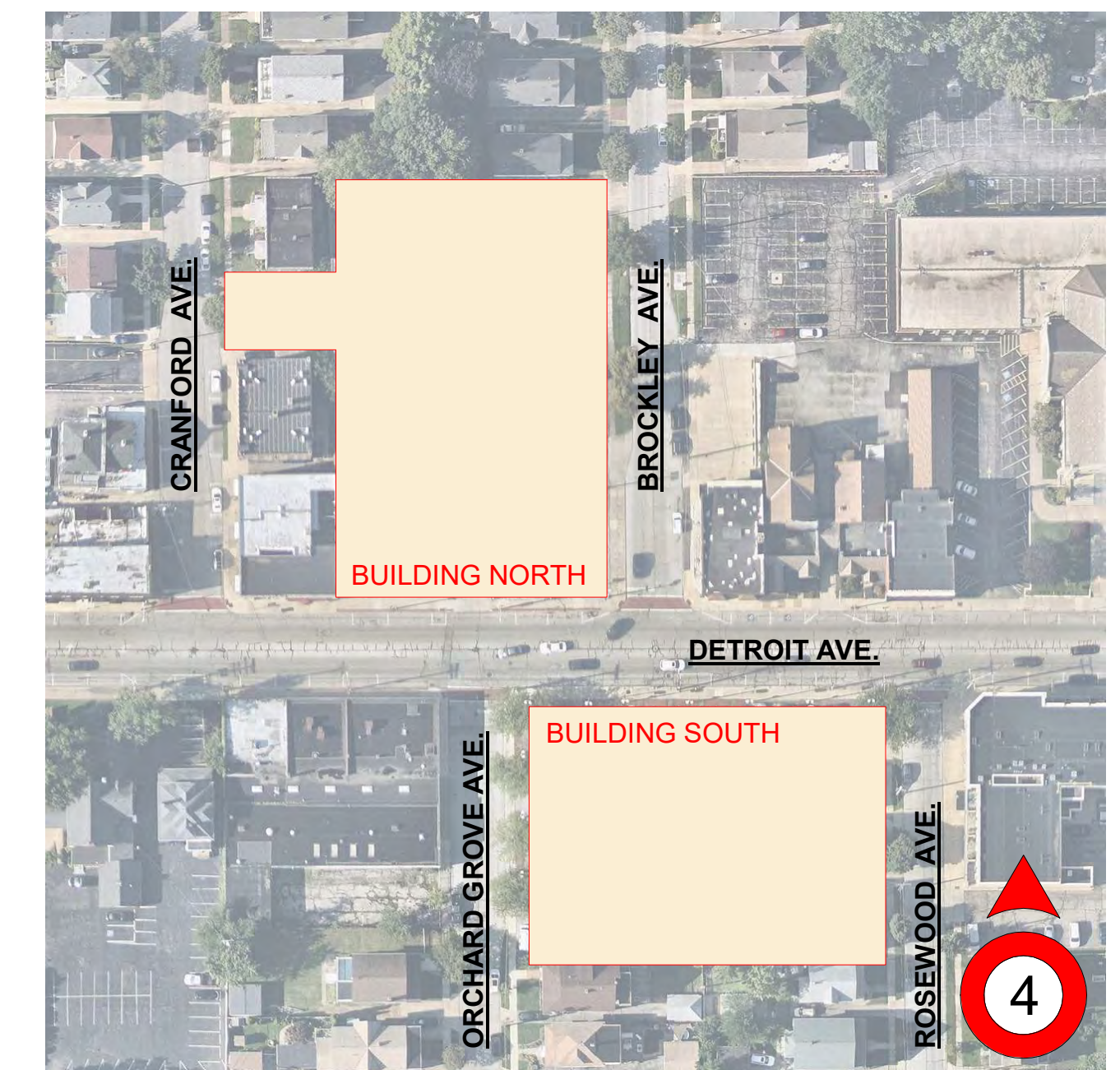
3. BUILDING NORTH & SOUTH - BROCKLEY AVENUE LOOKING SOUTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



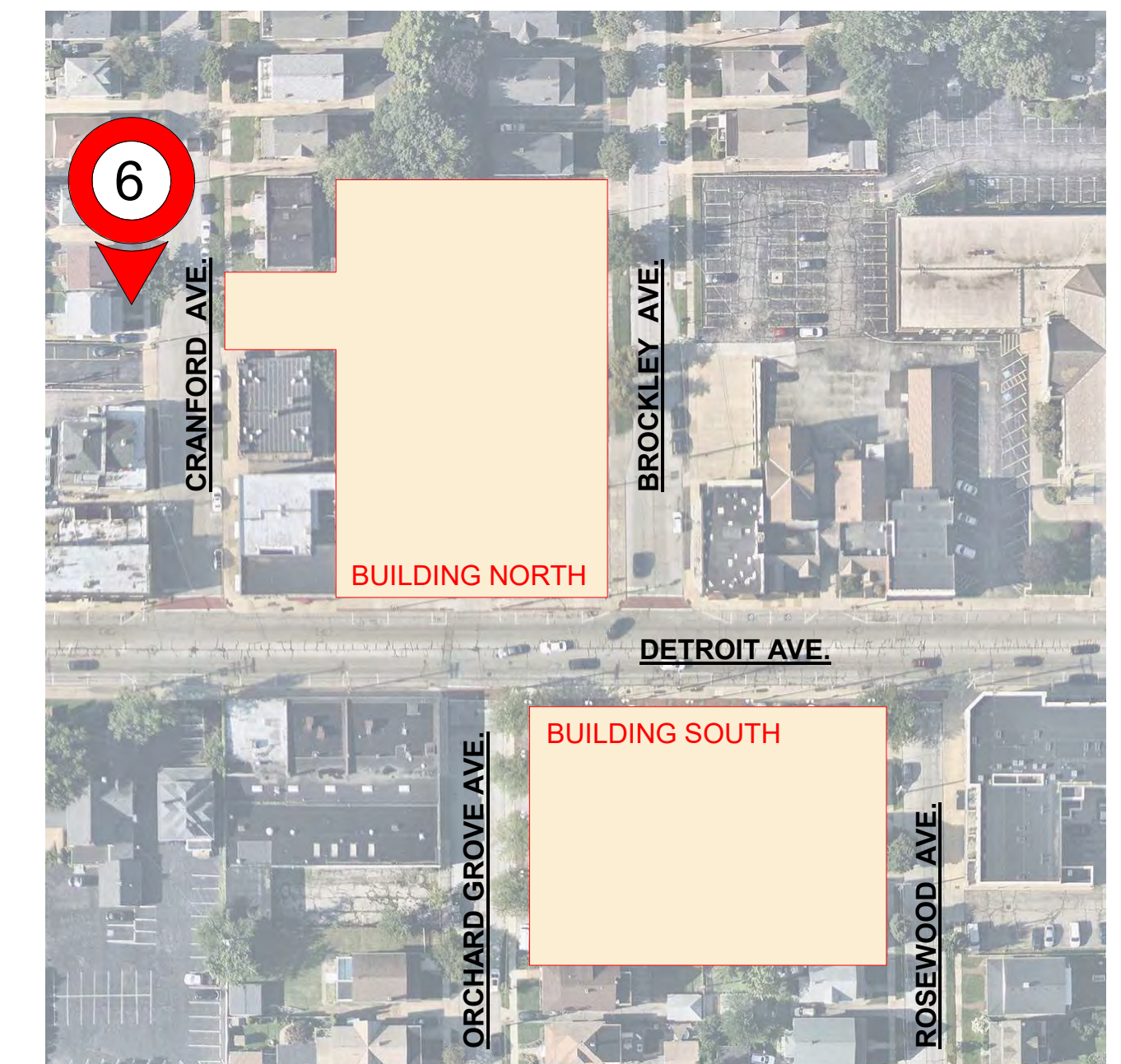
4. BUILDING SOUTH - ROSEWOOD AVENUE LOOKING NORTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"



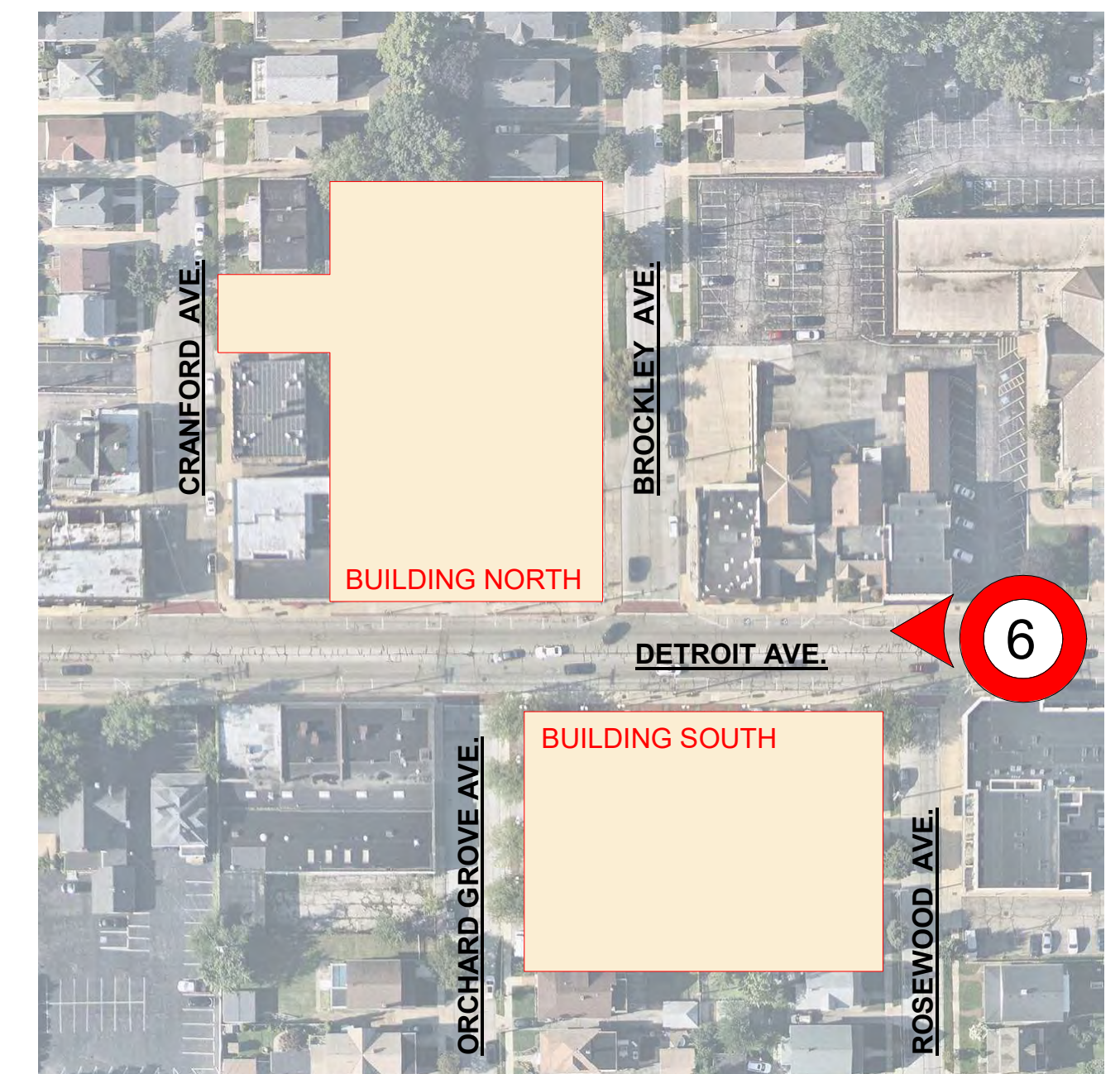
6. BUILDING NORTH - CRANFORD AVENUE LOOKING SOUTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



5. BUILDING NORTH & SOUTH - INTERSECTION OF ROSEWOOD AVENUE & DETROIT AVENUE



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



BUILDING SOUTH - WEST PERSPECTIVE



BUILDING SOUTH - EXTERIOR DETAIL STUDY



BUILDING SOUTH - SOUTH PERSPECTIVE



BUILDING NORTH - SOUTH ELEVATION



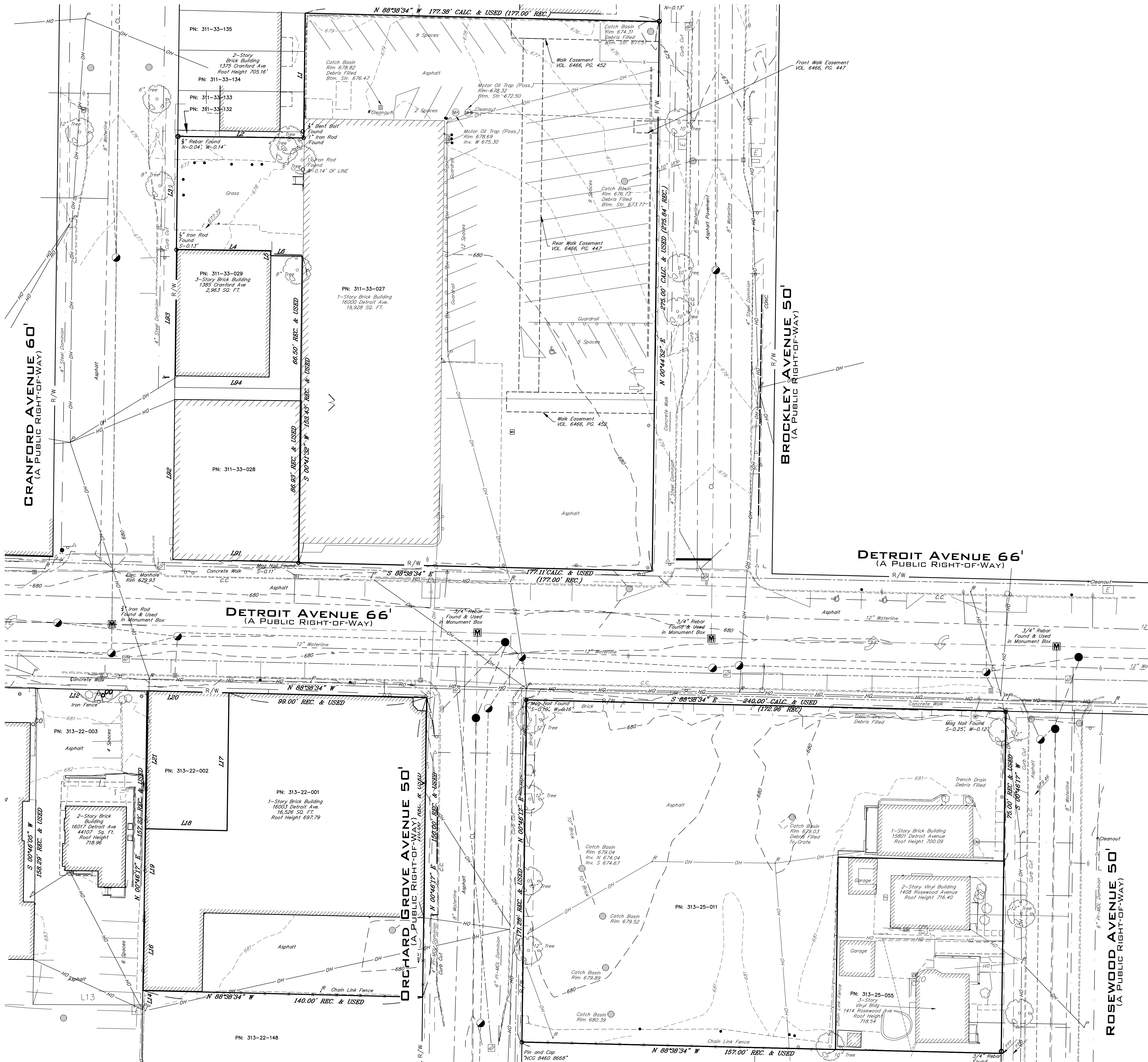
BUILDING NORTH - CORNER OF DETROIT AVENUE AND BROCKLEY AVENUE



BUILDING NORTH - VIEW LOOKING SOUTH ON BROCKLEY AVENUE



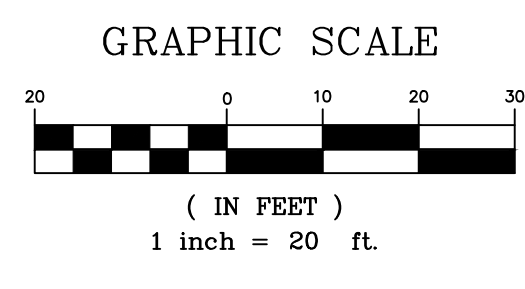
BUILDING NORTH - NORTHWEST PERSPECTIVE



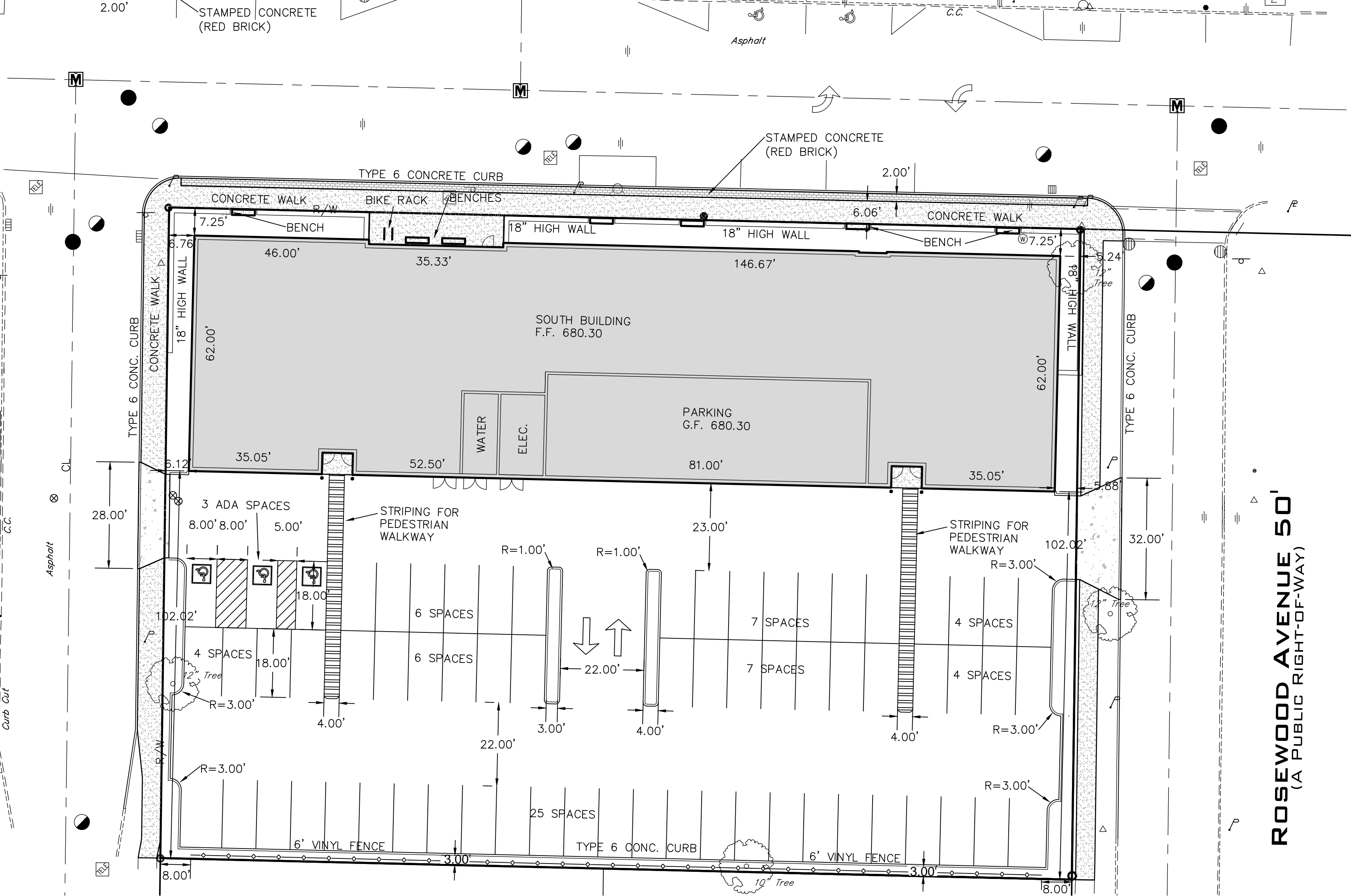
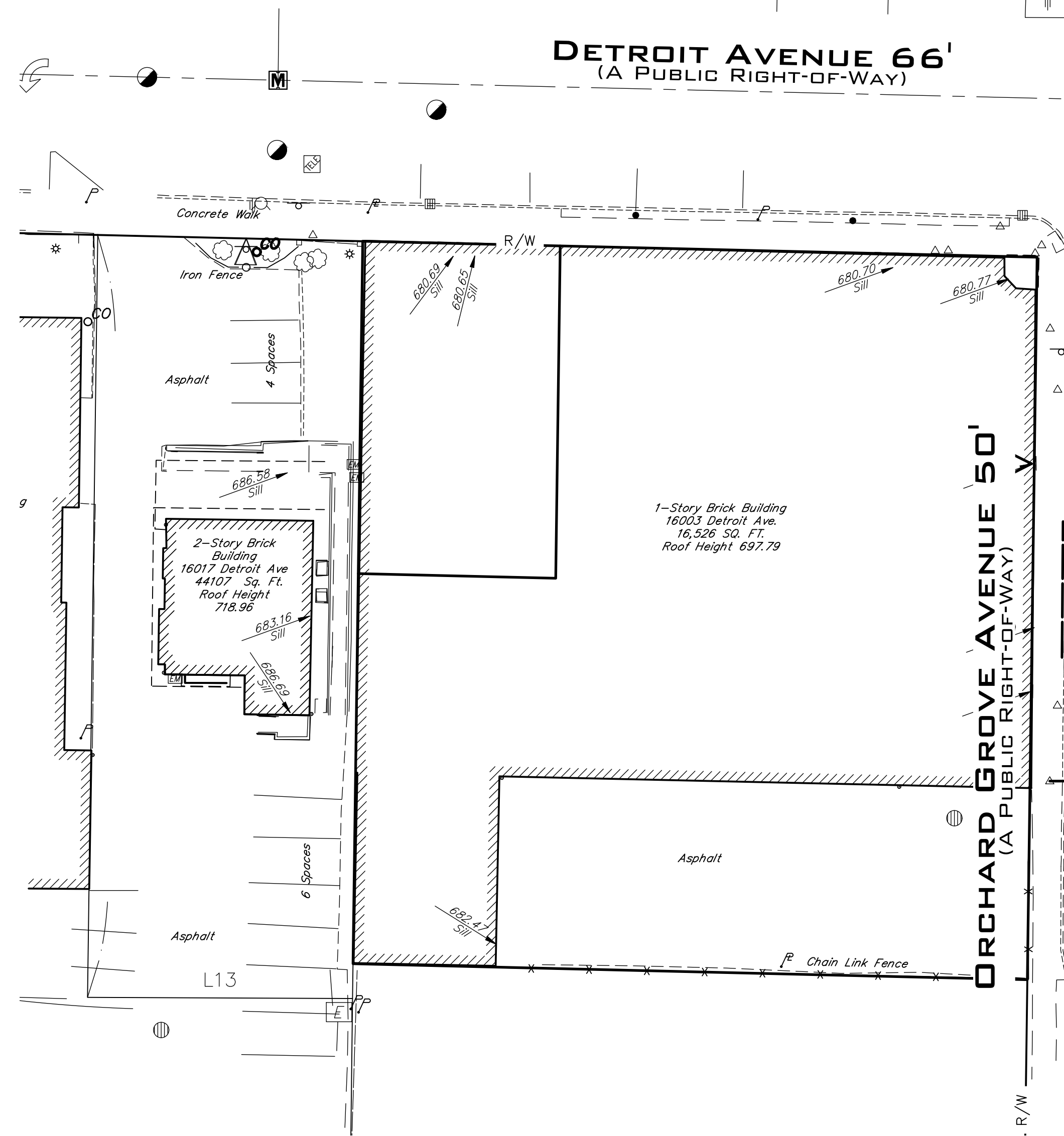
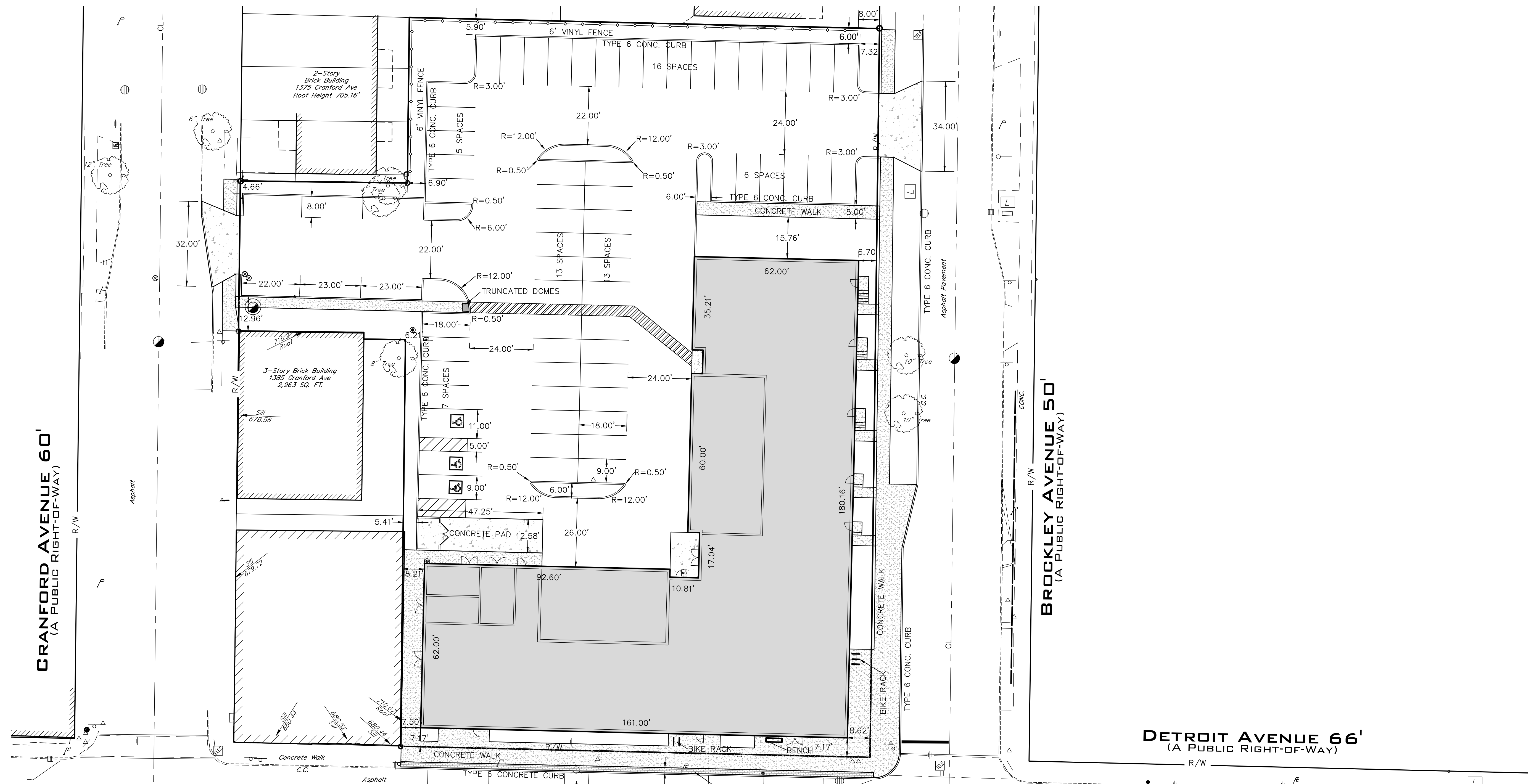
**LEGEND**

<ul style="list-style-type: none"> <li>⊠ = Monument Box Found</li> <li>○ = Iron Pin or Pipe Found</li> <li>⊕ = 5/8" Iron Pin Set and Capped Riverstone Company</li> <li>⊕ = Gas Meter</li> <li>⊕ = Gas Valve</li> <li>⊕ = Utility Pole</li> <li>⊕ = Light Pole</li> <li>⊕ = Telephone Box</li> <li>⊕ = Electric Box</li> <li>⊕ = Cable Box</li> <li>⊕ = Ballast</li> <li>⊕ = Cleanout / Test Tee</li> </ul>	<ul style="list-style-type: none"> <li>⊕ = Spot Elevation Tag</li> <li>⊕ = Hydrant</li> <li>⊕ = Water Service Valve</li> <li>⊕ = Water Meter</li> <li>⊕ = Reducer</li> <li>⊕ = Storm Manhole</li> <li>⊕ = Sanitary Manhole</li> <li>⊕ = Catch Basin</li> <li>⊕ = Property Line</li> <li>⊕ = Centerline</li> </ul>
<ul style="list-style-type: none"> <li>— = Ex. Parcel line</li> <li>— = Original Sublot Line</li> <li>— = Original Lot Line</li> <li>— = Centerline</li> <li>— = Property Line</li> <li>— = Right-of-way Line</li> <li>— = Easement Line</li> <li>— = Railroad Tracks</li> </ul>	<ul style="list-style-type: none"> <li>— = Existing</li> <li>— = PROPOSED</li> </ul>
<ul style="list-style-type: none"> <li>— = Electric Line</li> <li>— = Gas Line</li> <li>— = Sanitary/Combination Sewer</li> <li>— = Storm Sewer</li> <li>— = Waterline</li> <li>— = Fence Line (Wooden)</li> <li>— = Fence Line (Chain-Link)</li> <li>— = Guardrail</li> </ul>	<ul style="list-style-type: none"> <li>— = Prop. Record</li> <li>— = Rec. R.</li> <li>— = R/W</li> <li>— = Right-of-way</li> <li>— = Sublot</li> <li>— = S.F.</li> <li>— = S.L.</li> <li>— = S.M.</li> <li>— = S.T.</li> <li>— = S.W.</li> <li>— = T.C.</li> <li>— = T.F.</li> <li>— = T.T.</li> <li>— = T.W.</li> <li>— = T.V.</li> <li>— = T.W.</li> <li>— = T.V.</li> <li>— = T.W.</li> </ul>
<ul style="list-style-type: none"> <li>Ac. = Acres</li> <li>Adj. = Adjacent</li> <li>A.F.N. = Auditor's File Number</li> <li>Asp. = Asphalt</li> <li>B.F. = Basement Floor</li> <li>B.W. = Bottom of Wall</li> <li>Calc./C. = Calculated</li> <li>CS = Catch Basin</li> <li>C.C.M.R. = Cuyahoga County Map Records</li> <li>C.L.F. = Chain-Link Fence</li> <li>Clr. = Clears</li> <li>C.O. = Clean Out</li> <li>Comb. = Combination</li> <li>Conc. = Concrete</li> <li>Conn. = Connection</li> <li>D.H. = Drill Hole</li> <li>D.I.W.M. = Ductile Iron Water Main</li> <li>Elev. = Elevation</li> <li>Encr. = Encroaches</li> <li>Ex. = Existing</li> <li>F.F. = Finished Floor</li> <li>Gutter = Gutter</li> <li>Inv. = Invert</li> </ul>	<ul style="list-style-type: none"> <li>L.C.A. = Limited Common Area</li> <li>L.F. = Lineal Feet</li> <li>M.E. = Match Existing</li> <li>Meas./M. = Measured</li> <li>MH = Manhole</li> <li>Obs. = Observed</li> <li>Pg. = Page</li> <li>P.F.N. = Permanent Parcel Number</li> <li>Prop. = Proposed</li> <li>Rec. R. = Record</li> <li>R/W = Right-of-way</li> <li>S.F. = Square Feet</li> <li>S.L. = Sanitary</li> <li>S.M. = Storm</li> <li>S.T. = Temporary Bench Mark To Be Removed</li> <li>T.C. = Top of Curb</li> <li>Tele. = Telephone</li> <li>T.F. = Top Of Footer</li> <li>T.T. = Test Tee</li> <li>T.W. = Top of Wall</li> <li>Typ. = Typical</li> <li>Vol. = Volume</li> <li>Wat. = Water</li> </ul>

**SURVEY NOTE:**  
 SURVEY, BOUNDARY AND UTILITY INFORMATION WAS COMPLETED BY LANGAN AND PROVIDED TO THE RIVERSTONE COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



**RIVERSTONE**  
 LAND SURVEYING - ENGINEERING - DESIGN  
 3800 LAKESIDE AVENUE - SUITE 100  
 CLEVELAND - OHIO - 44114  
 PHONE: (216) 491-2000 FAX: (216) 491-9640  
 WWW.RIVERSTONE.SURVEY.COM



BROCKLEY AVENUE 50'  
(A PUBLIC RIGHT-OF-WAY)

DETROIT AVENUE 66'  
(A PUBLIC RIGHT-OF-WAY)

DETROIT AVENUE 66'  
(A PUBLIC RIGHT-OF-WAY)

ORCHARD GROVE AVENUE 50'  
(A PUBLIC RIGHT-OF-WAY)

ROSEWOOD AVENUE 50'  
(A PUBLIC RIGHT-OF-WAY)

LEGEND

	Monument Box Found		Spot Elevation Tag
	Iron Pin or Pipe Found		Hydrant
	5/8" Iron Pin Set and Capped Riverstone Company		Water Service Valve
	P.K. Nail		Water Meter
	Gas Meter		Reducer
	Utility Pole		Storm Manhole
	Light Pole		Sanitary Manhole
	Guy Anchor & Line		Curb Inlet
	Telephone Box		Catch Basin
	Electric Box		Property Line
	Cable Box		Centerline
	Ballard		
	Cleanout / Test Tee		

	Ex. Parcel line		Proposed
	Original Sublot Line		
	Original Lot Line		
	Centerline		
	Property Line		
	Right-of-way Line		
	Easement Line		
	Railroad Tracks		

	Electric Line		Existing		Proposed
	Gas Line				
	Sanitary/Combination Sewer				
	Storm Sewer				
	Waterline				
	Fence Line (Wooden)				
	Fence Line (Chain-Link)				
	Guardrail				

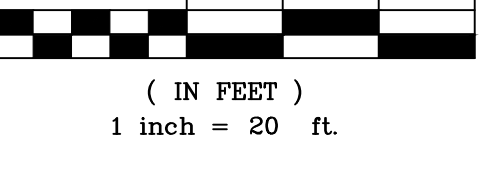
  

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.F.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Records	Proposed Record
C.L.F.	Chain-Link Fence	Rec./R.	Record
Cir.	Circles	R/W	Right-of-way
C.O.	Clean Out	Sq.	Square Feet
Comb.	Combination	S.F.	Square Feet
Conn.	Concrete Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec.	Electric	T/C	Top of Curb
Encl.	Encroaches	Tele	Telephone
Ex.	Existing	T.F.	Top of Footer
F.F.	Finished Floor	T.T.	Test Tee
Gutter	Gutter	T.W.	Top of Wall
Invt.	Invert	Typ.	Typical
		Vol.	Volume
		Wat	Water

SURVEY NOTE:

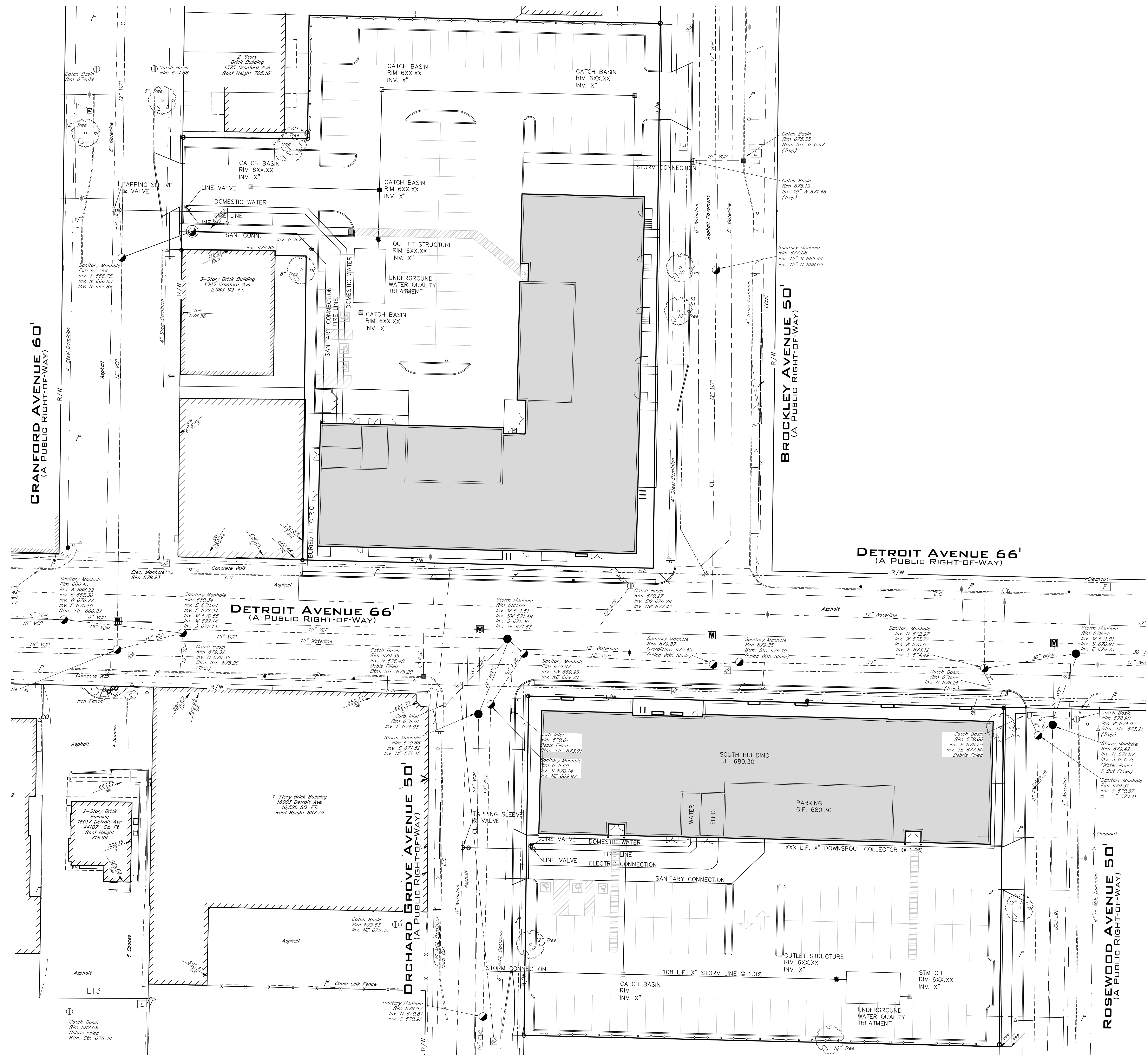
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GRAPHIC SCALE



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN  
3800 LAKEVIEW AVENUE - SUITE 100  
CLEVELAND - OHIO - 44114  
PHONE: (216) 491-2000 FAX: (216) 491-9640  
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**LEGEND**

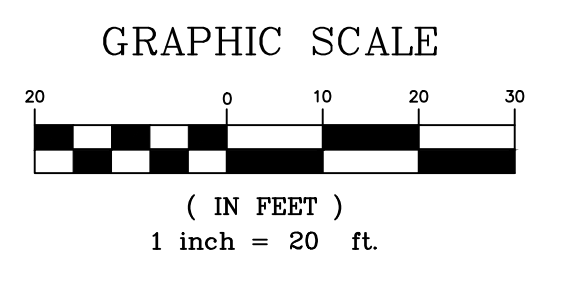
⊠	Monument Box Found	○	Spot Elevation Tag
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+	P.K. Nail	○	Hydrant
⊕	Gas Meter	○	Water Service Valve
⊕	Utility Pole	○	Water Valve
⊕	Gas Valve	○	Reducer
⊕	Light Pole	○	Storm Manhole
⊕	Guy Anchor & Line	○	Sanitary Manhole
⊕	Telephone Box	○	Curb Inlet
⊕	Electric Box	○	Catch Basin
⊕	Cable Box	○	Property Line
⊕	Ballard	○	Centerline
⊕	Cleanout / Test Tee		

---	Ex. Parcel line	---	Original Sublot Line
---	Original Lot Line	---	Centerline
---	Property Line	---	Right-of-way Line
---	Easement Line	---	R/W
---	Railroad Tracks	---	Existing
---	Electric Line	---	PROPOSED
---	Gas Line	---	Sanitary/Combination Sewer
---	Storm Sewer	---	Waterline
---	Fence Line (Wooden)	---	Fence Line (Chain-Link)
---	Guardrail		

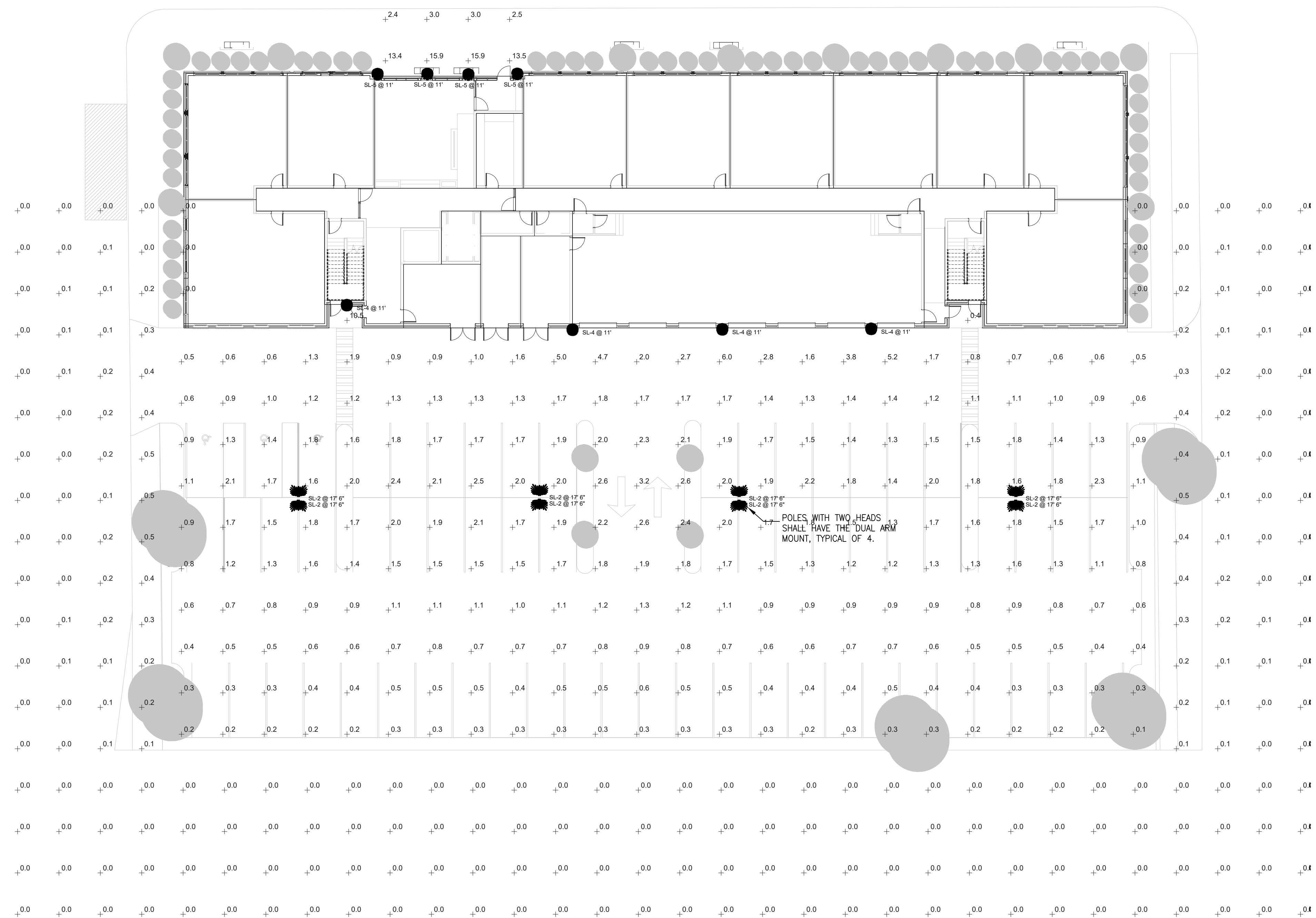
  

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C.C.M.R.	Cuyahoga County Map	Prop.	Proposed
C.L.F.	Records	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec.	Electric	T/C	Top of Curb
Encl.	Enclosures	Tele.	Telephone
Ex.	Existing	T.F.	Top Of Footer
Encl.	Enclosures	T.T.	Test Tee
Ex.	Existing	TW	Top of Wall
F.F.	Finished Floor	Typ.	Typical
Gutter	Gutter	Vol.	Volume
Inv.	Invert	Wat	Water

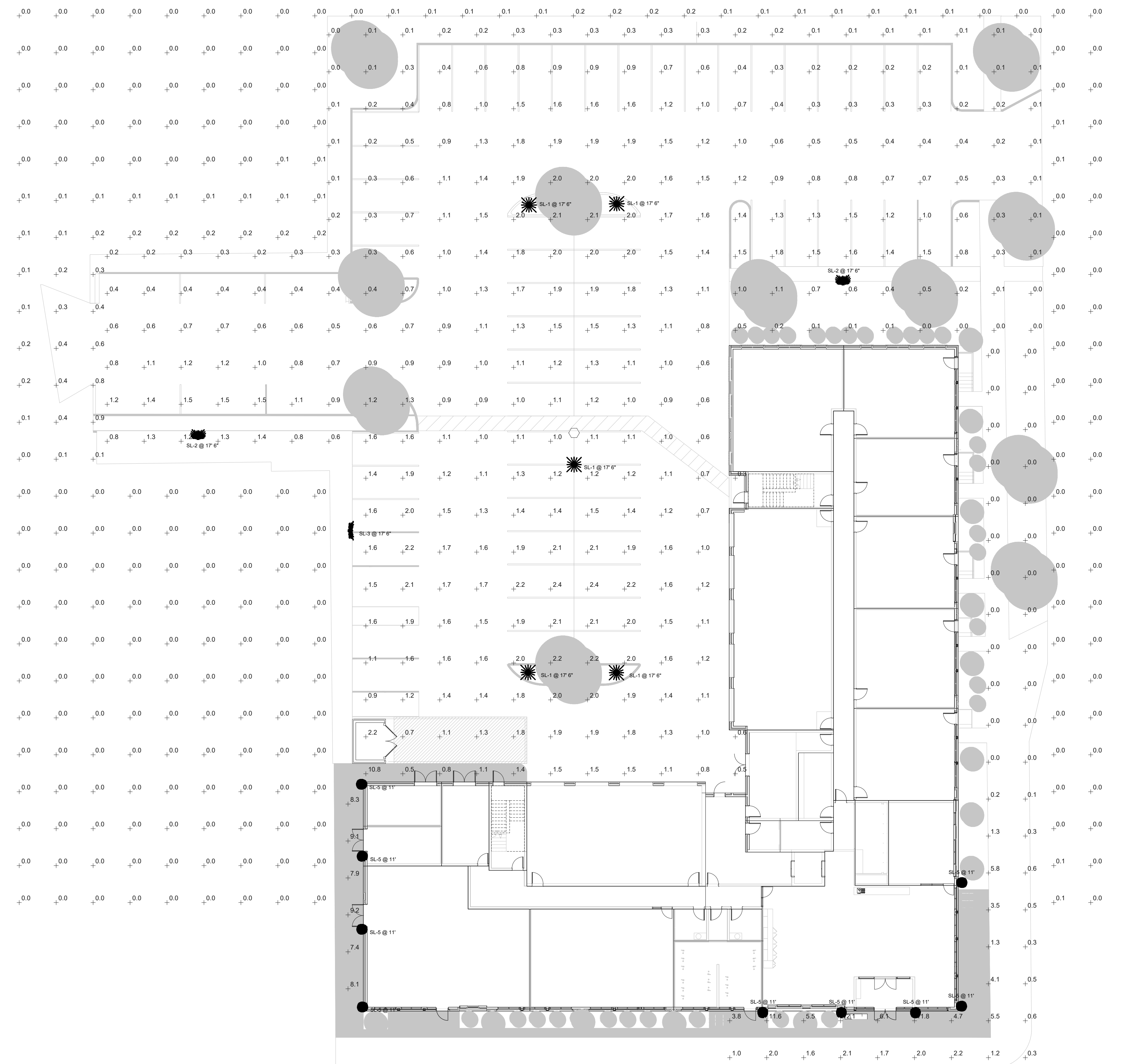


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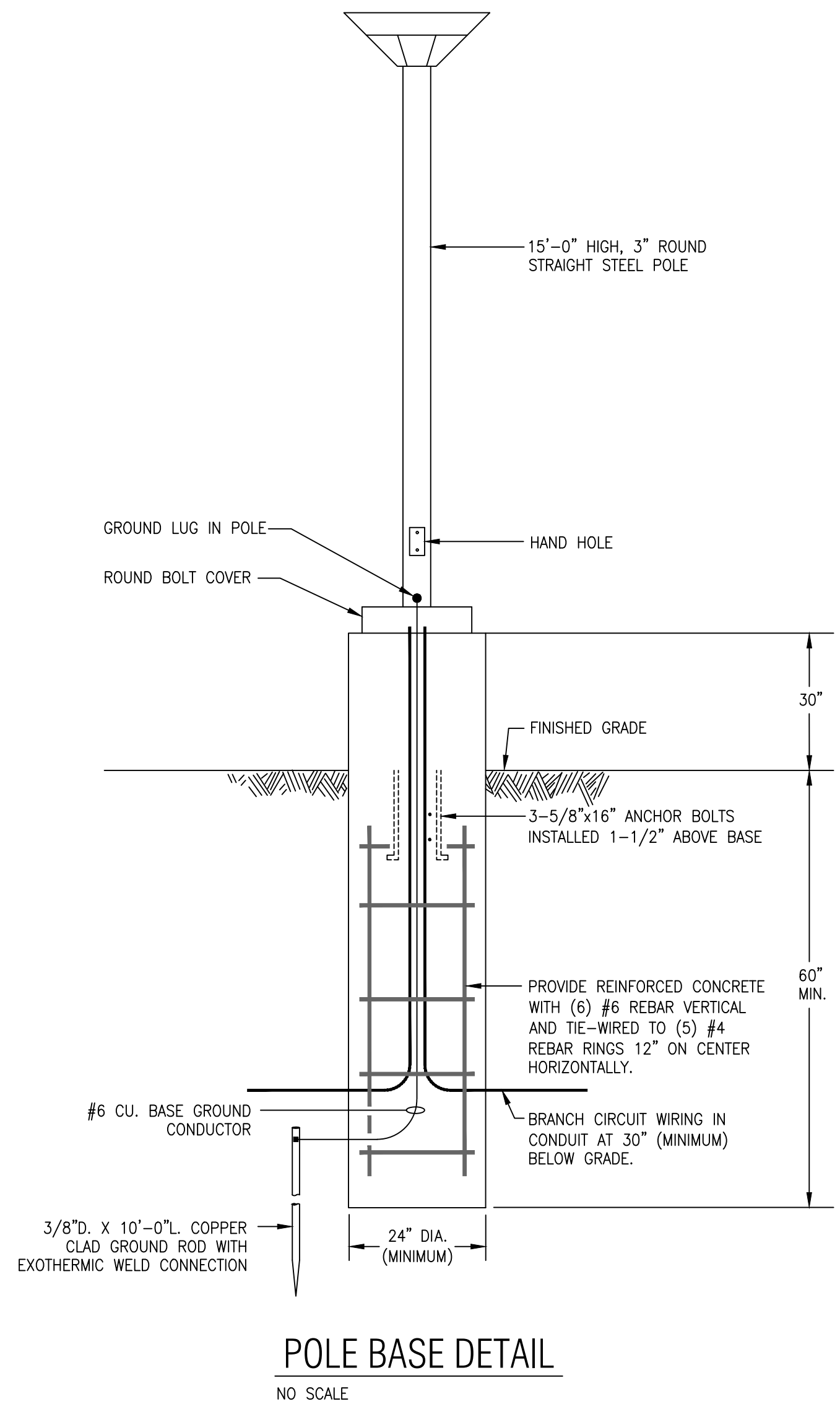




2 SOUTH BUILDING PARKING LOT PHOTOMETRY PLAN  
 SCALE: 1/16" = 1'- 0"



1 NORTH BUILDING PARKING LOT PHOTOMETRY PLAN  
 SCALE: 1/16" = 1'- 0"



Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
[Symbol]	<b>SL-1</b>	5	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-5MQ	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS. MOUNTED ON A 15-FOOT POLE WITH A 2.5-FOOT CONCRETE BASE.	16	355	0.9	59	
[Symbol]	<b>SL-2</b>	10	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-SL4-HSS	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD MOUNTED ON A 15-FOOT POLE WITH A 2.5-FOOT CONCRETE BASE.	16	273	0.9	59	
[Symbol]	<b>SL-3</b>	1	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-SL2-HSS	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD MOUNTED ON A 15-FOOT POLE WITH A 2.5-FOOT CONCRETE BASE.	16	270	0.9	59	
[Symbol]	<b>SL-4</b>	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	ASWPLED1S-30W-4000K	SLIM WALL PACK, WATTAGE AND CCT SELECTABLE	98	40	0.9	30.4	
[Symbol]	<b>SL-5</b>	15	LIGMAN	MV-30001-W-8030	Marvik 1 Surface facade luminaires	1	1047	0.9	10	

Statistics			
Description	Avg	Min	Max
North Building Parking Lot	1.1 fc	0.0 fc	10.8 fc
North Building West Corridor	8.3 fc	7.4 fc	9.2 fc
North Lot Off Site	0.0 fc	0.0 fc	0.9 fc
South Building Detroit Entry	3.5 fc	0.0 fc	8.1 fc
South Building Parking Lot	1.1 fc	0.1 fc	6.4 fc
South Lot Off Site	0.0 fc	0.0 fc	0.5 fc
North Building Detroit Entry & East Side	0.7 fc	0.0 fc	12.5 fc

**LIGMAN** Outdoor | Surface facade luminaires | MARVIK

MARVIK 1 (MV-30001) (Version 2)

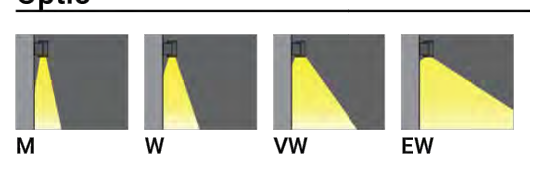
Product description  
Ø75 - 200 mm - Down



**Luminaire Structure**

- Die-cast aluminum housing and frame
- Pre-treated before powder coating ensuring high corrosion resistance
- Single cable entry
- Stainless steel fasteners in grade 304 with zinc flake coating (ZFC)
- Durable silicone rubber gasket
- High-efficiency optical reflector
- Clear toughened glass
- Integral control gear
- Optional surface mounting box for easy wiring or conduit connection when wiring from behind is not possible
- MARVIK luminaires with weight and colder than 3000K CCT do not meet the ICA certification requirements

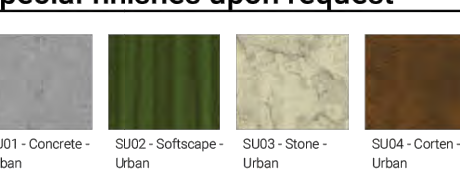
**Optic**



**Product colour**



**Special finishes upon request**



We reserve the right to make technical and design changes.  
©2023, 21-06-2024  
https://www.ligman.com/marvik-1-mv-30001/

THAILAND  
LIGMAN Lighting Co., Ltd.  
17/2 Moo 4 MooKong Bang Nam Pheo,  
24150 Chachoengsao - Thailand  
info@ligman.com

Project	Catalog #	Type
Prepared by	Notes	Date



**McGraw-Edison**  
GWC Galleon Wall  
Wall Mount Luminaire

- Product Features**
- Light Absorbent
  - BAA
  - FADC

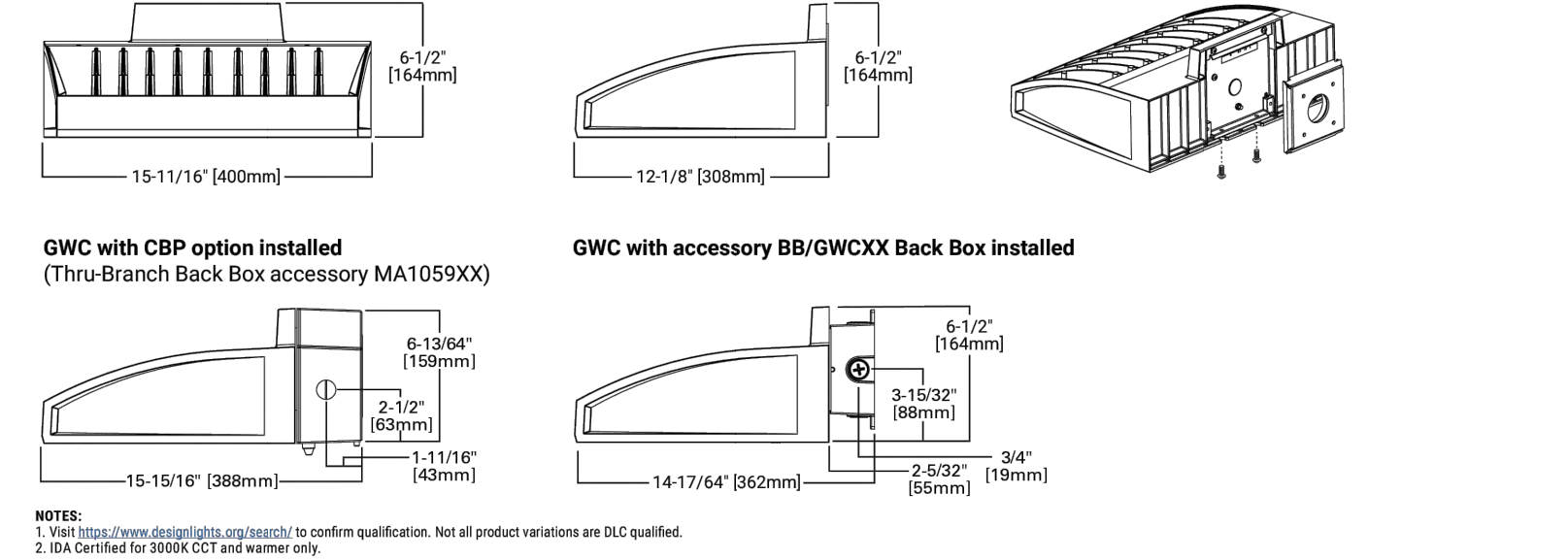
- Interactive Menu**
- Ordering Information page 2
  - Product Specifications page 2
  - Optical Configurations page 3
  - Energy and Performance Data page 4
  - Control Options page 6

- Product Certifications**
- DLC UL160
  - DLC UL150
  - IESNA
  - CE
  - FC
  - IP66
  - IB
  - 5 YEAR

- Quick Facts**
- Choice of thirteen high-efficiency, patented AccuLED Optics
  - Downward and inverted wall mounting configurations
  - Eight lumen packages from 3,215 up to 17,056
  - Efficacies up to 154 lumens per watt

- Connected Systems**
- Wavelinx
  - Enlighted

**Dimensional Details**



NOTE:  
1. See https://www.digitalsignage.com for details to confirm qualification. Not all product variations are DLC qualified.  
2. ICA Certified for 800K CCT and warmer only.



Project	Catalog #	Type
Prepared by	Notes	Date



**Lumark AP**  
ASWP Adjustable Slim Wall Pack Series  
Wall Mount Luminaire

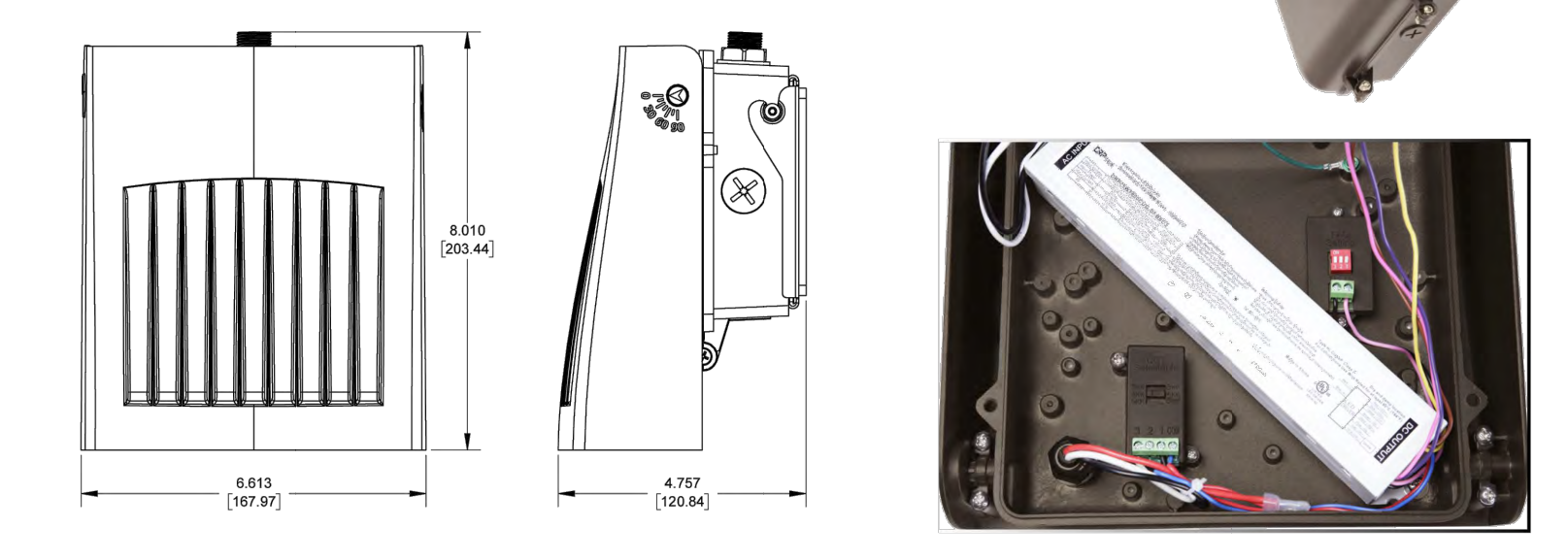
- Product Features**
- Selectable lumens
  - AccuLED
  - FC
  - IP66
  - 5 YEAR

- Interactive Menu**
- Ordering Information page 2
  - Product Specifications page 2
  - Energy and Performance Data page 3

- Product Certifications**
- DLC UL160
  - DLC UL150
  - FC
  - IP66
  - 5 YEAR

- Quick Facts**
- Selectable configurations available
  - Lumen packages range from 2,100-10,200 lumens
  - Replaces 155W/375W HID equivalent
  - Efficacies up to 130 lumens per watt
  - Energy and maintenance savings up to 89%
  - Heat and impact resistant borosilicate glass lens

**Dimensional Details**



Project	Catalog #	Type
Prepared by	Notes	Date



**Streetworks**  
PMM MESA  
Decorative Area Luminaire

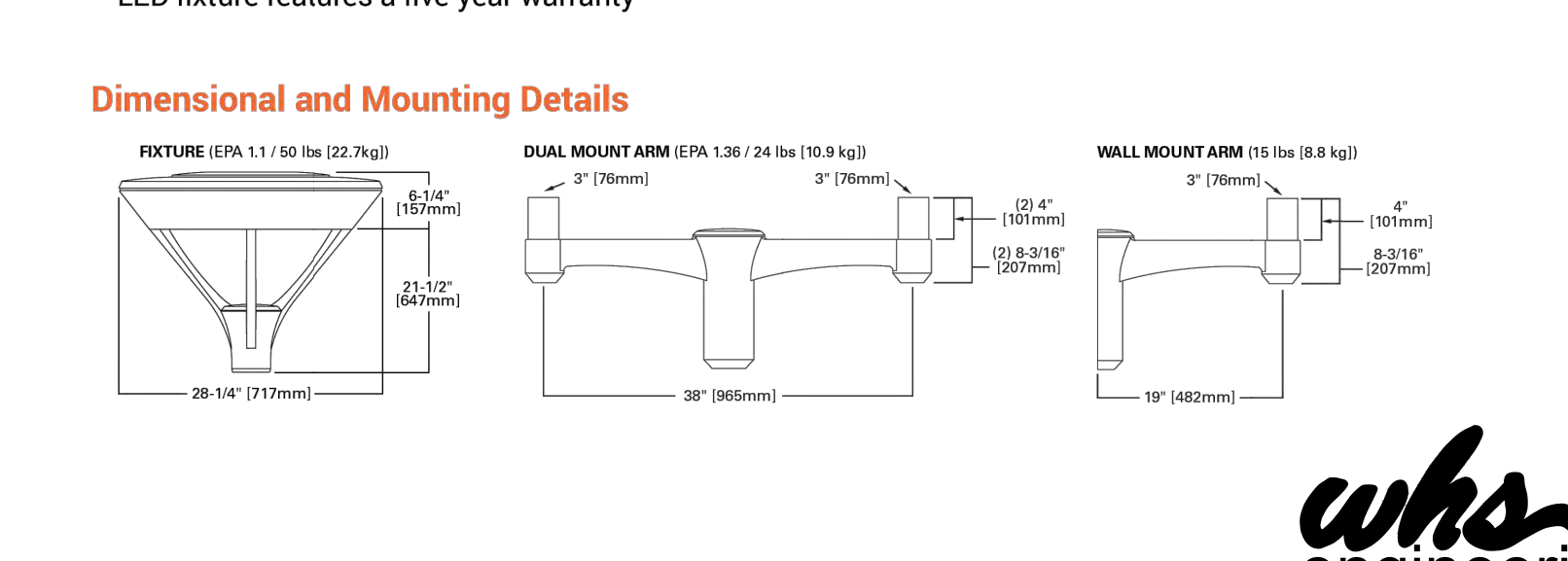
- Product Features**
- Light Absorbent

- Interactive Menu**
- Order Information page 2
  - Optical Distributions page 3
  - Product Specifications page 4
  - Energy & Performance data page 5
  - Control Options page 13

- Product Certifications**
- IESNA
  - CE
  - DLC UL160
  - DLC UL150
  - IP66
  - 1.5G VIB
  - 5 YEAR
  - FC

- Quick Facts**
- Die-cast aluminum housing and door
  - Lumens packages ranging from 3,000 - 29,000 lumens
  - Choice of 13 high-efficiency, patented AccuLED Optics™
  - Base casting slip fits over a standard 3" O.D. tenon
  - Wall, single and dual-mount configurations available
  - 10kV/10vKA surge protection standard
  - LED fixture features a five-year warranty

**Dimensional and Mounting Details**



- Connected Systems**
- Wavelinx Pro



2012 West 25th Street, Suite 200  
Cleveland, OH 44113  
Phone: 216 227 8505



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 03-13-24**

**Permit No.: BBS24-000071**

**Applicant Name: Alexander Kolbe, evoDOMUS LLC**

**Project Address: 17428 Edgewater Dr.**

**Project Name: n/a**

**Project: Applicant proposes modifications to a new home construction that was approved at the March 14, 2024 meeting.**





17428



17428



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## **Application Cover Page**

**Docket No.: 07-59-24**

**Permit No.: BBS24-000073**

**Applicant Name: Mark Reinhold, Architect**

**Project Address: 17879 Lake Rd.**

**Project Name: n/a**

**Project: Applicant proposes a front porch addition, railings do not meet the required standards pursuant to RCO Section 109 – outstanding nonconformance items. This property is in the R1L, Single-Family Low Density district.**

## Letter of Authorization

June 20, 2024

Board of Building Standards

Lakewood, OH

To whom it may concern:

We, the owners of the residential property located at **17879 Lake Road, Lakewood, OH 44107**, hereby authorize **Mark Reinhold**, architect, to apply and speak on our behalf, and fully represent us at the Board of Building Standard meeting for July 2024. Thank you.

Sincerely,



(Lauren Graf)



(Arvind Gounder)



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ARCHITECTURAL REVIEW BOARD  
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[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

**DISPOSITION LETTER  
APRIL 12, 2024**

Mark H. Reinhold  
Mark Reinhold Architect  
1120 Forest Rd.  
Lakewood, OH 44107

**Docket No. 04-23-24  
17879 Lake Rd.**

Dear Applicant:

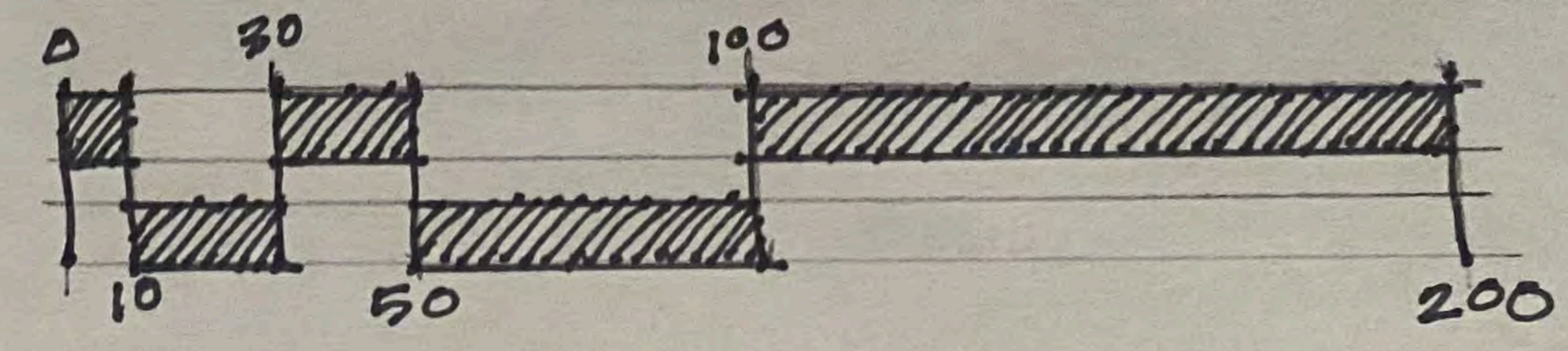
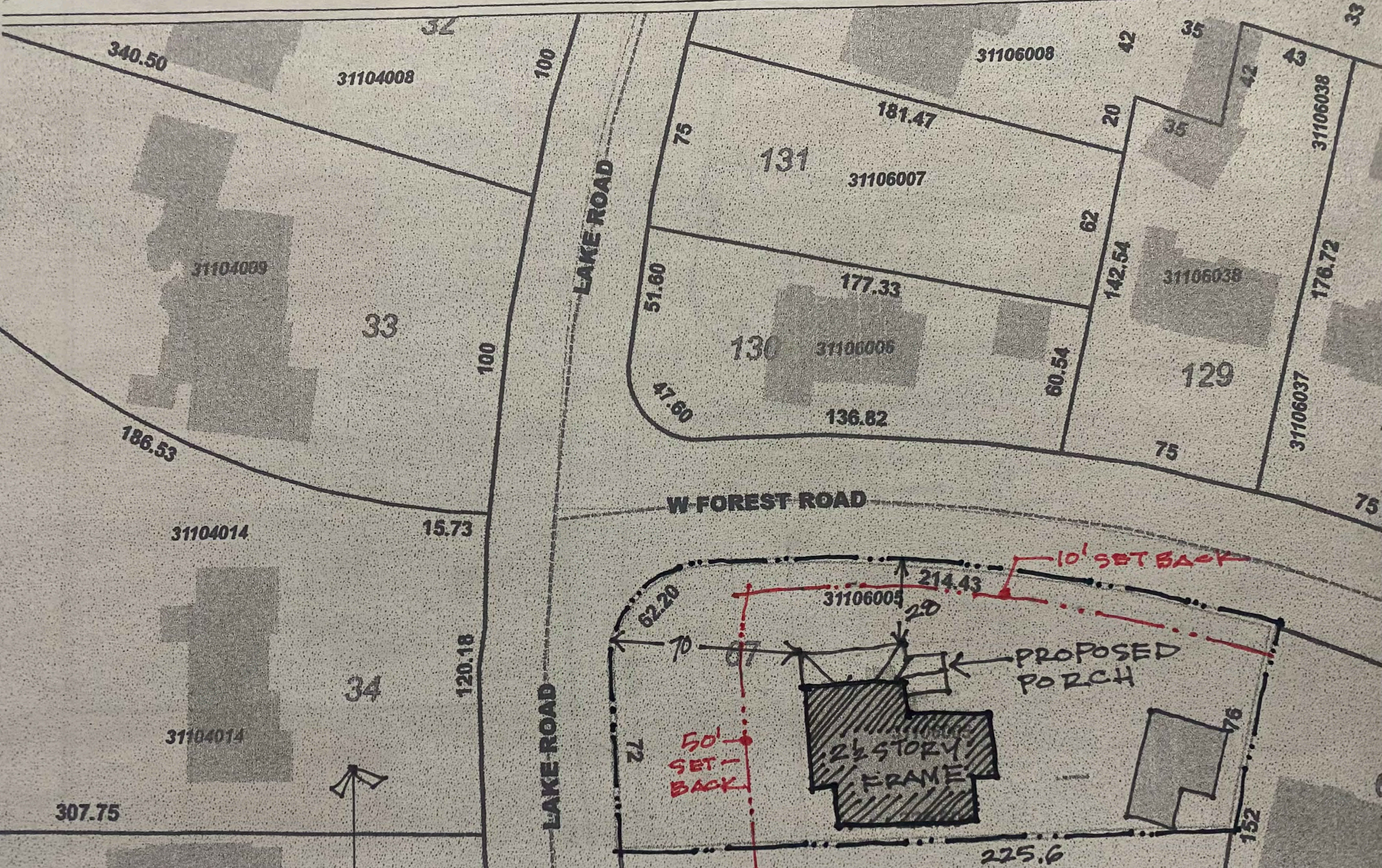
At the 4/11/2024 meeting, the Board of Building Standards/Architectural Board of Review/Sign Review was to consider a new front porch addition.

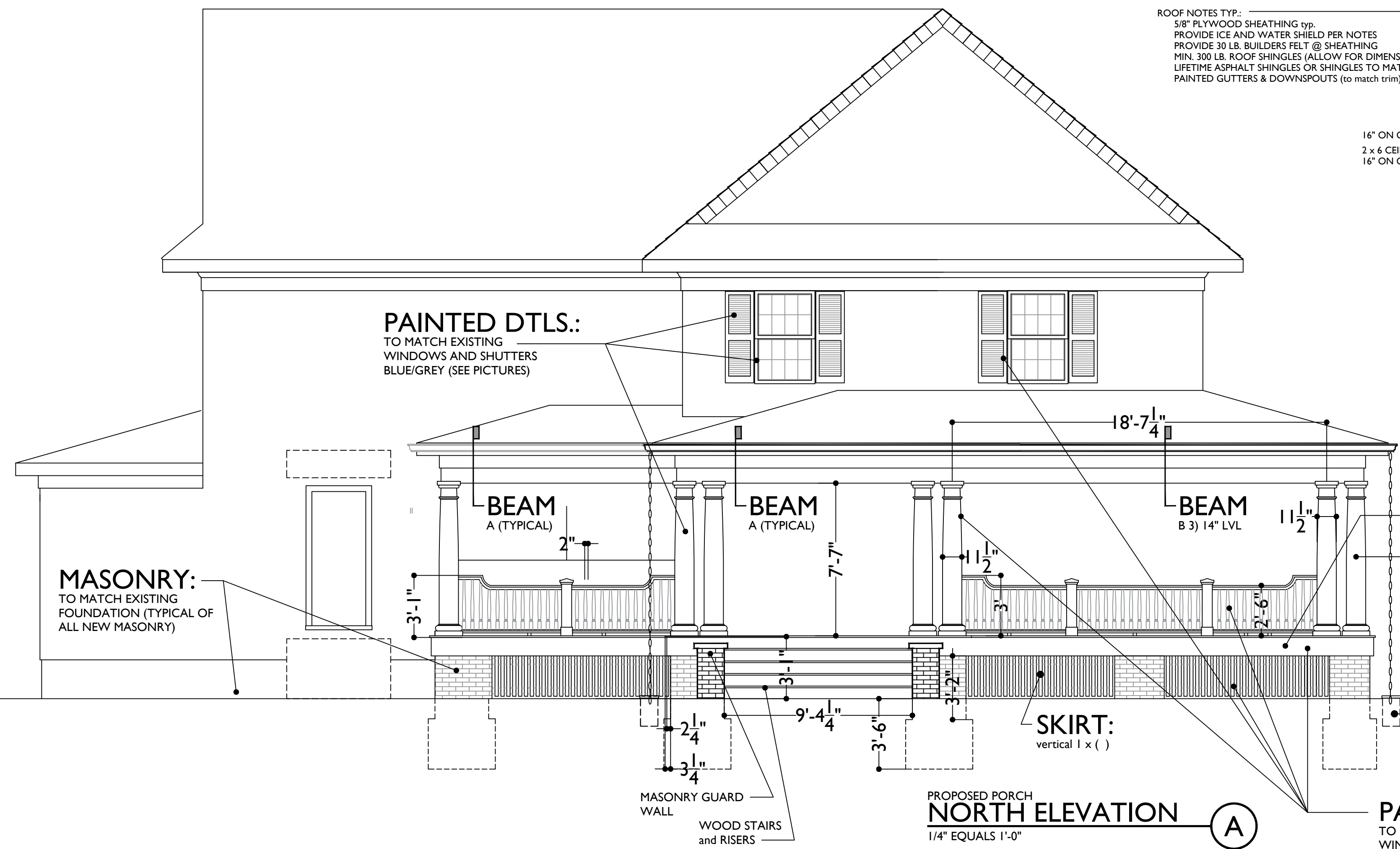
**The Board decided to APPROVE the request.**

As your next step, please contact the Division of Housing and Building at (216) 529-6270 to find out what elements of this plan require construction drawings and their specific requirements for submitting those plans.

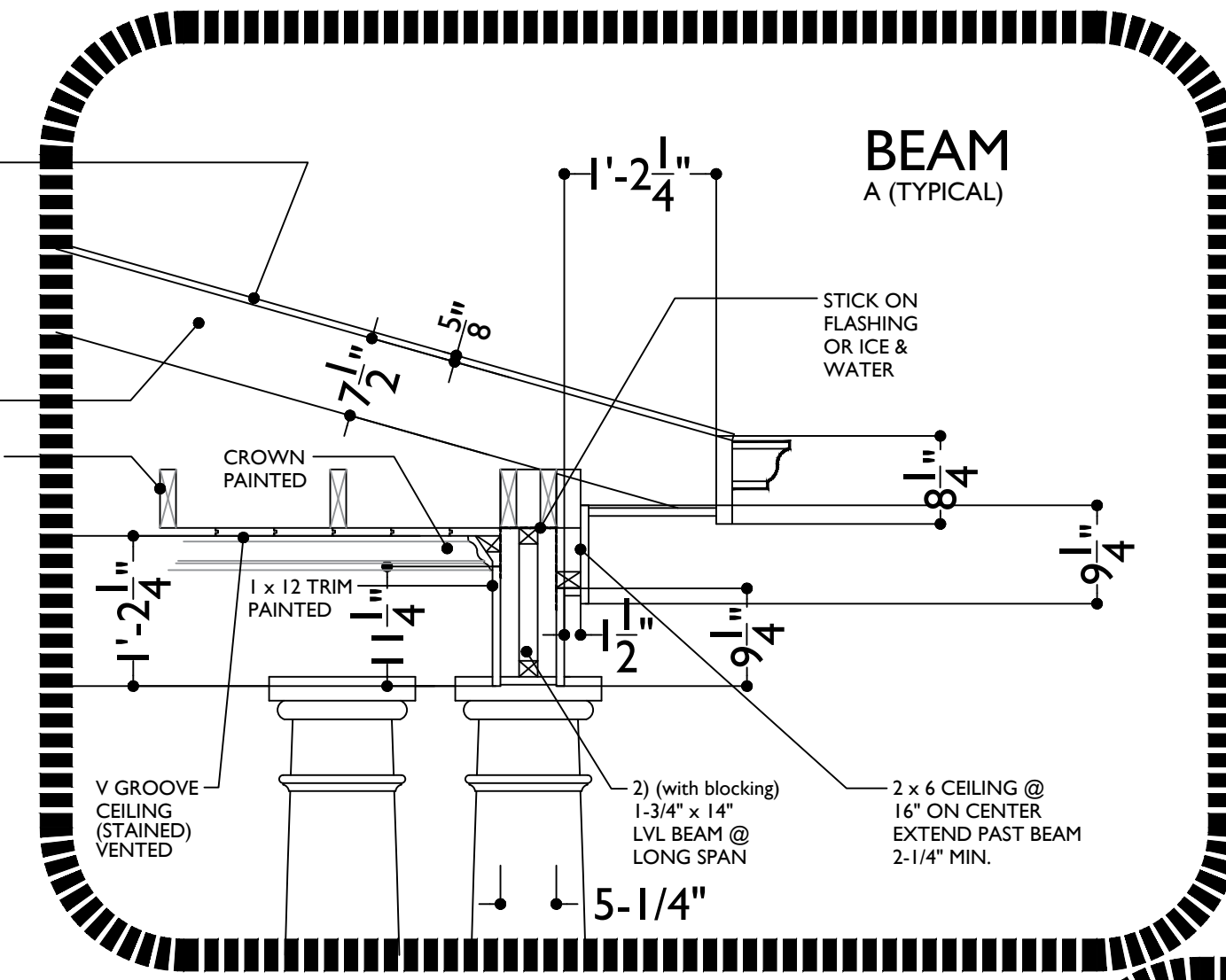
Sincerely,

Amanda Cramer, City Planner  
Board Secretary  
Department of Planning and Development

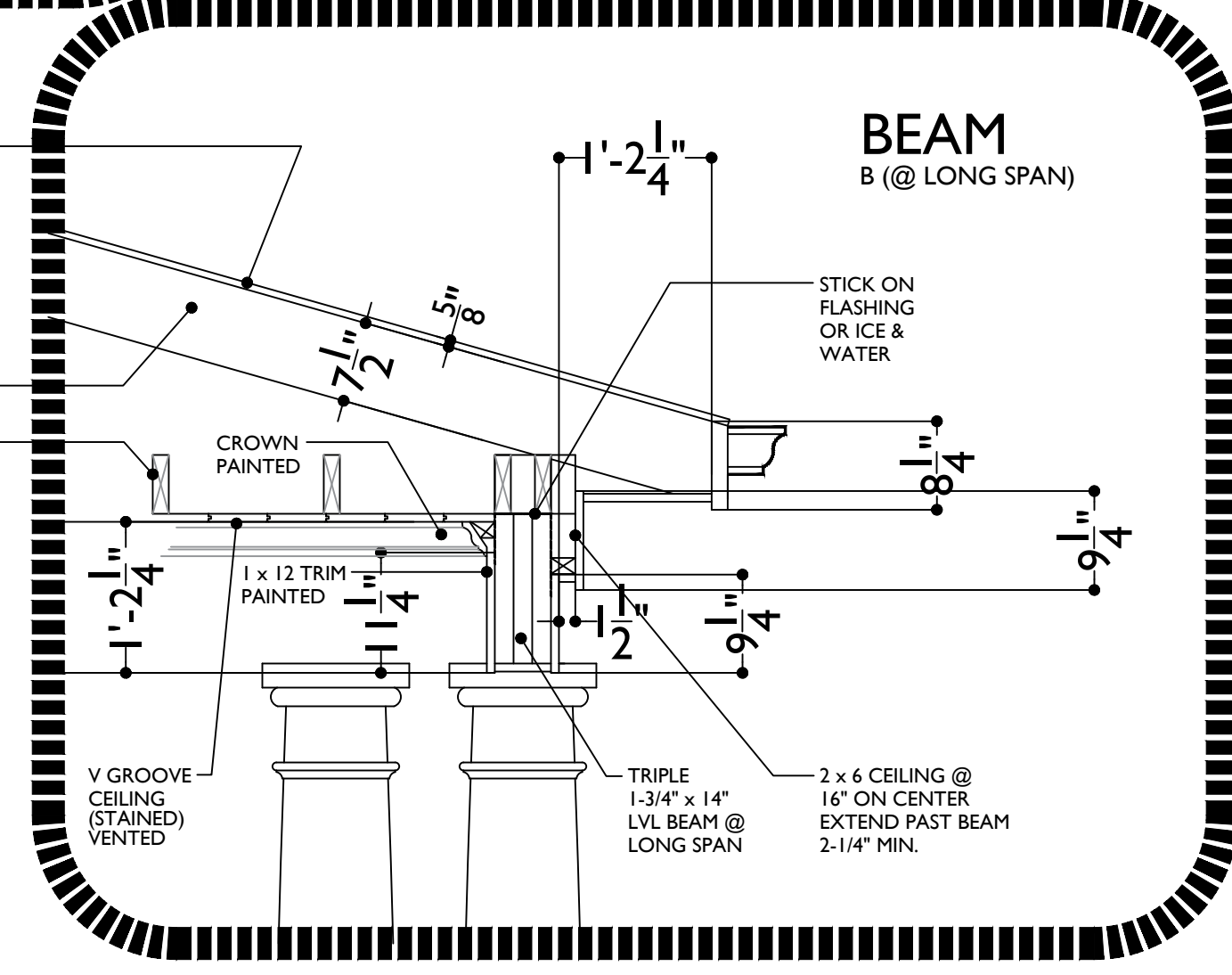




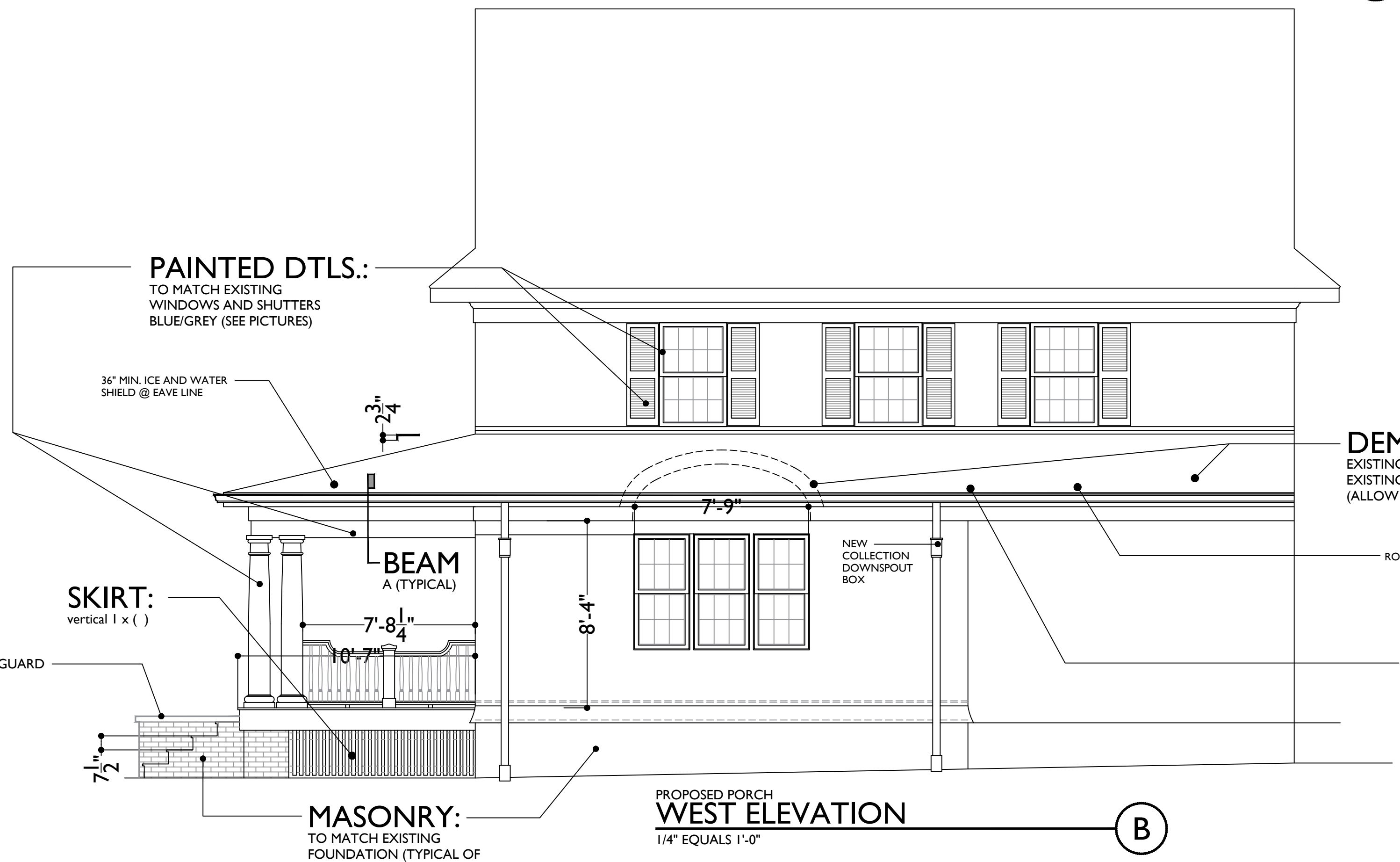
ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS & DOWNSPOUTS (to match trim)



ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS & DOWNSPOUTS (to match trim)



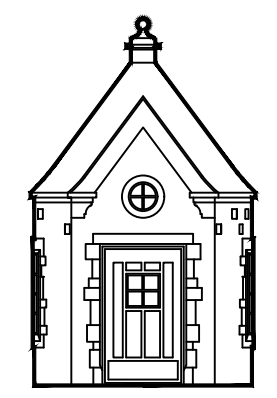
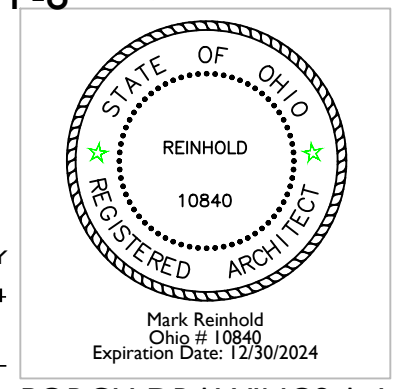
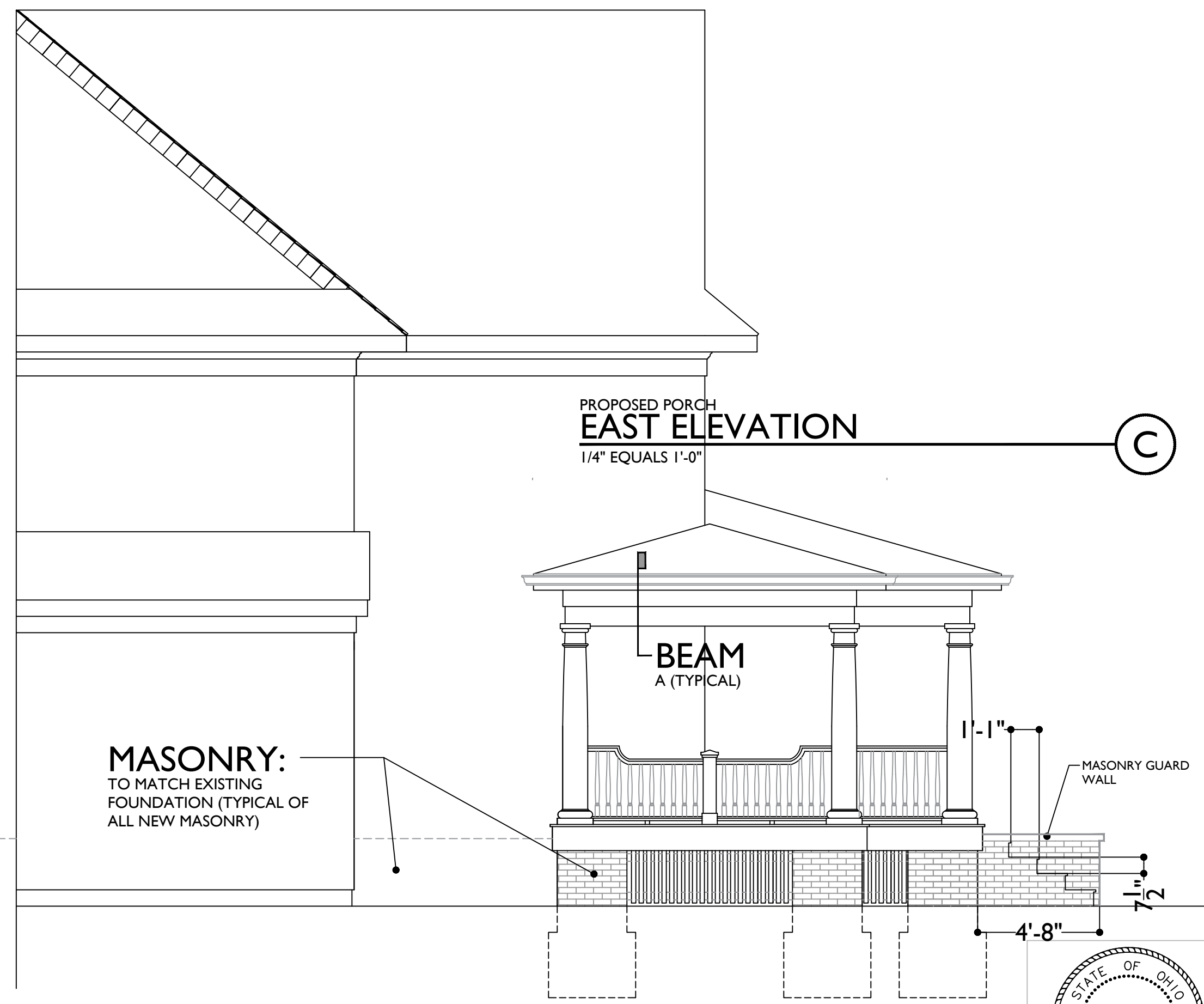
PAINTED DTLS.:  
 TO MATCH EXISTING  
 WINDOWS AND SHUTTERS  
 BLUE/GREY (SEE PICTURES)



DEMOLISH  
 EXISTING TRANSOM WINDOW AND  
 EXISTING METAL ROOF  
 (ALLOW FOR NEW SHEATHING AND ROOF TO MATCH)

ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS AND DOWNSPOUTS (to match TRIM)

ICE AND WATER  
 SHIELD @ ENTIRE ROOF  
 OF INDOOR SPACE  
 BELOW



MARK REINHOLD architect

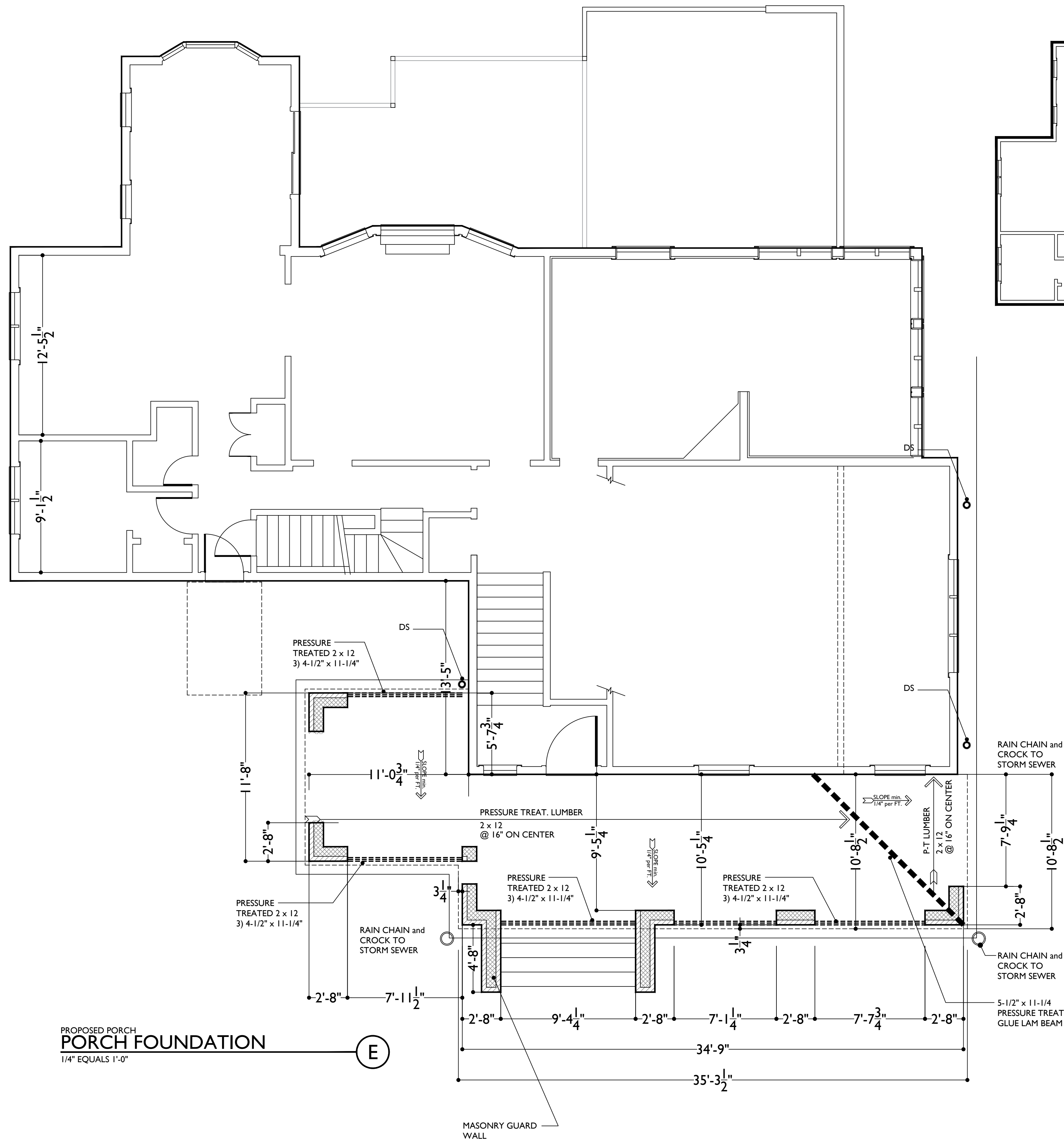
GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
 04/29/2024  
 PERMIT

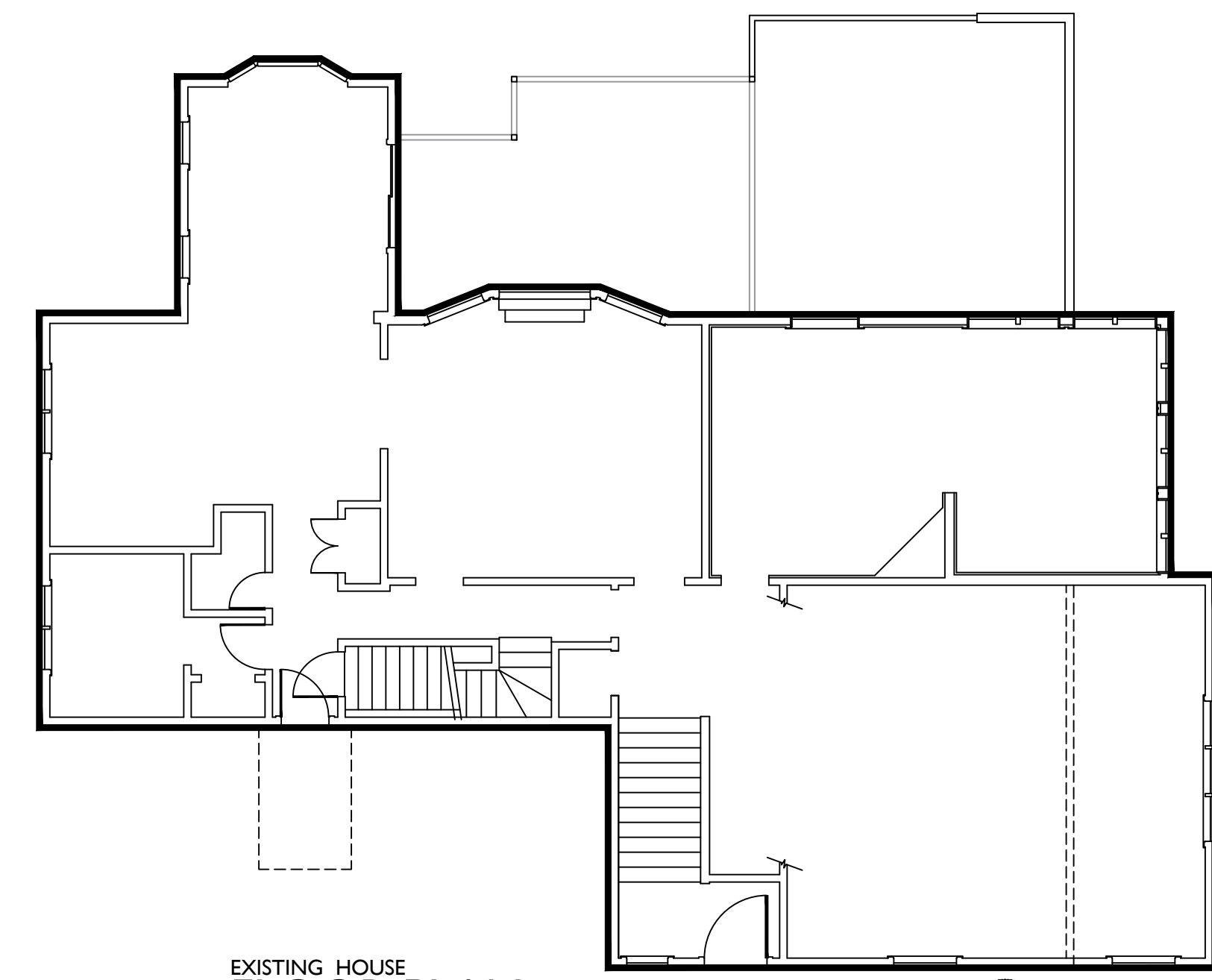
17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-1



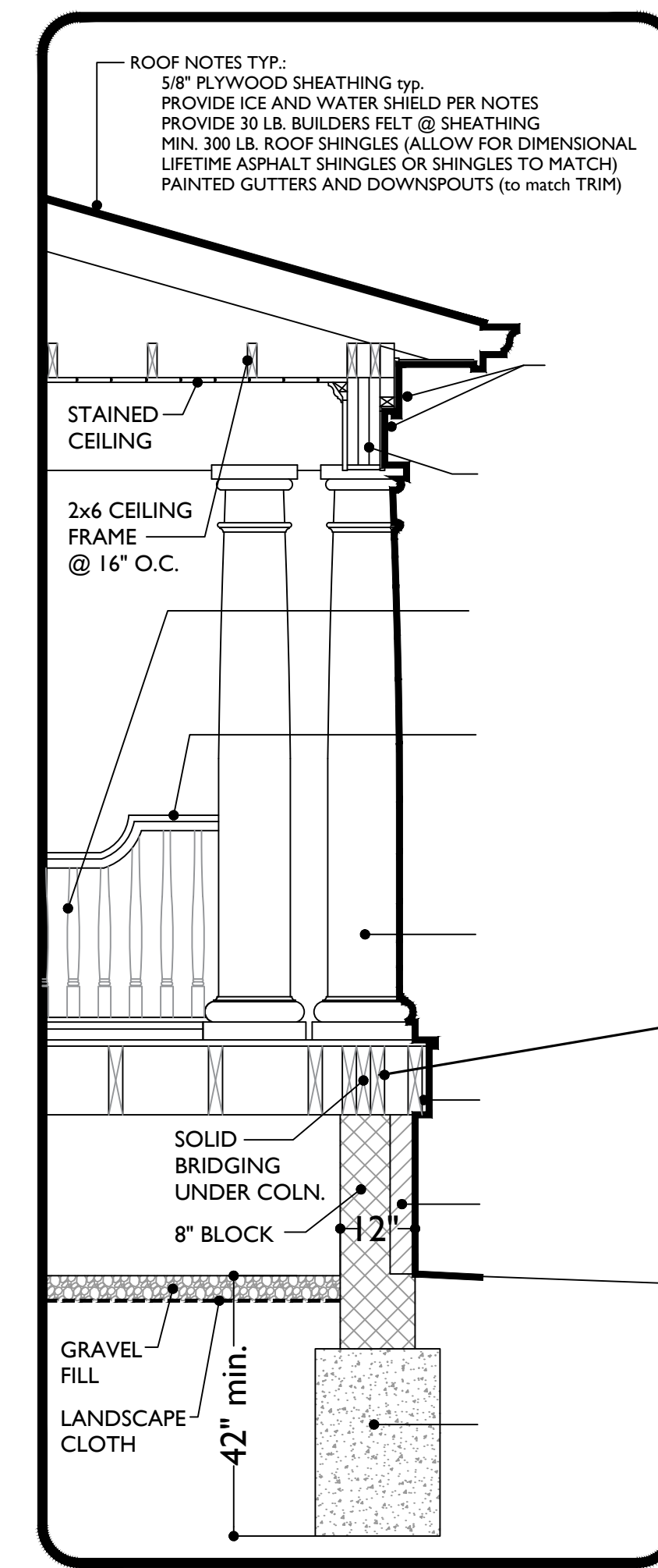
PROPOSED PORCH  
**PORCH FOUNDATION**  
 1/4\"/>

(E)



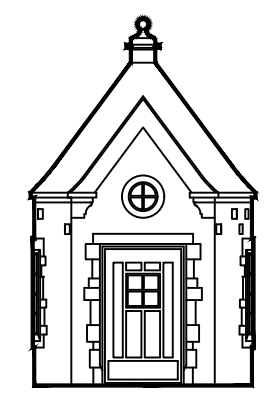
EXISTING HOUSE  
**FLOOR PLAN**  
 1/8\"/>

(D)



PROPOSED PORCH  
**PORCH SECTION/ DETAIL**  
 1/2\"/>

(I)

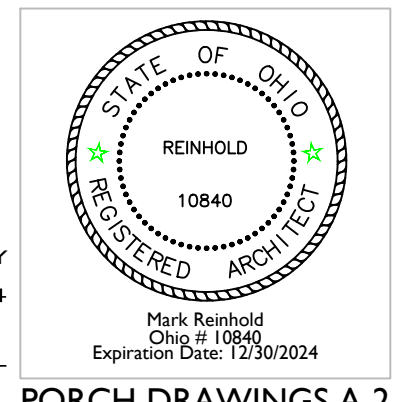


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

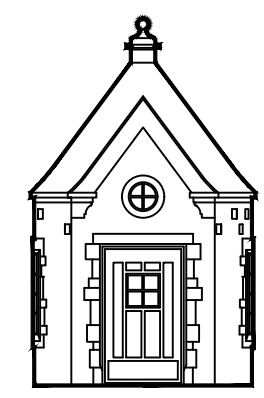
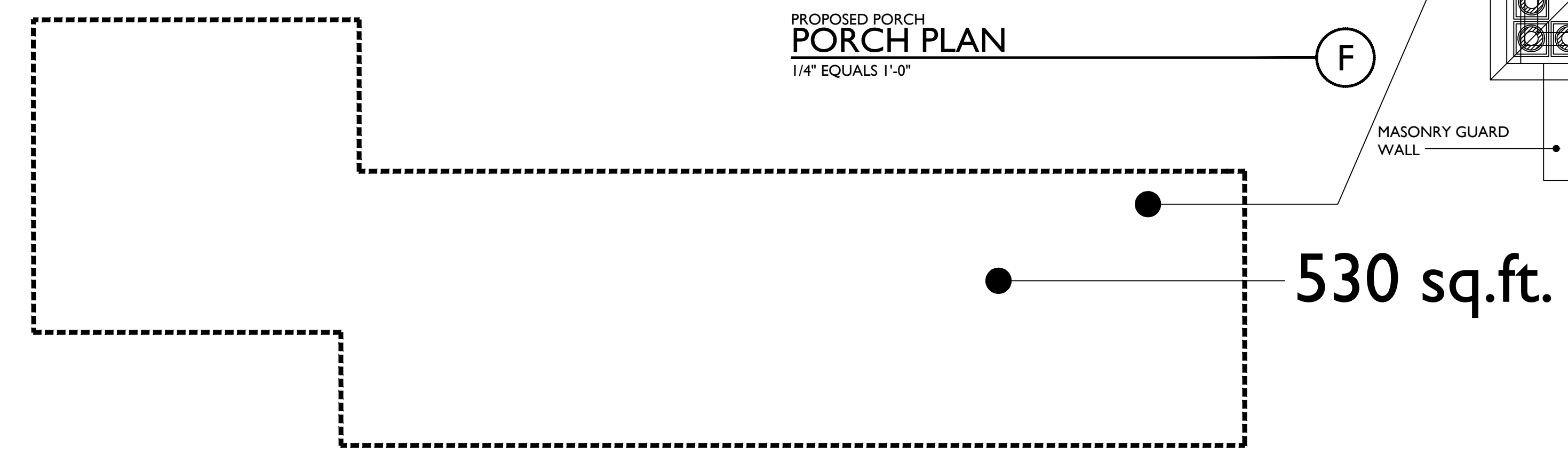
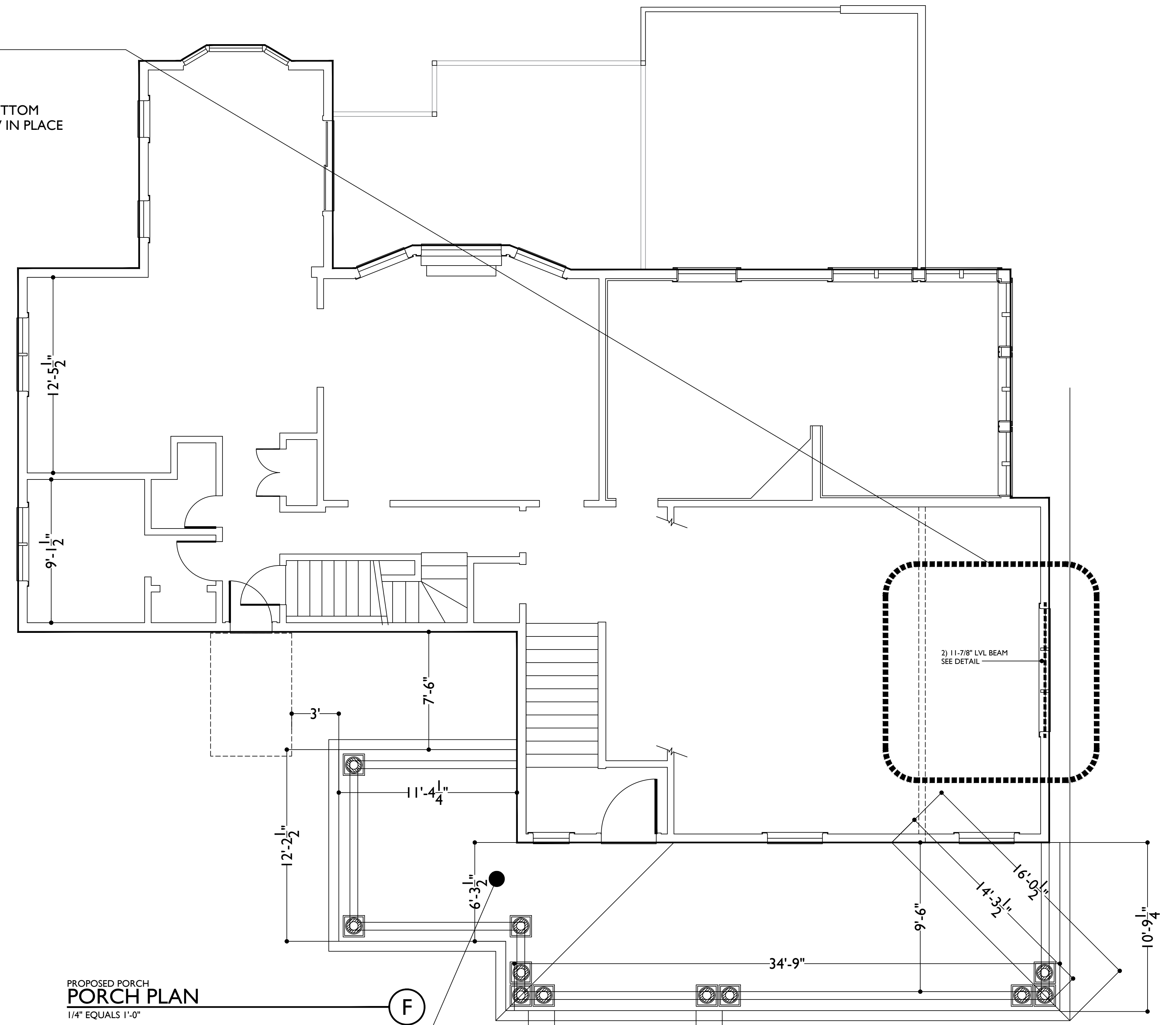
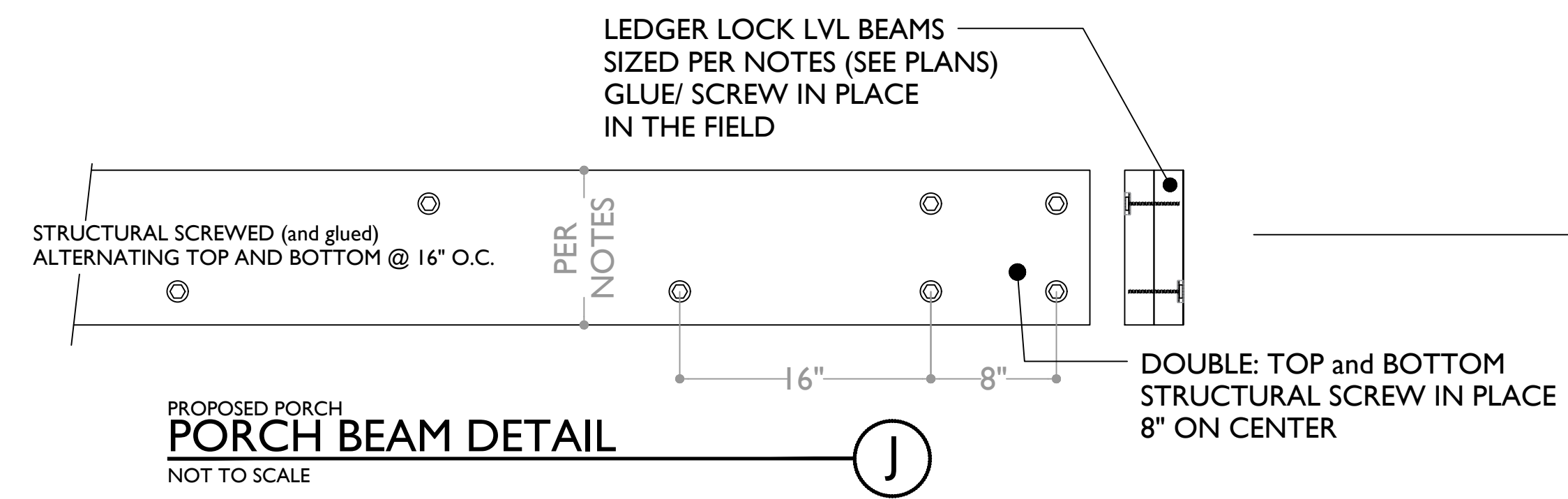
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PORCH DRAWINGS A-2

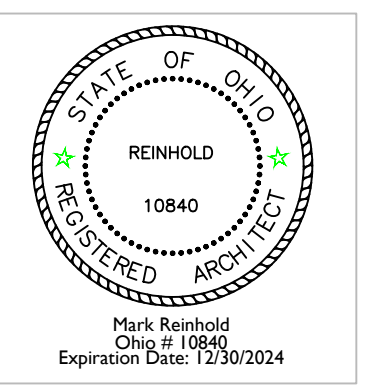


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

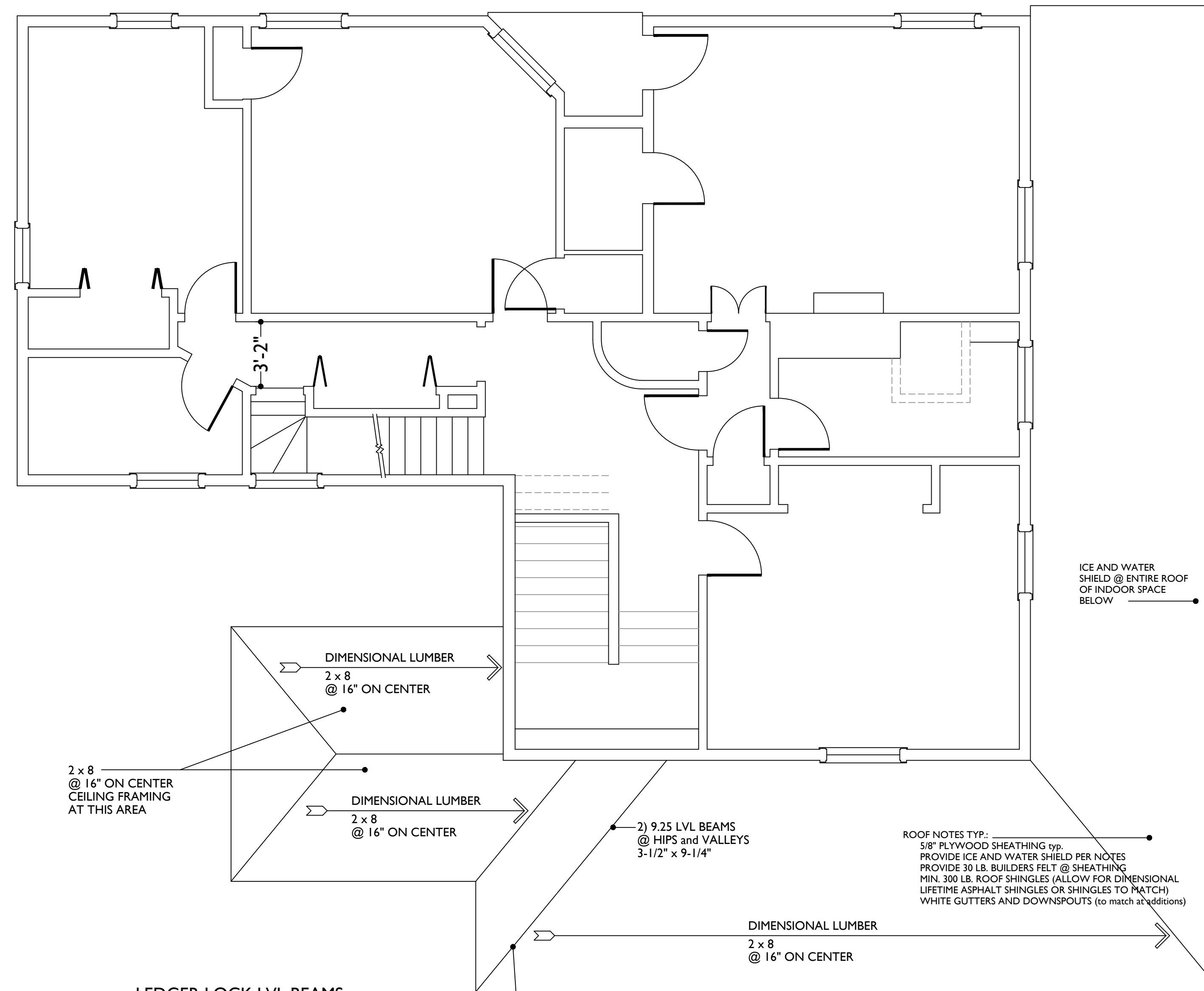
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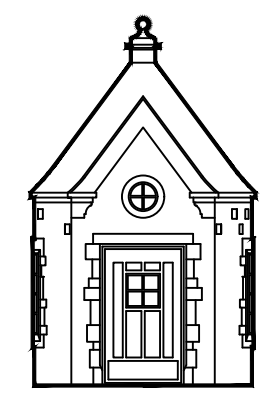
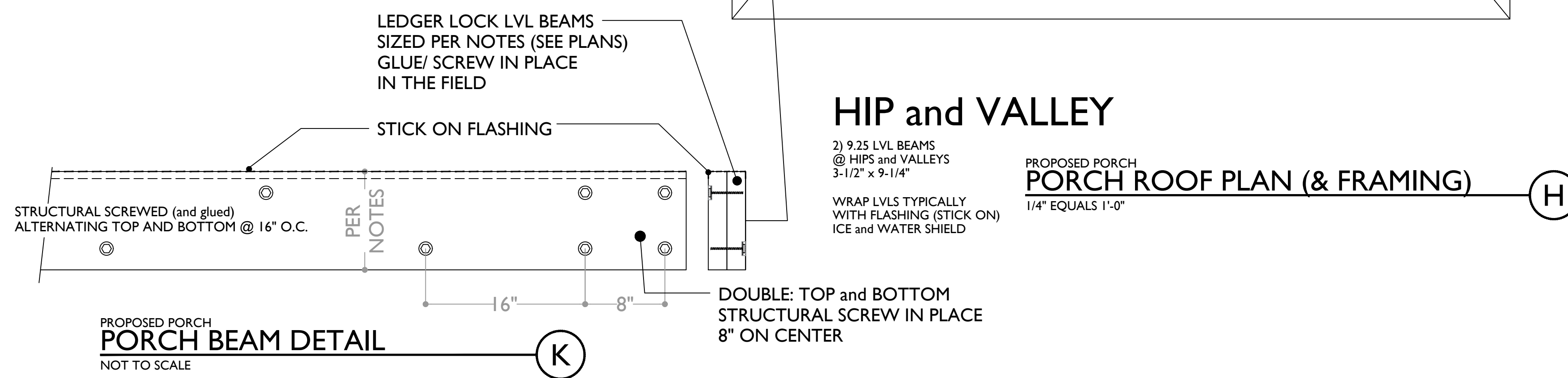


17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-3



ROOF NOTES TYP:  
 5/8" PLYWOOD SHEATHING c/p.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 WHITE GUTTERS AND DOWNSPOUTS (to match at additions)

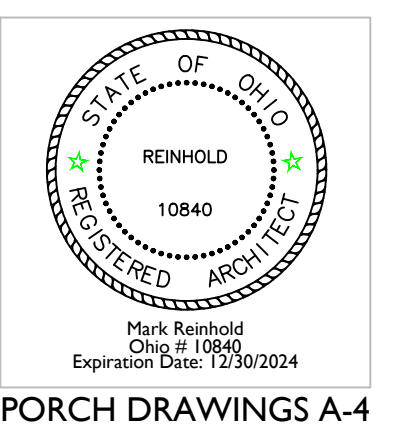


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

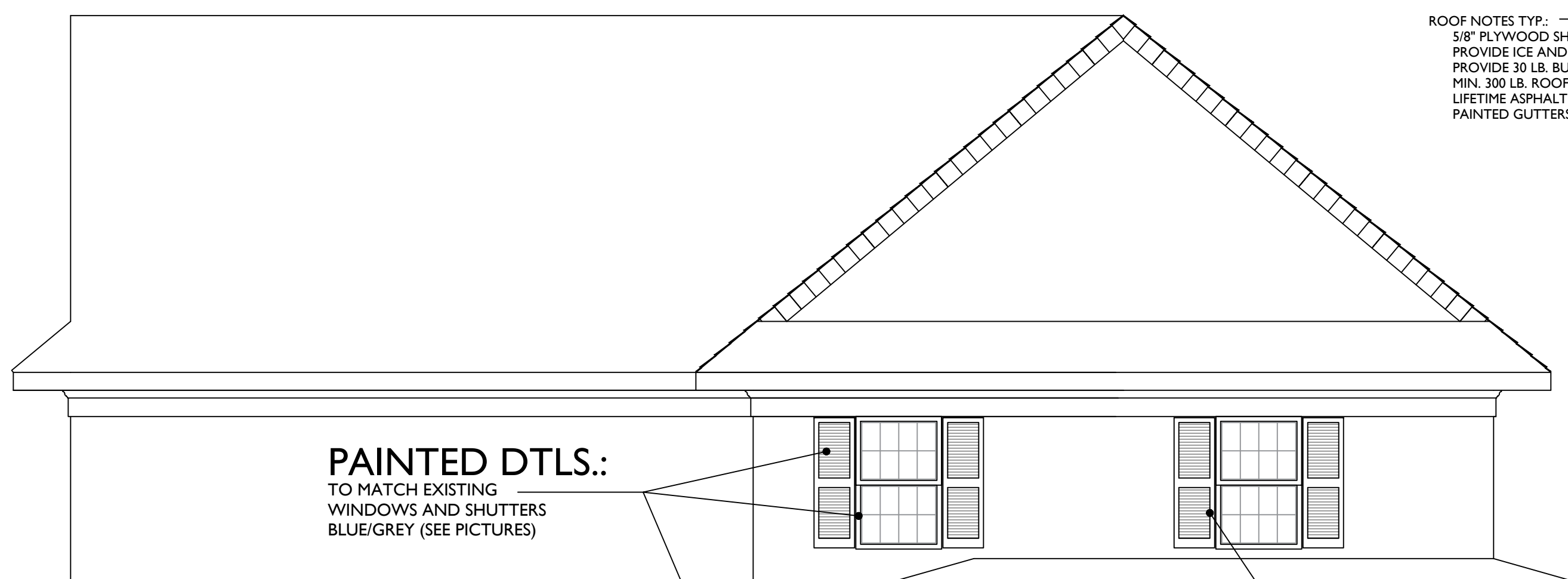
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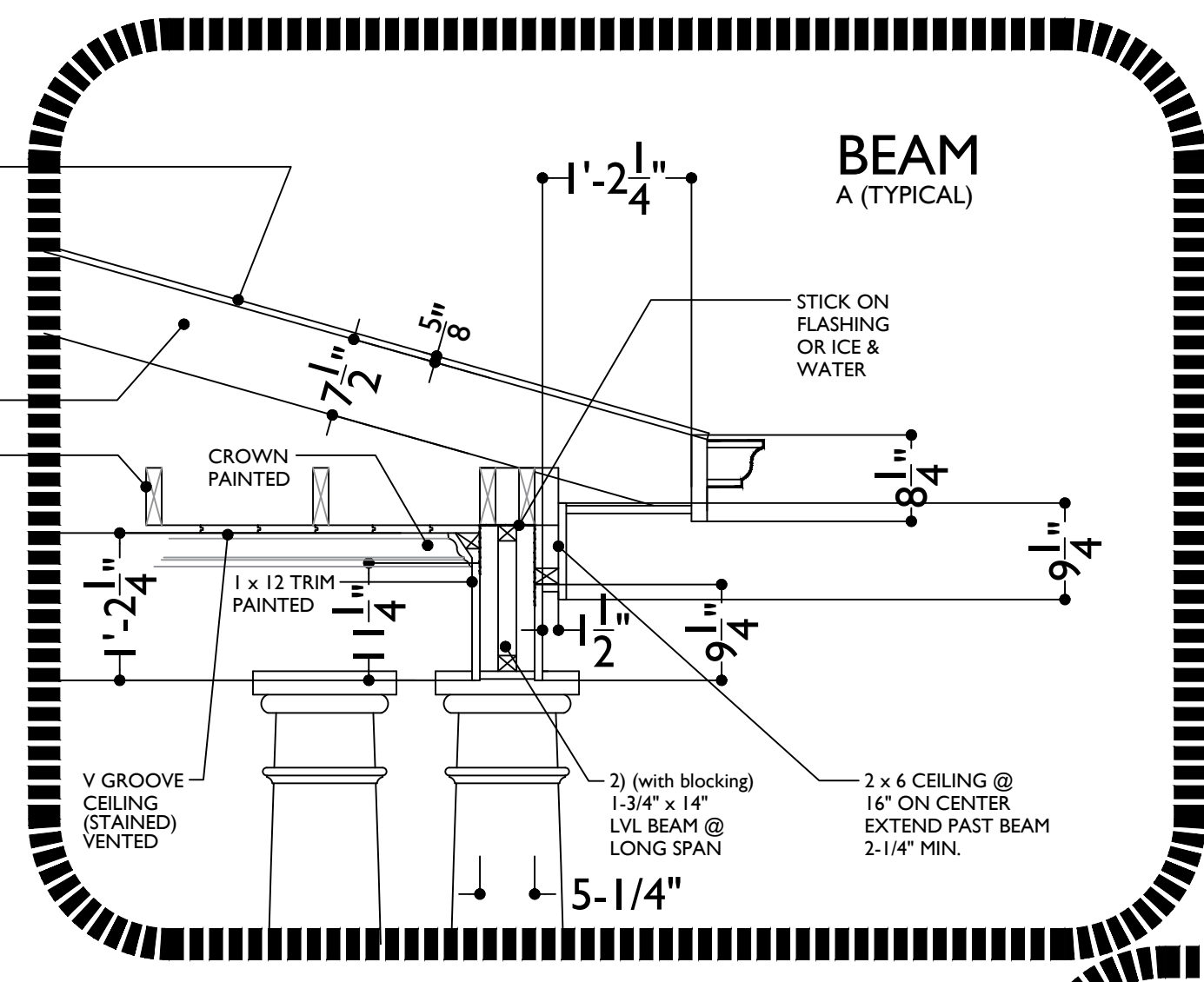


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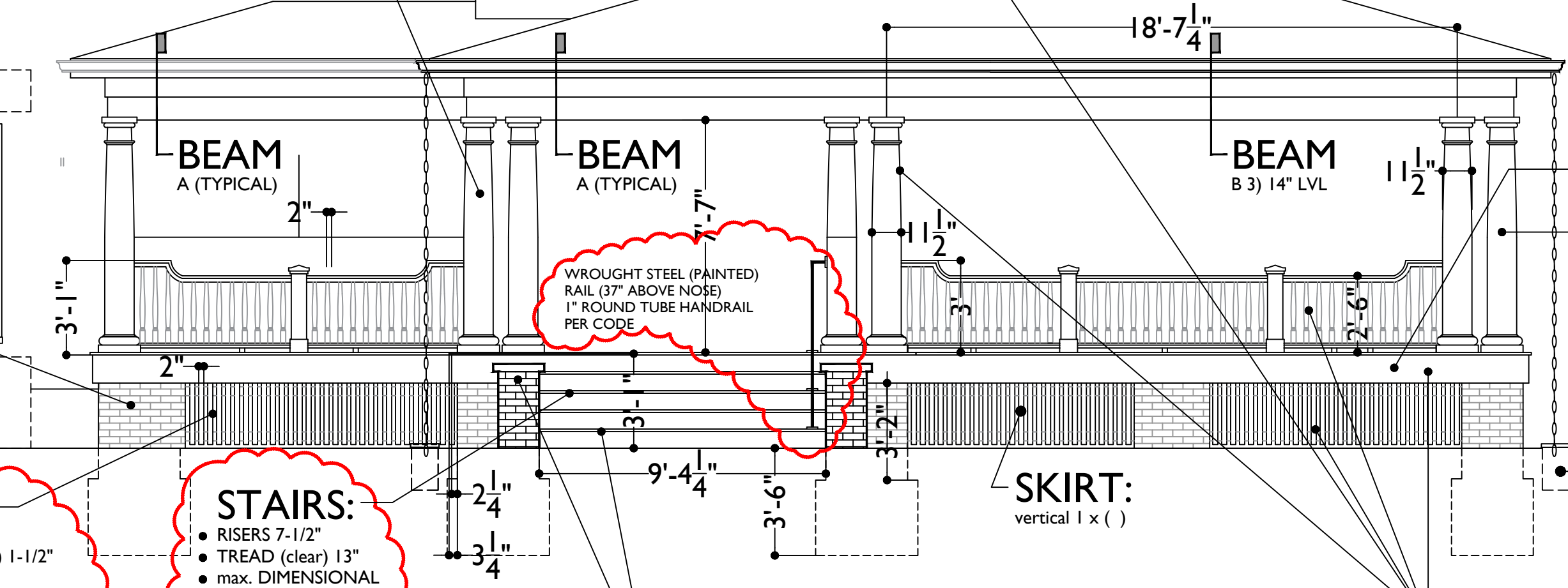
PORCH DRAWINGS A-4



ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS & DOWNSPOUTS (to match trim)



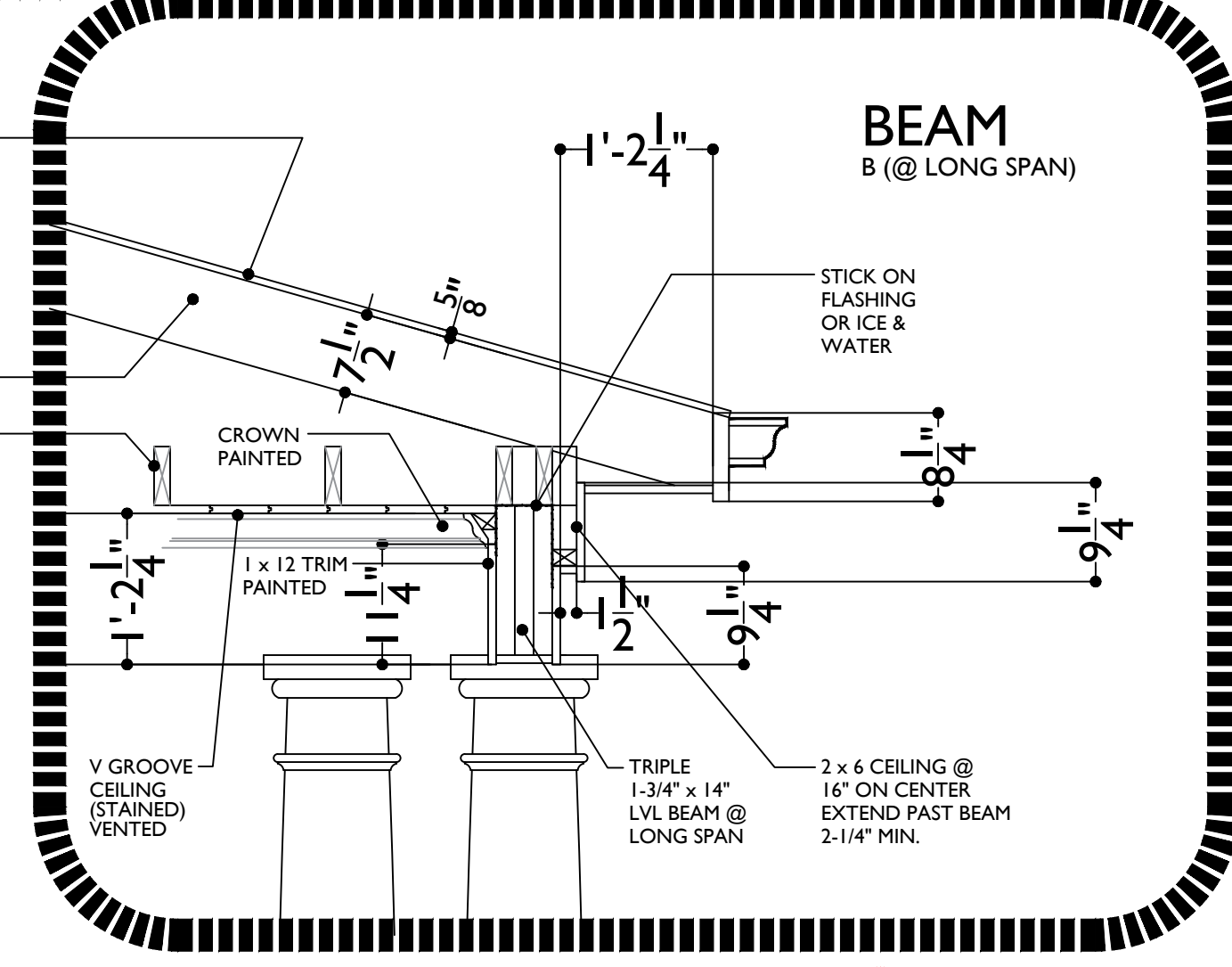
BEAM A (TYPICAL)



PROPOSED PORCH NORTH ELEVATION  
 1/4" EQUALS 1'-0"

PAINTED DTLS.:  
 TO MATCH EXISTING WINDOWS AND SHUTTERS  
 BLUE/GREY (SEE PICTURES)

ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS & DOWNSPOUTS (to match trim)



BEAM B (@ LONG SPAN)

MASONRY:  
 TO MATCH EXISTING FOUNDATION (TYPICAL OF ALL NEW MASONRY)

SKIRT:  
 VERTICALS 5/4 x 2"  
 OPEN DIMENSION (typ.) 1-1/2"  
 HORIZONTAL P/T 2x4  
 SKIRT IS VENTILATED

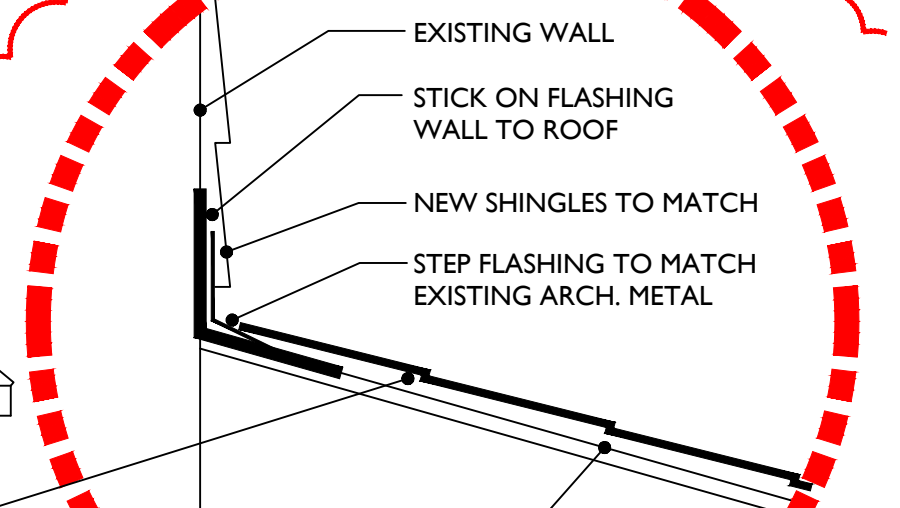
STAIRS:  
 • RISERS 7-1/2"  
 • TREAD (clear) 13"  
 • max. DIMENSIONAL DELTA 3/8"

SKIRT:  
 vertical 1 x ( )

PROPOSED PORCH EAST ELEVATION  
 1/4" EQUALS 1'-0"

PAINTED DTLS.:  
 TO MATCH EXISTING WINDOWS AND SHUTTERS  
 BLUE/GREY (SEE PICTURES)

ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS AND DOWNSPOUTS (to match TRIM)



STAIRS:  
 • RISERS 7-1/2"  
 • TREAD (clear) 13"  
 • max. DIMENSIONAL DELTA 3/8"

PAINTED DTLS.:  
 TO MATCH EXISTING WINDOWS AND SHUTTERS  
 BLUE/GREY (SEE PICTURES)

36" MIN. ICE AND WATER SHIELD @ EAVE LINE

DEMOLISH  
 EXISTING TRANSOM WINDOW AND EXISTING METAL ROOF (ALLOW FOR NEW SHEATHING AND ROOF TO MATCH)

ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS AND DOWNSPOUTS (to match TRIM)

ICE AND WATER SHIELD @ ENTIRE ROOF OF INDOOR SPACE BELOW

MASONRY:  
 TO MATCH EXISTING FOUNDATION (TYPICAL OF ALL NEW MASONRY)

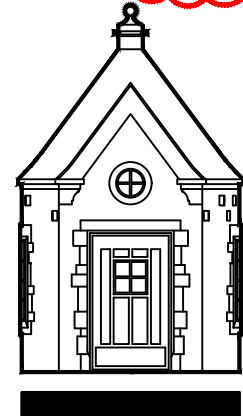
STAIRS:  
 • RISERS 7-1/2"  
 • TREAD (clear) 13"  
 • max. DIMENSIONAL DELTA 3/8"

SKIRT:  
 vertical 1 x ( )

MASONRY:  
 TO MATCH EXISTING FOUNDATION (TYPICAL OF ALL NEW MASONRY)

PROPOSED PORCH WEST ELEVATION  
 1/4" EQUALS 1'-0"

ACCESS:  
 NO SKIRT ON THIS SIDE (ELEVATION NOT SHOWN)

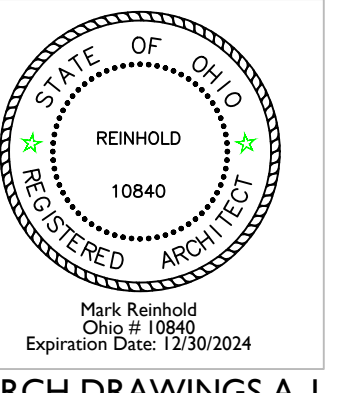


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

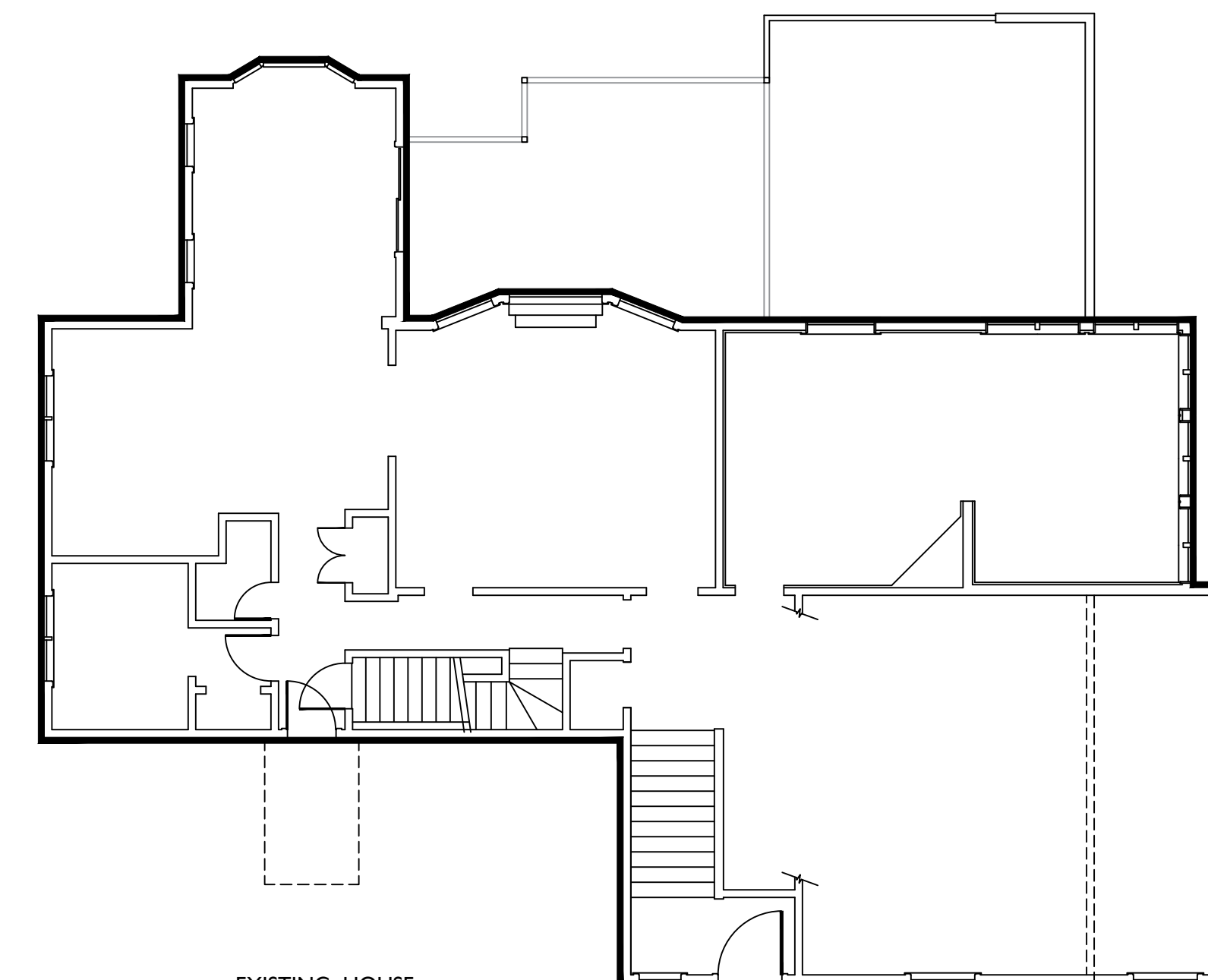
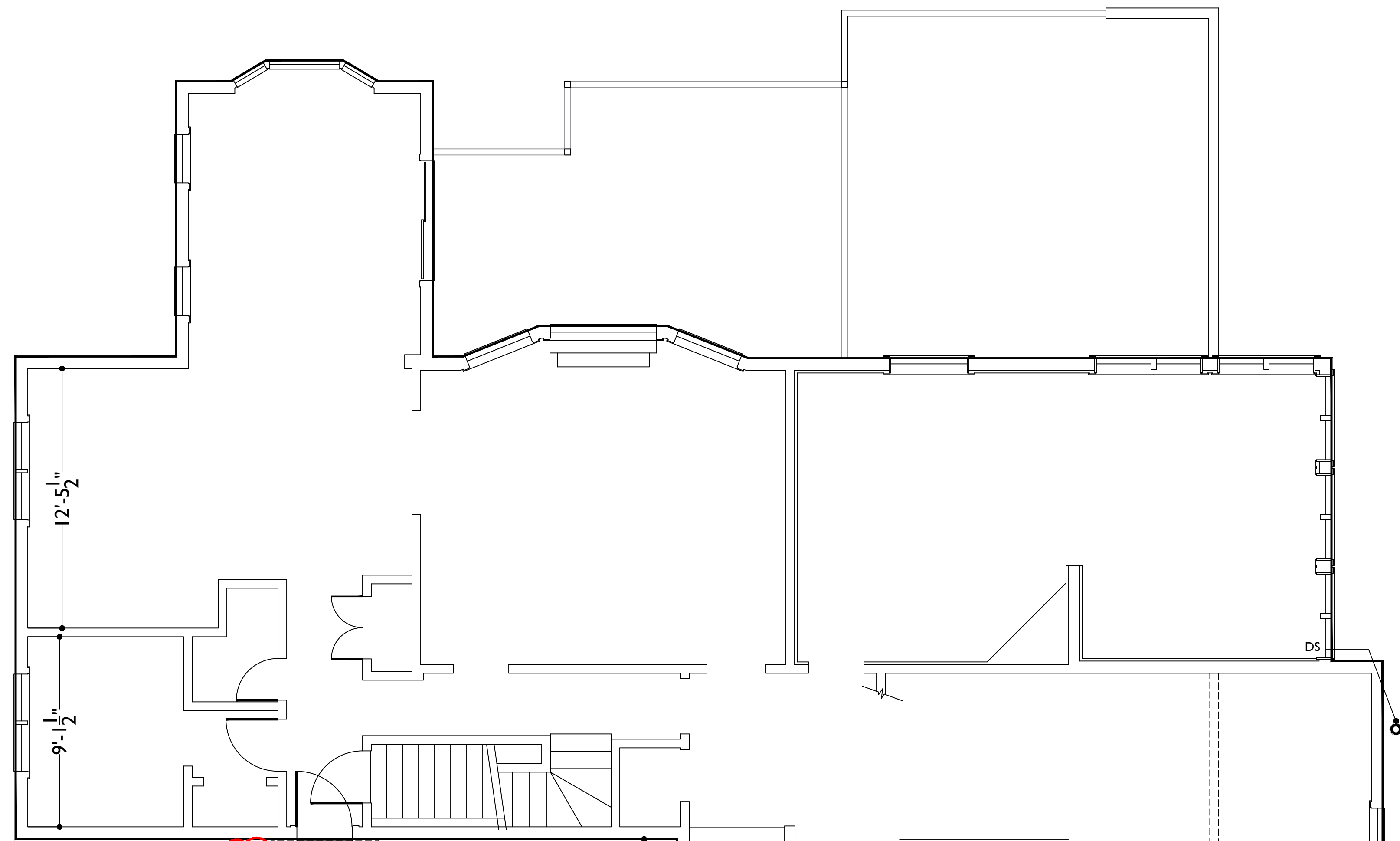
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
 04/29/2024  
 6-20-2024  
 PERMIT



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

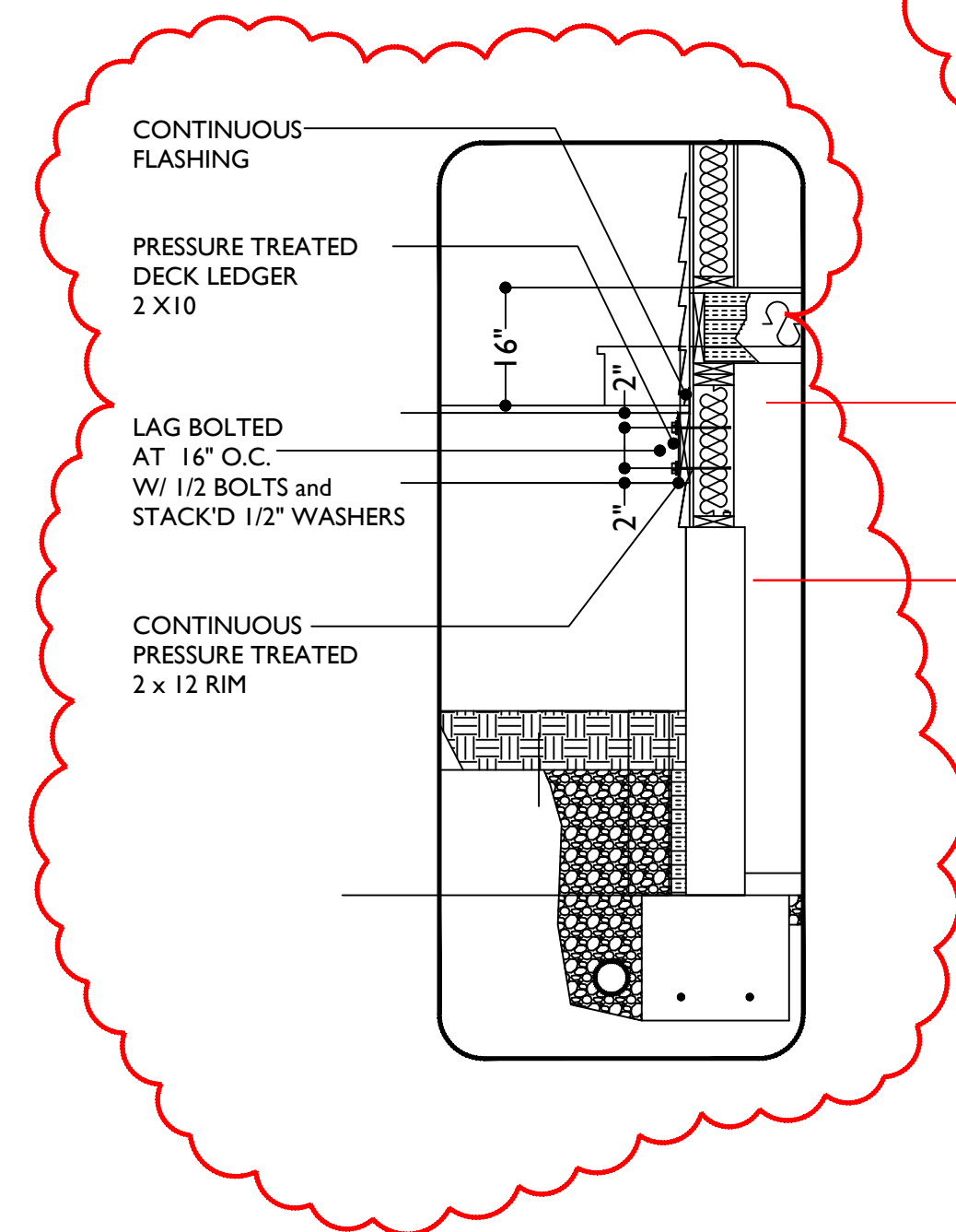
PORCH DRAWINGS A-1



EXISTING HOUSE  
FLOOR PLAN  
1/8" EQUALS 1'-0"

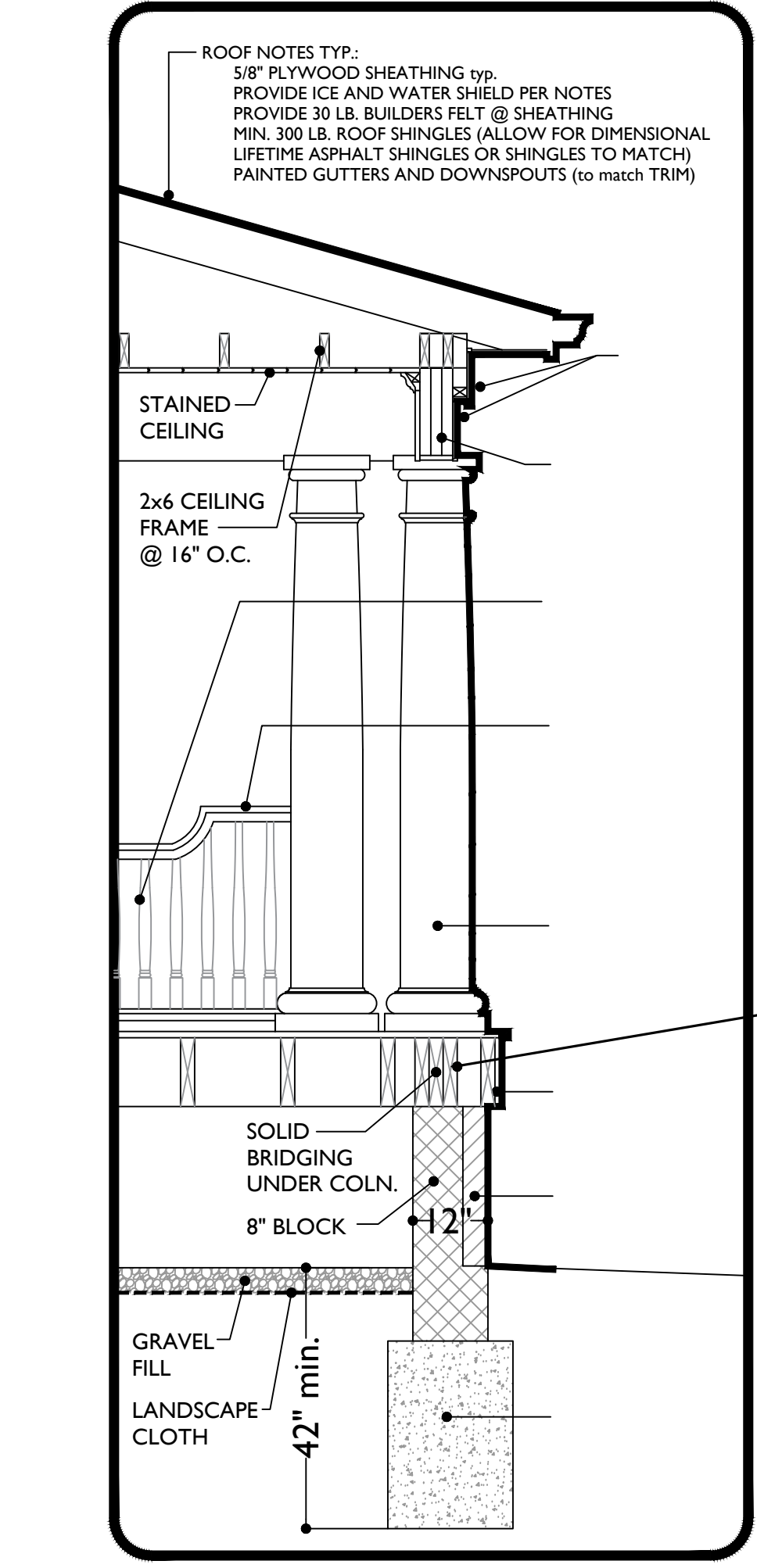
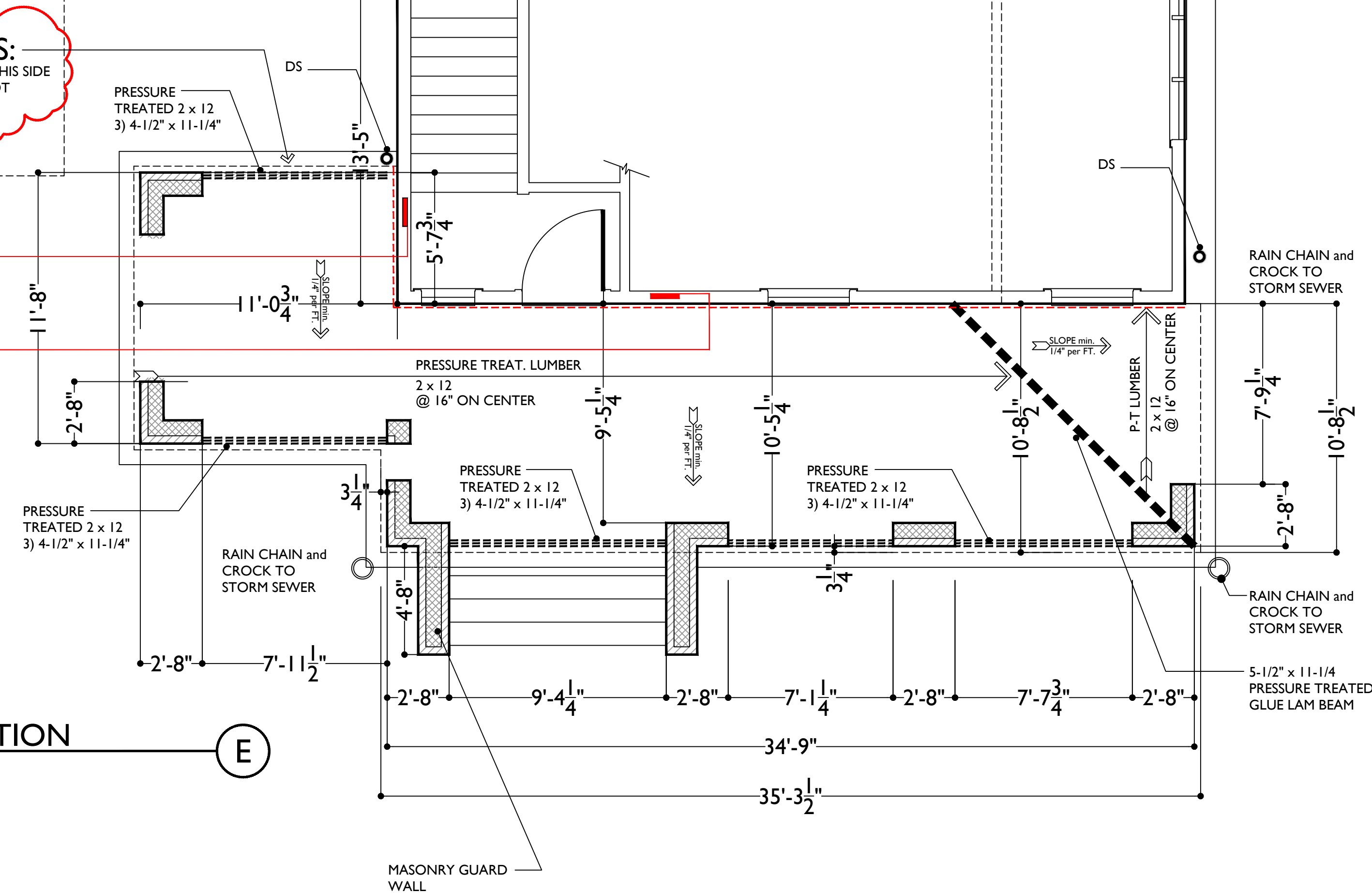
(D)

ACCESS:  
NO SKIRT ON THIS SIDE  
(ELEVATION NOT SHOWN)



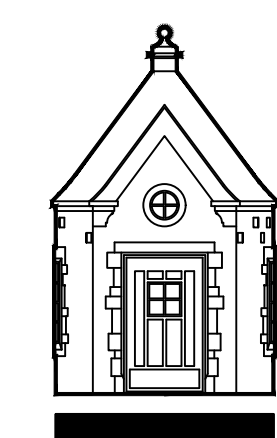
PROPOSED PORCH  
PORCH FOUNDATION  
1/4" EQUALS 1'-0"

(E)



PROPOSED PORCH  
PORCH SECTION/ DETAIL  
1/2" EQUALS 1'-0"

(I)

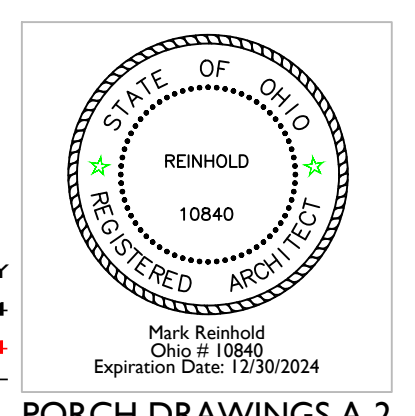


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

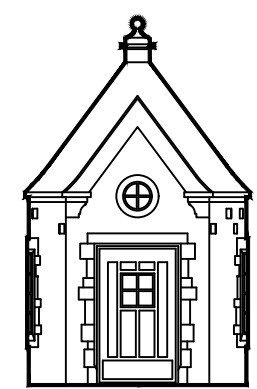
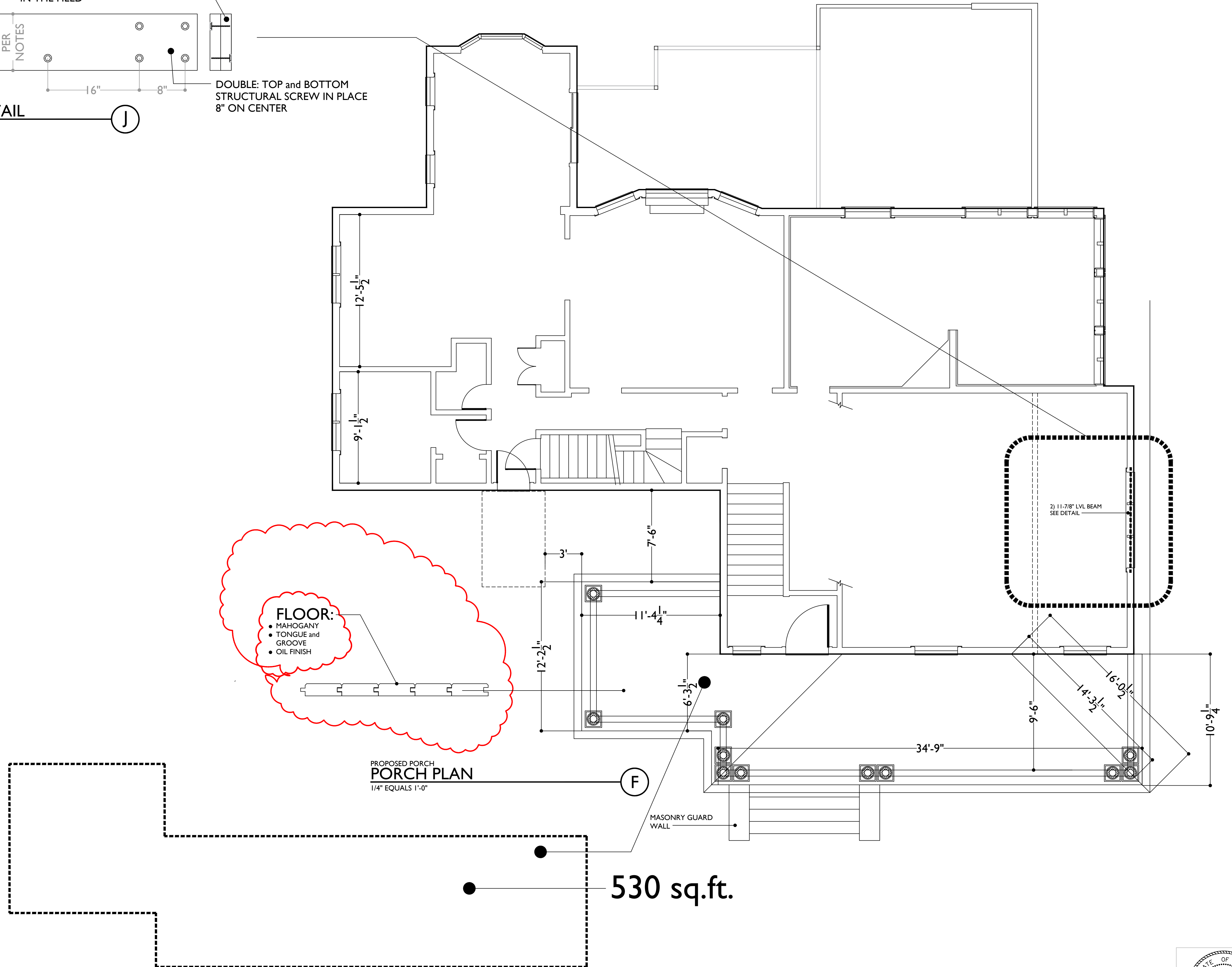
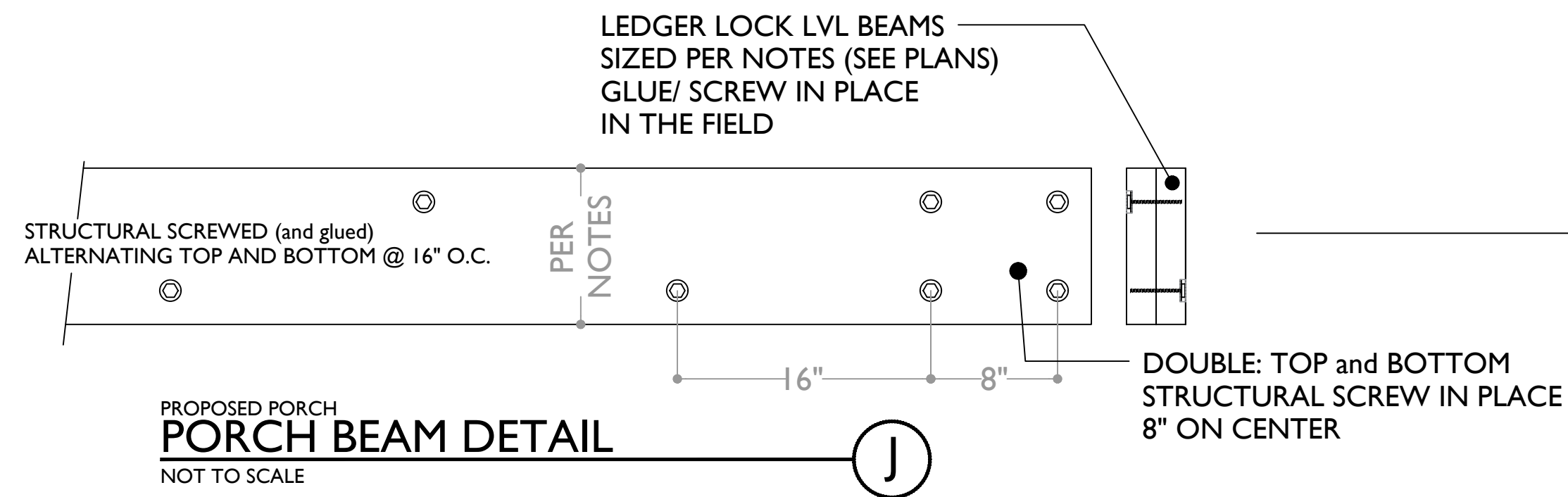
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
04/29/2024  
6-20-2024  
PERMIT



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-2

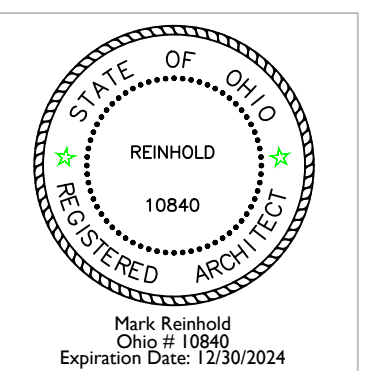


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

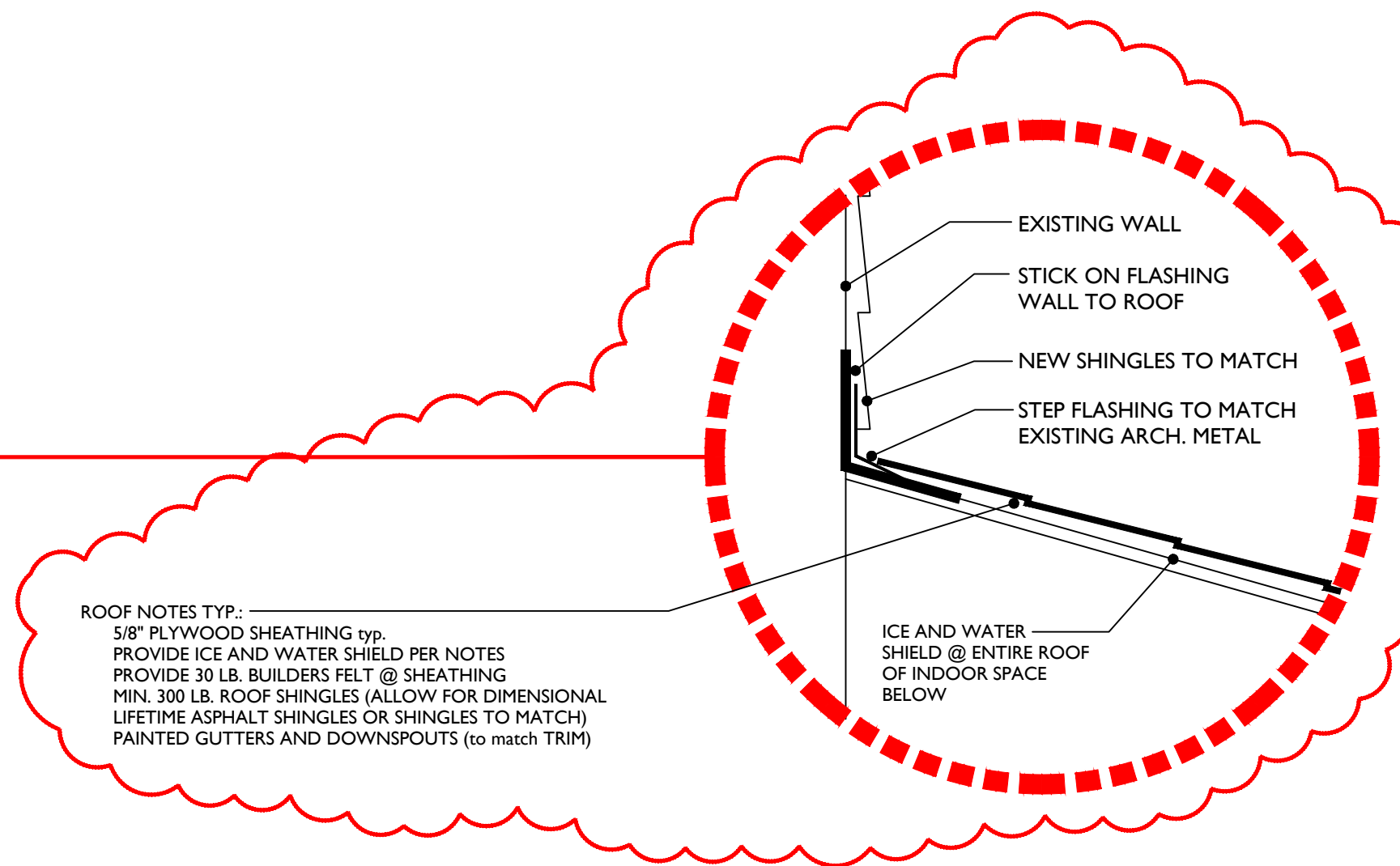
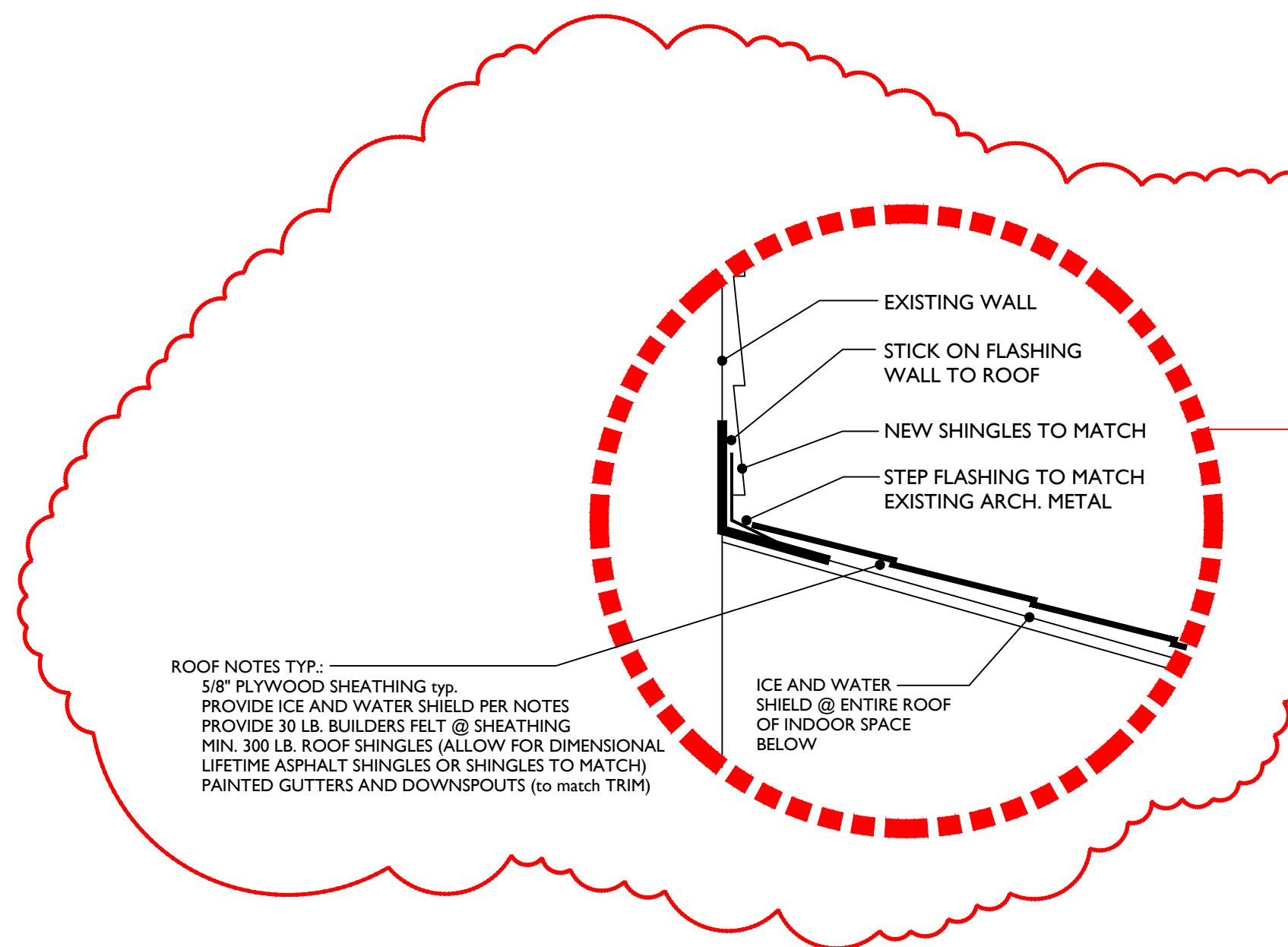
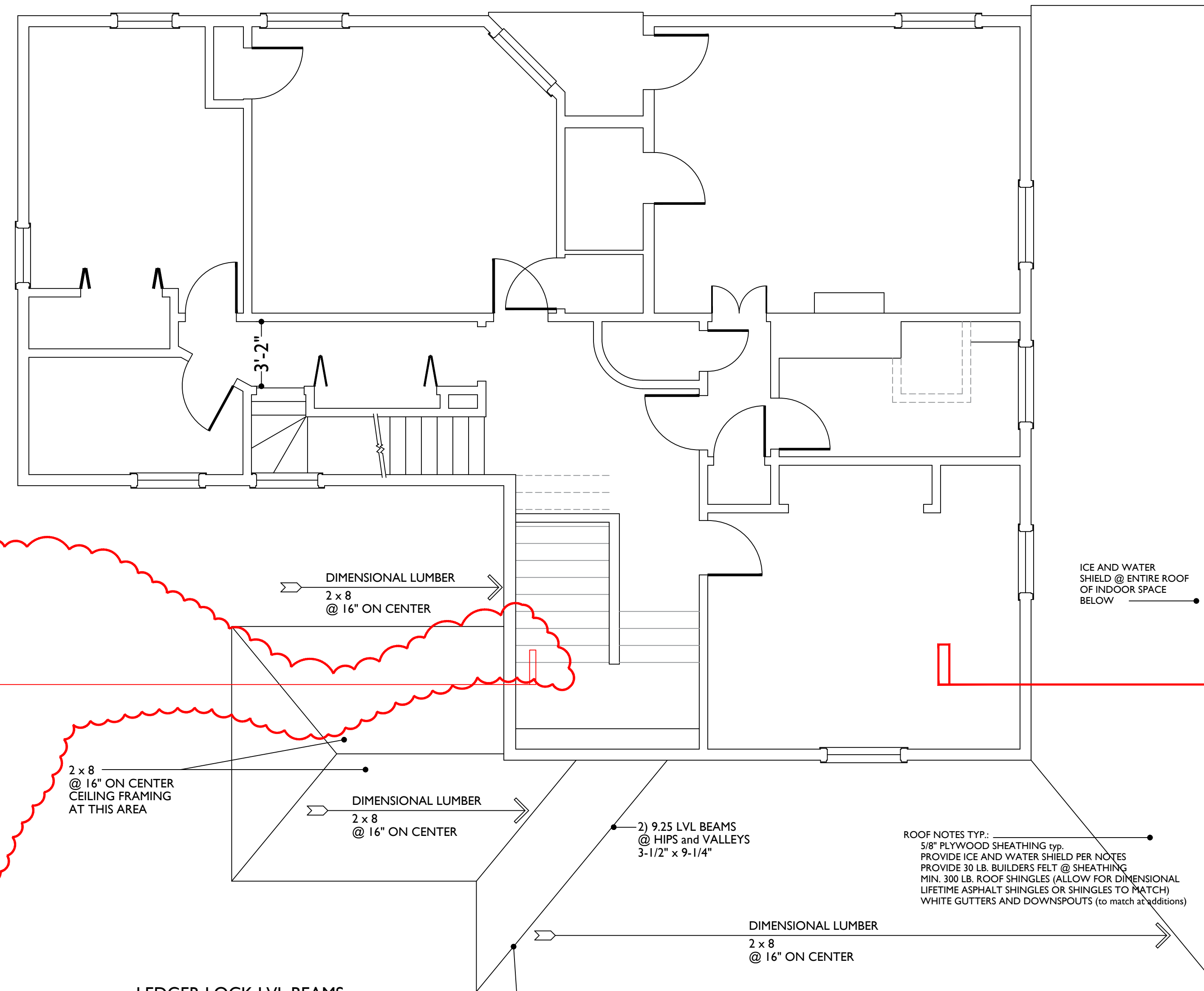
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
04/29/2024  
6-20-2024  
PERMIT



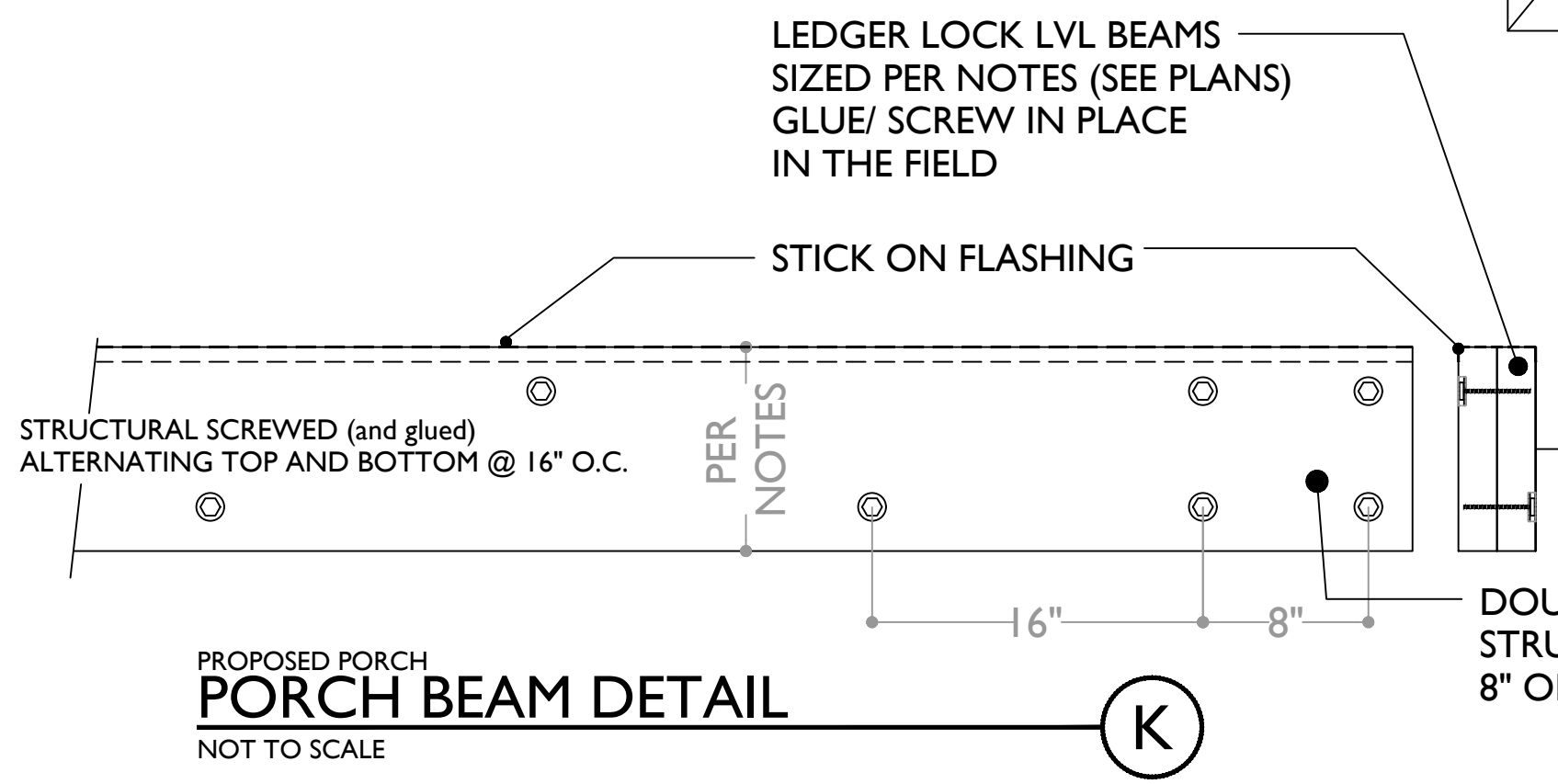
17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-3



ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 PAINTED GUTTERS AND DOWNSPOUTS (to match TRIM)

ROOF NOTES TYP.:  
 5/8" PLYWOOD SHEATHING typ.  
 PROVIDE ICE AND WATER SHIELD PER NOTES  
 PROVIDE 30 LB. BUILDERS FELT @ SHEATHING  
 MIN. 300 LB. ROOF SHINGLES (ALLOW FOR DIMENSIONAL  
 LIFETIME ASPHALT SHINGLES OR SHINGLES TO MATCH)  
 WHITE GUTTERS AND DOWNSPOUTS (to match at additions)



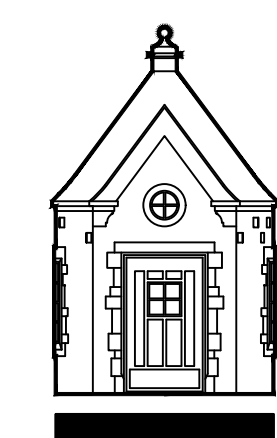
PROPOSED PORCH  
**PORCH BEAM DETAIL**  
 NOT TO SCALE

**HIP and VALLEY**

2) 9.25 LVL BEAMS  
 @ HIPS and VALLEYS  
 3-1/2" x 9-1/4"  
 WRAP LVLS TYPICALLY  
 WITH FLASHING (STICK ON)  
 ICE and WATER SHIELD

PROPOSED PORCH  
**PORCH ROOF PLAN (& FRAMING)**

1/4" EQUALS 1'-0"

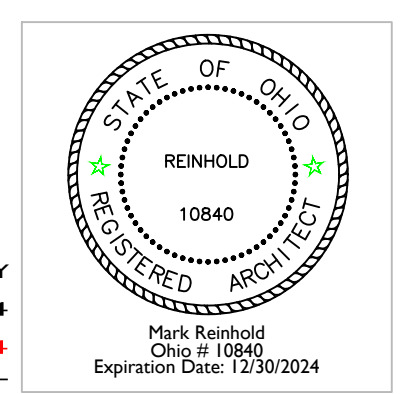


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

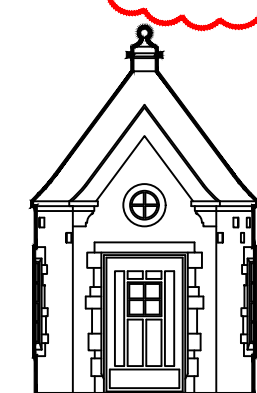
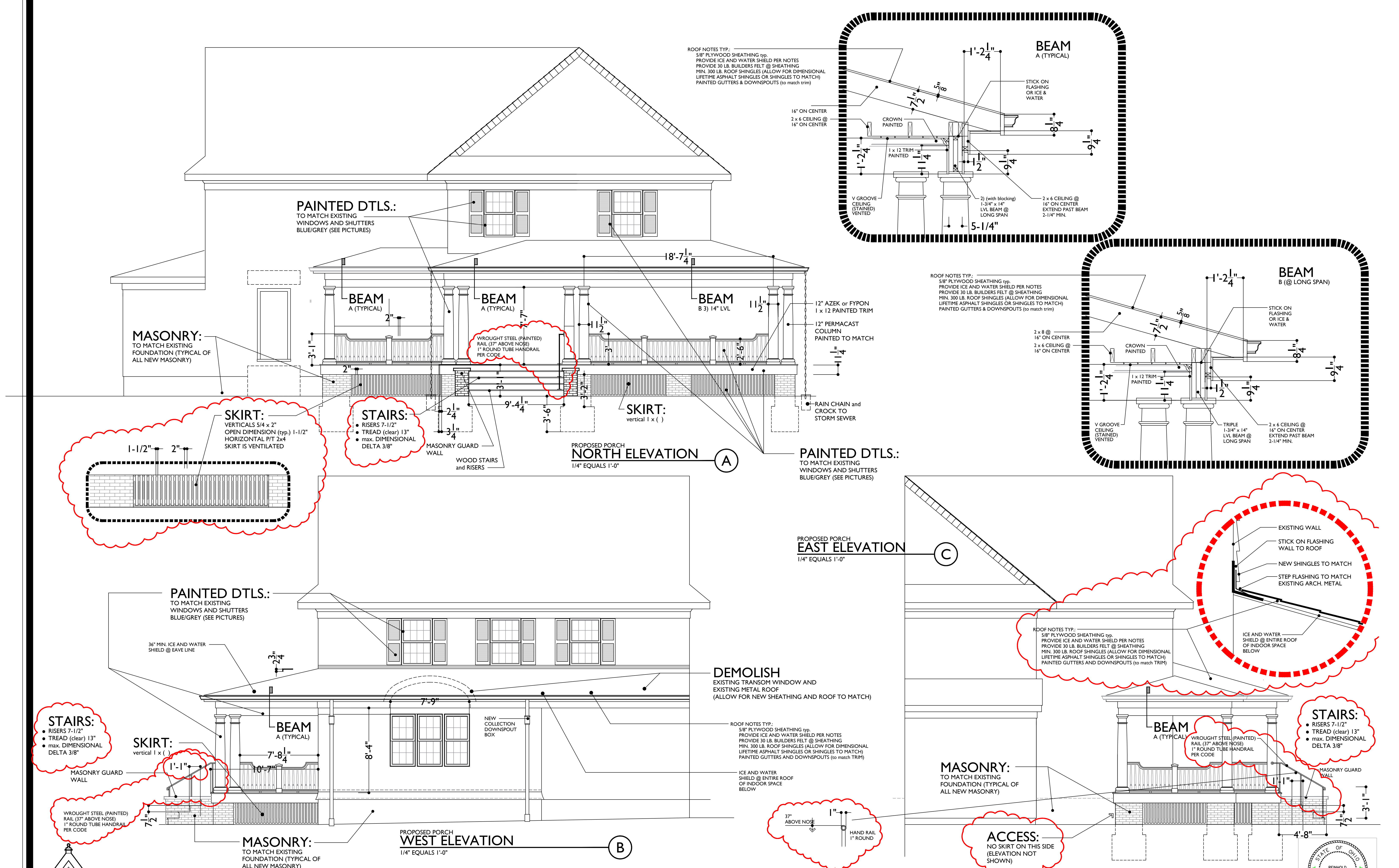
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
 04/29/2024  
 5-20-2024  
 PERMIT



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-4

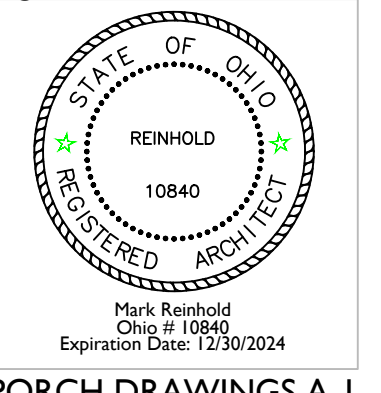


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

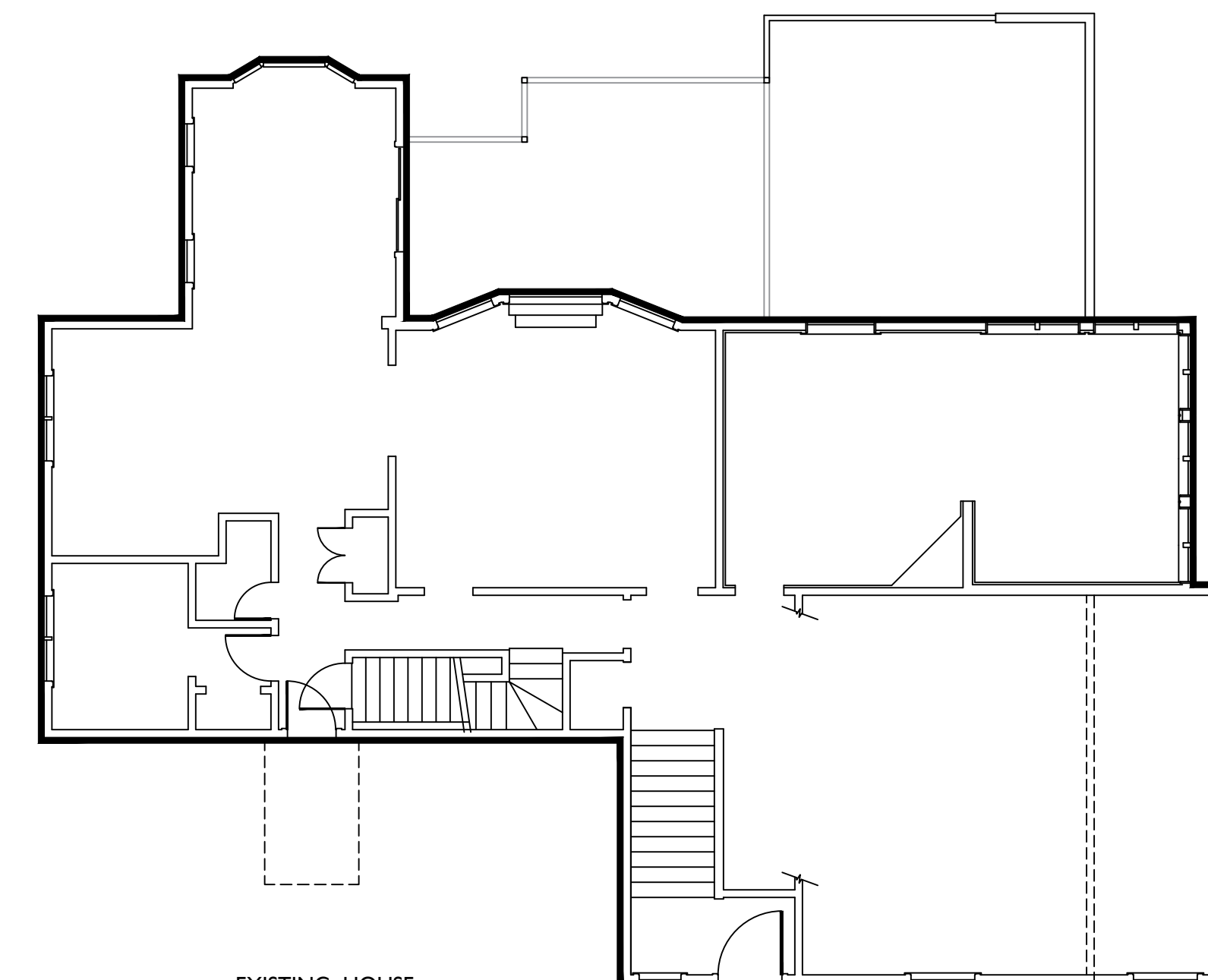
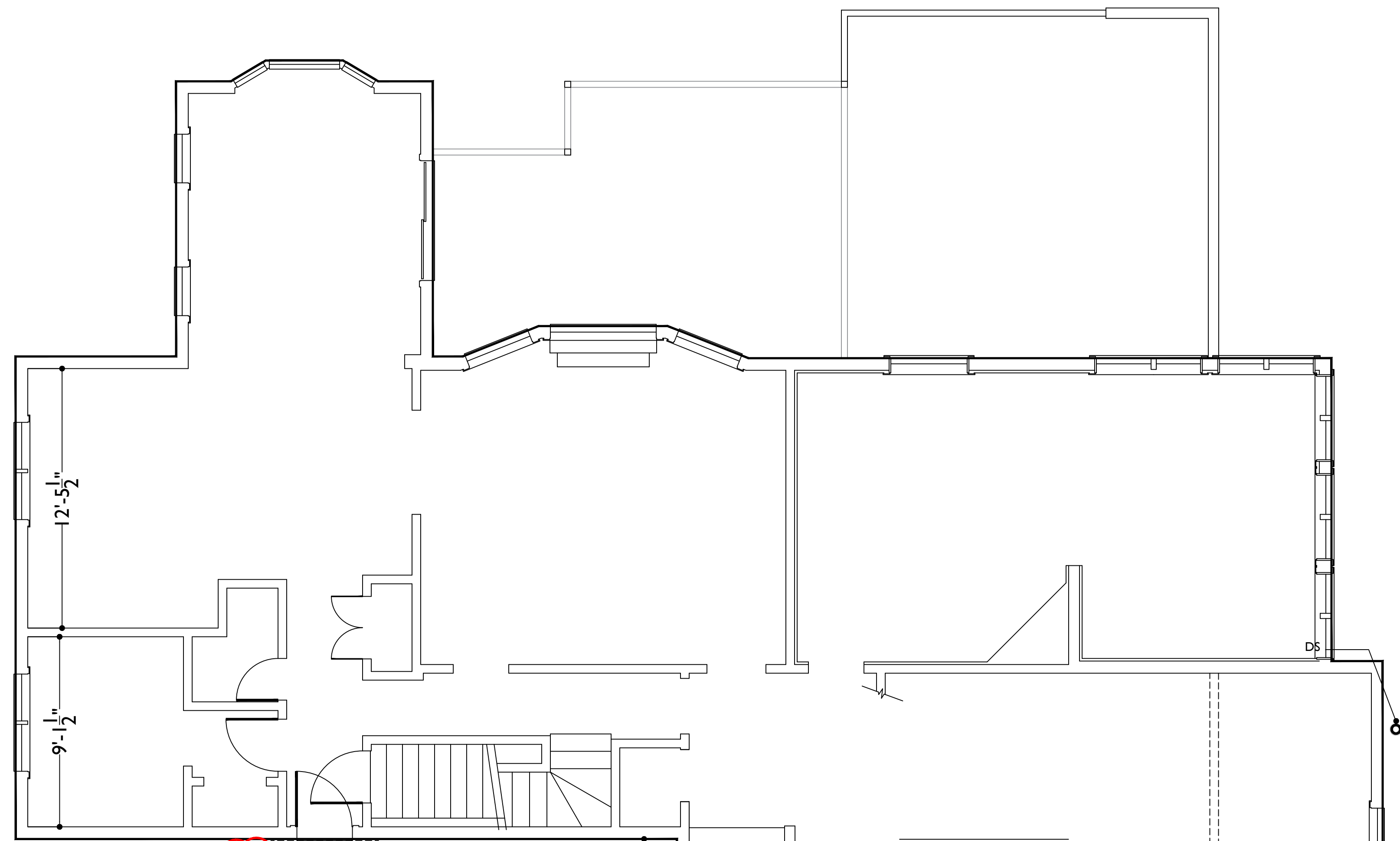
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
 04/29/2024  
 6-20-2024  
 PERMIT



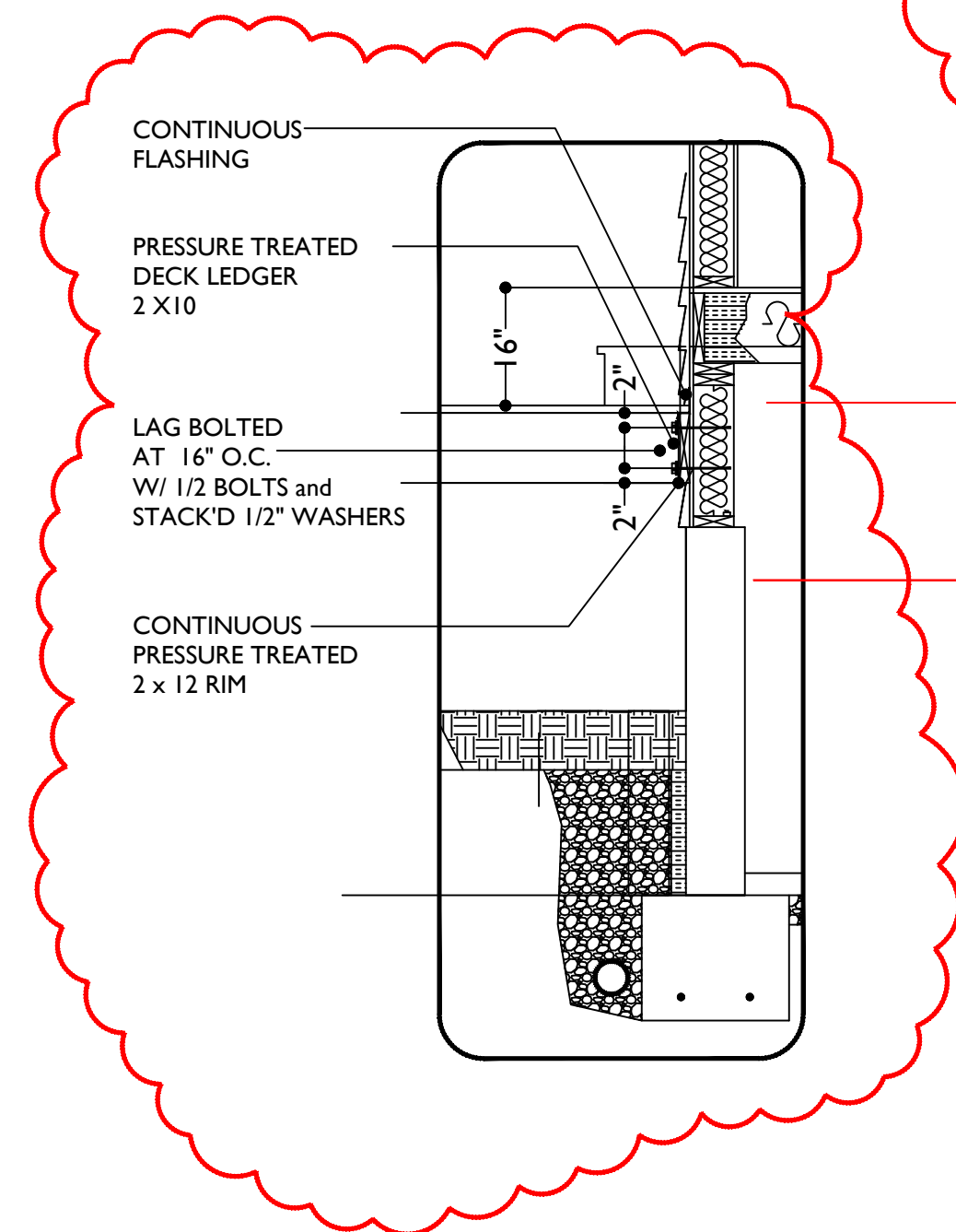
17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-1



EXISTING HOUSE  
FLOOR PLAN  
1/8" EQUALS 1'-0"

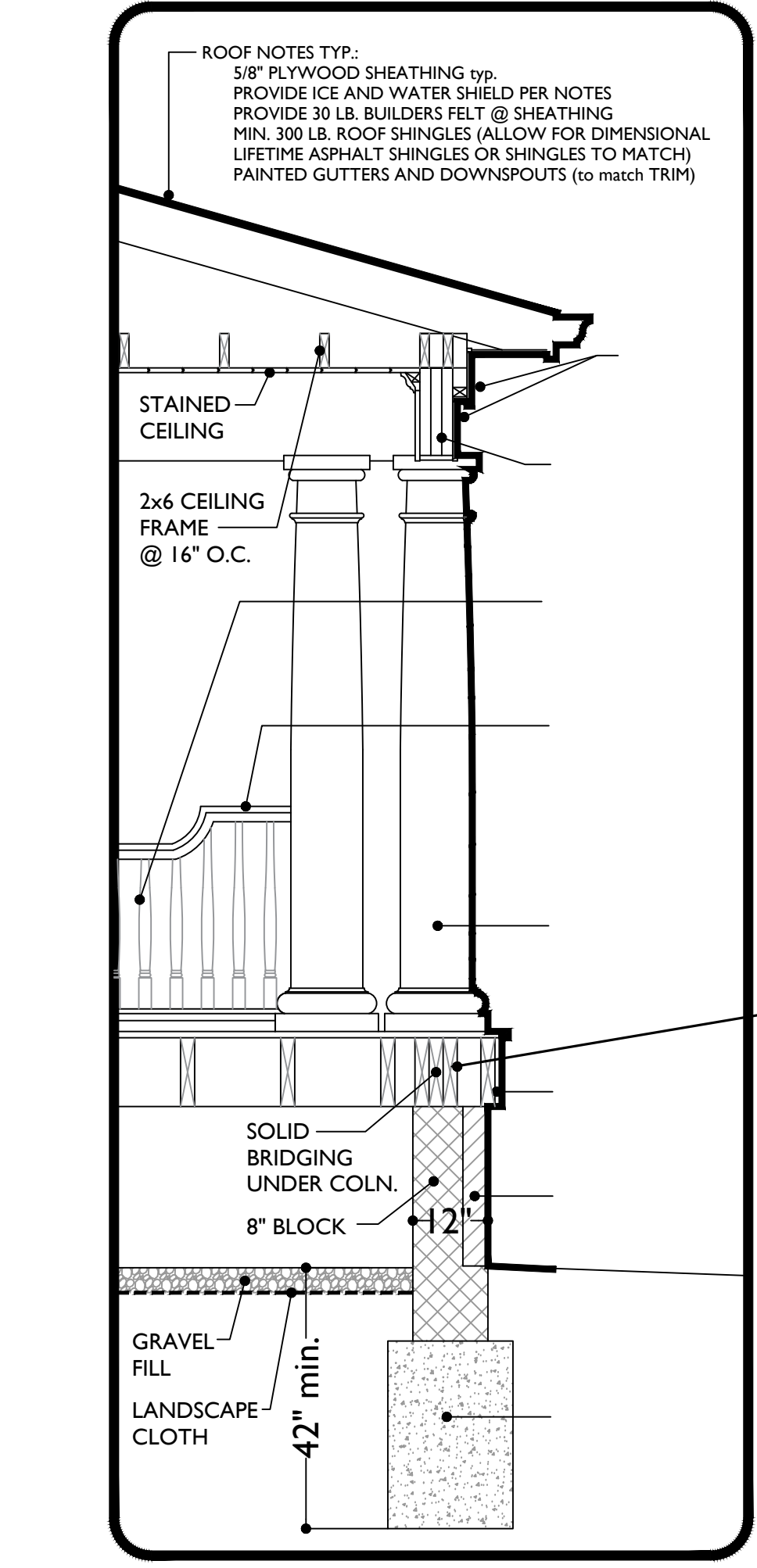
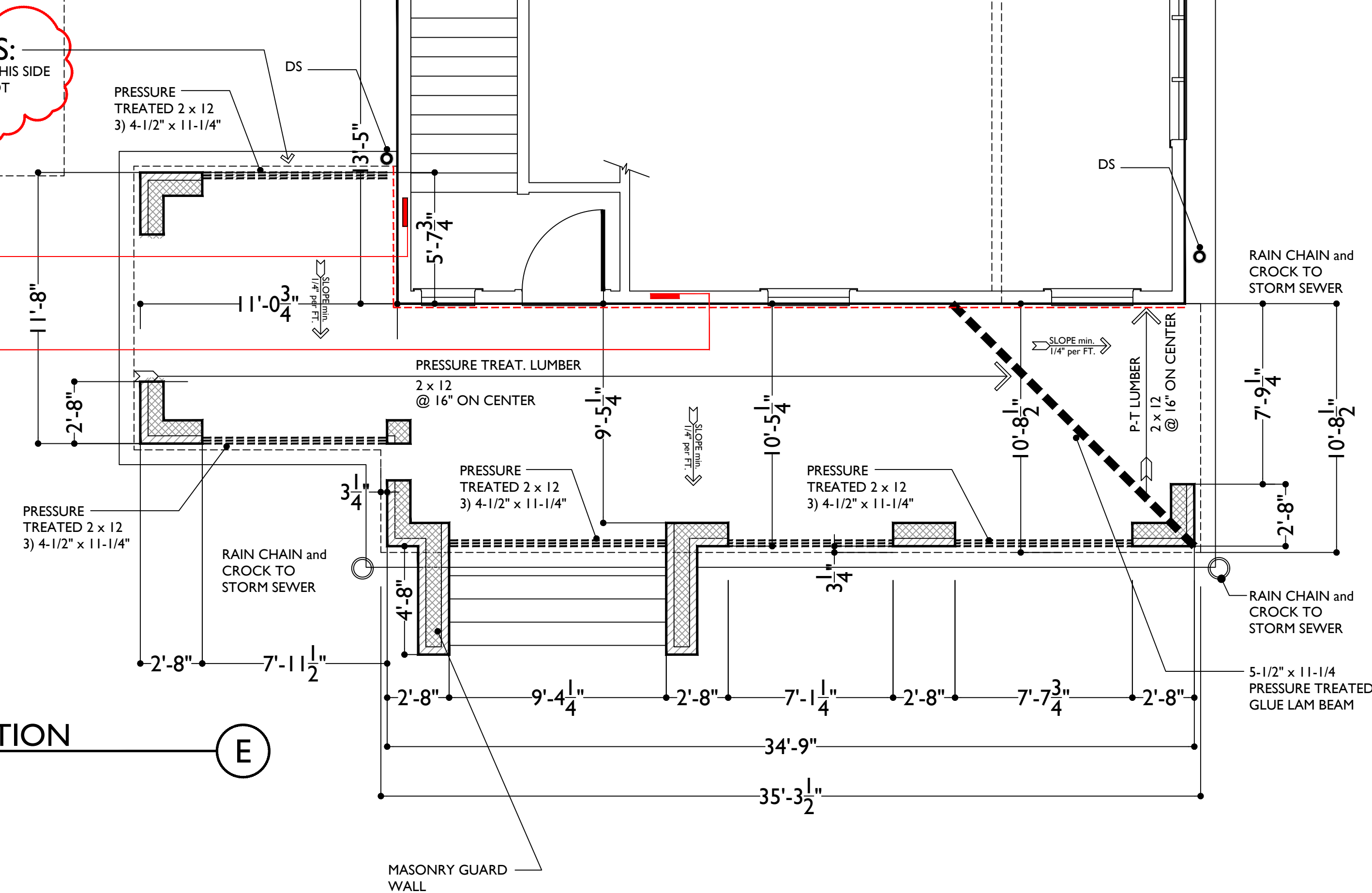
(D)



ACCESS:  
NO SKIRT ON THIS SIDE  
(ELEVATION NOT SHOWN)

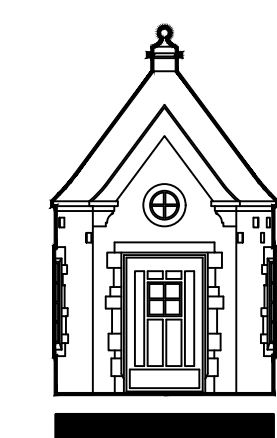
PROPOSED PORCH  
FOUNDATION  
1/4" EQUALS 1'-0"

(E)



PROPOSED PORCH  
SECTION/ DETAIL  
1/2" EQUALS 1'-0"

(I)

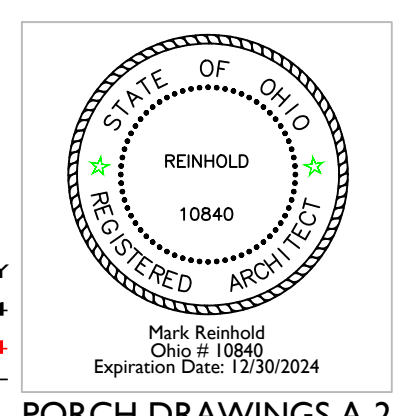


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

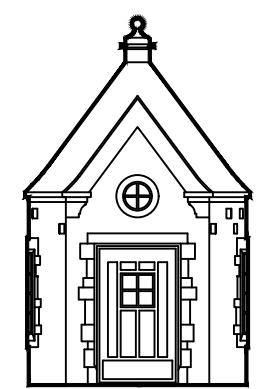
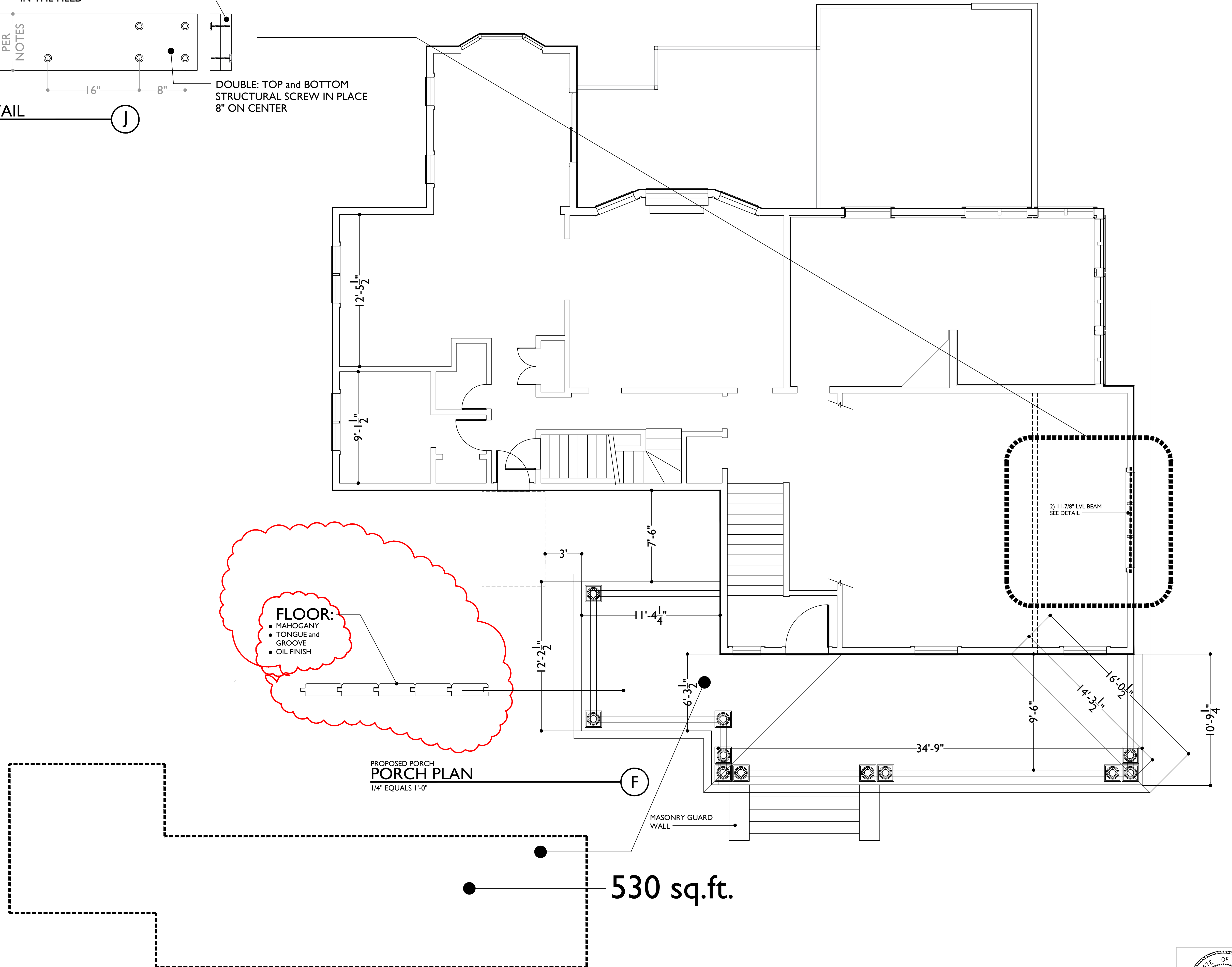
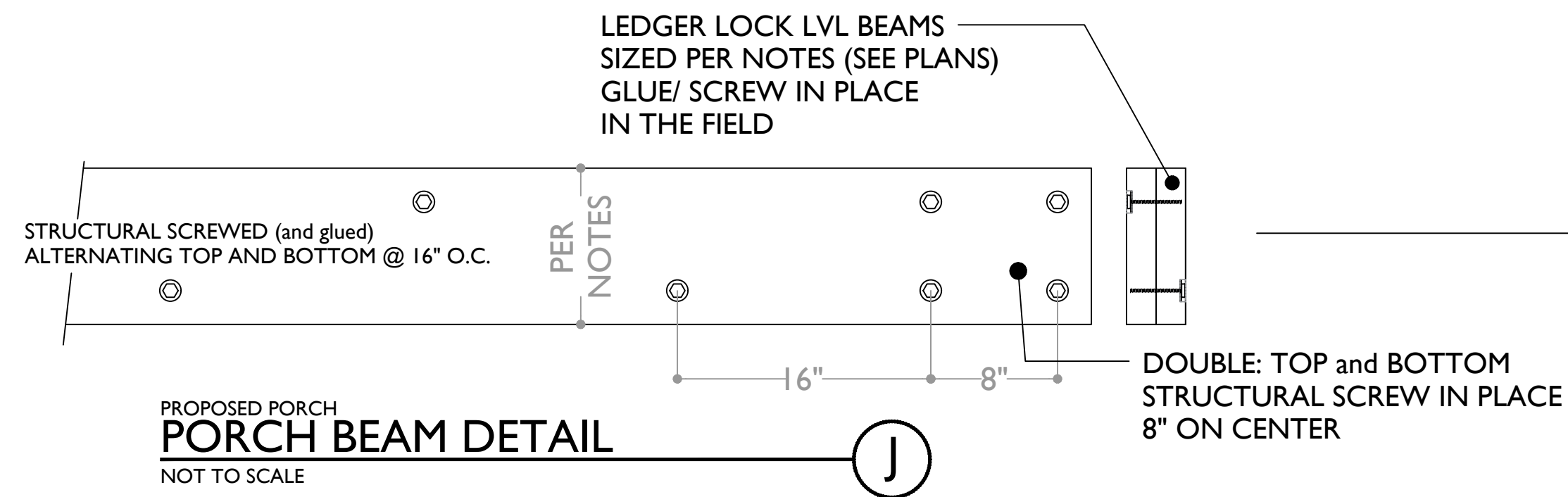
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
04/29/2024  
6-20-2024  
PERMIT



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-2

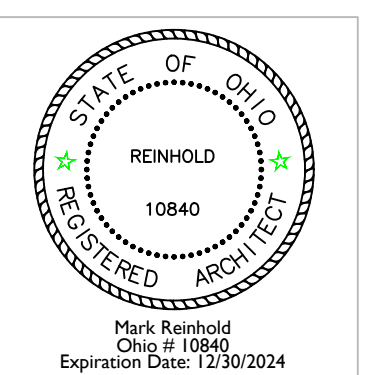


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

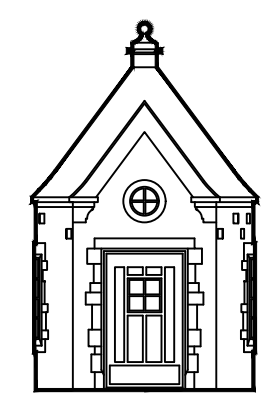
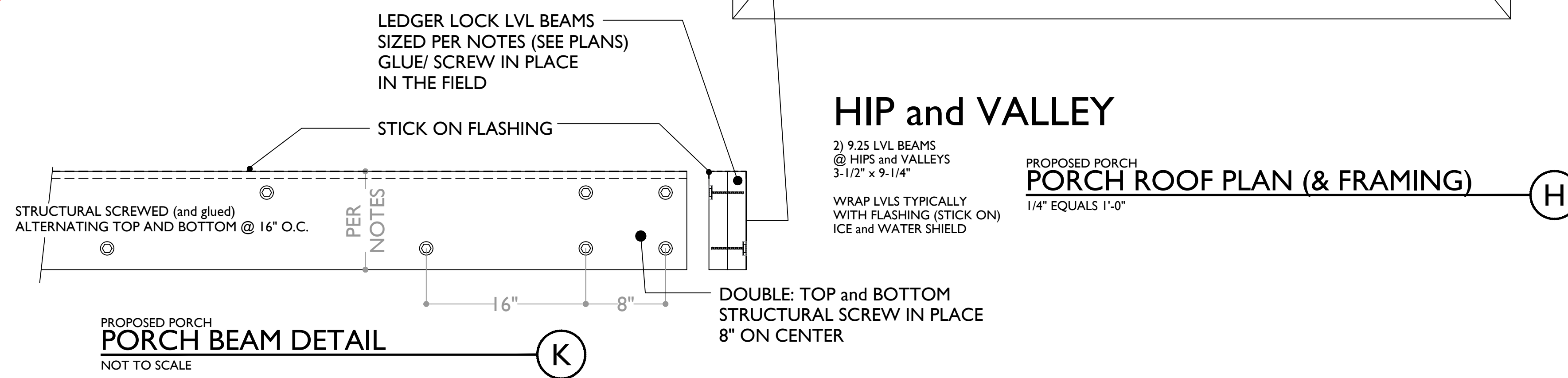
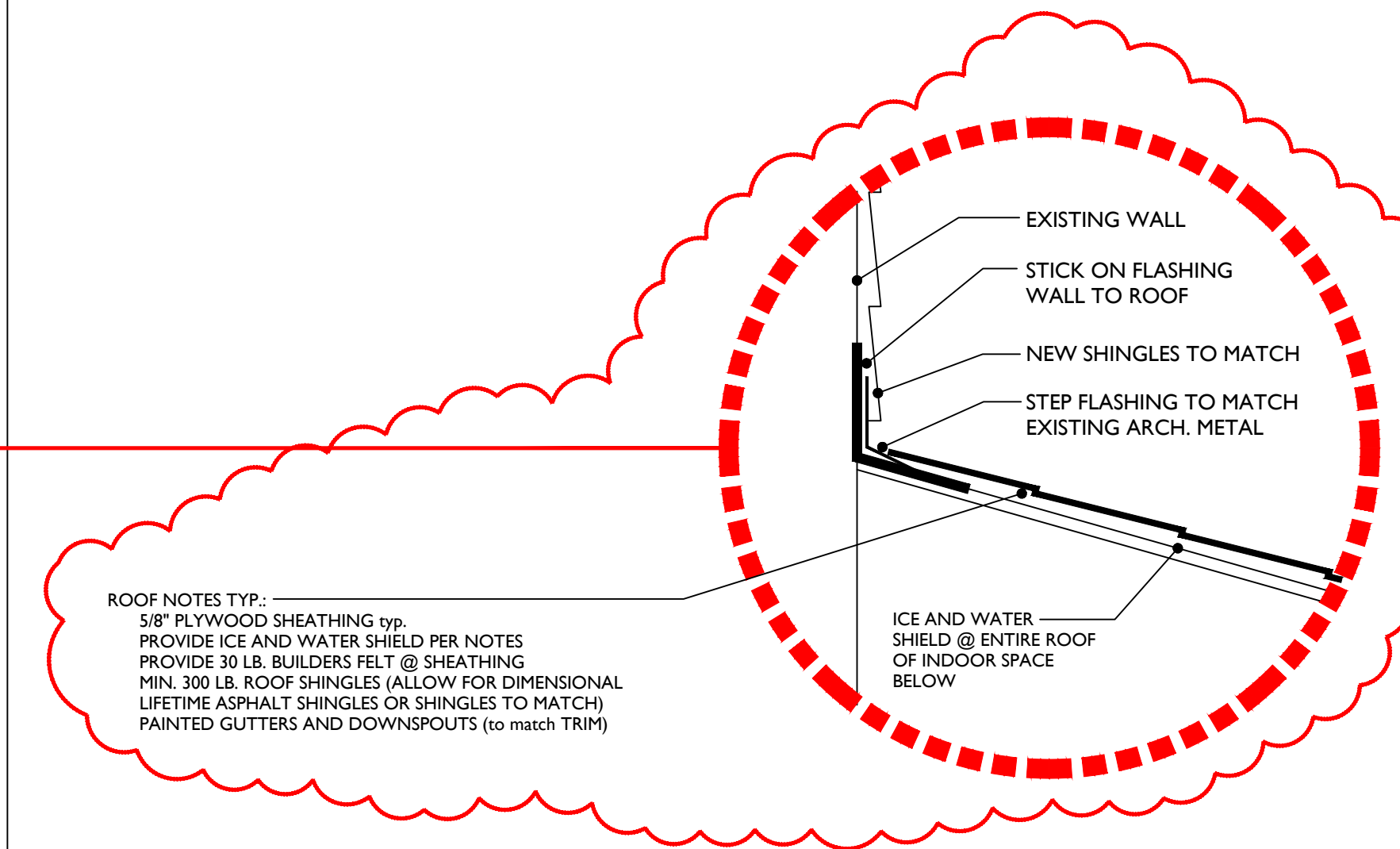
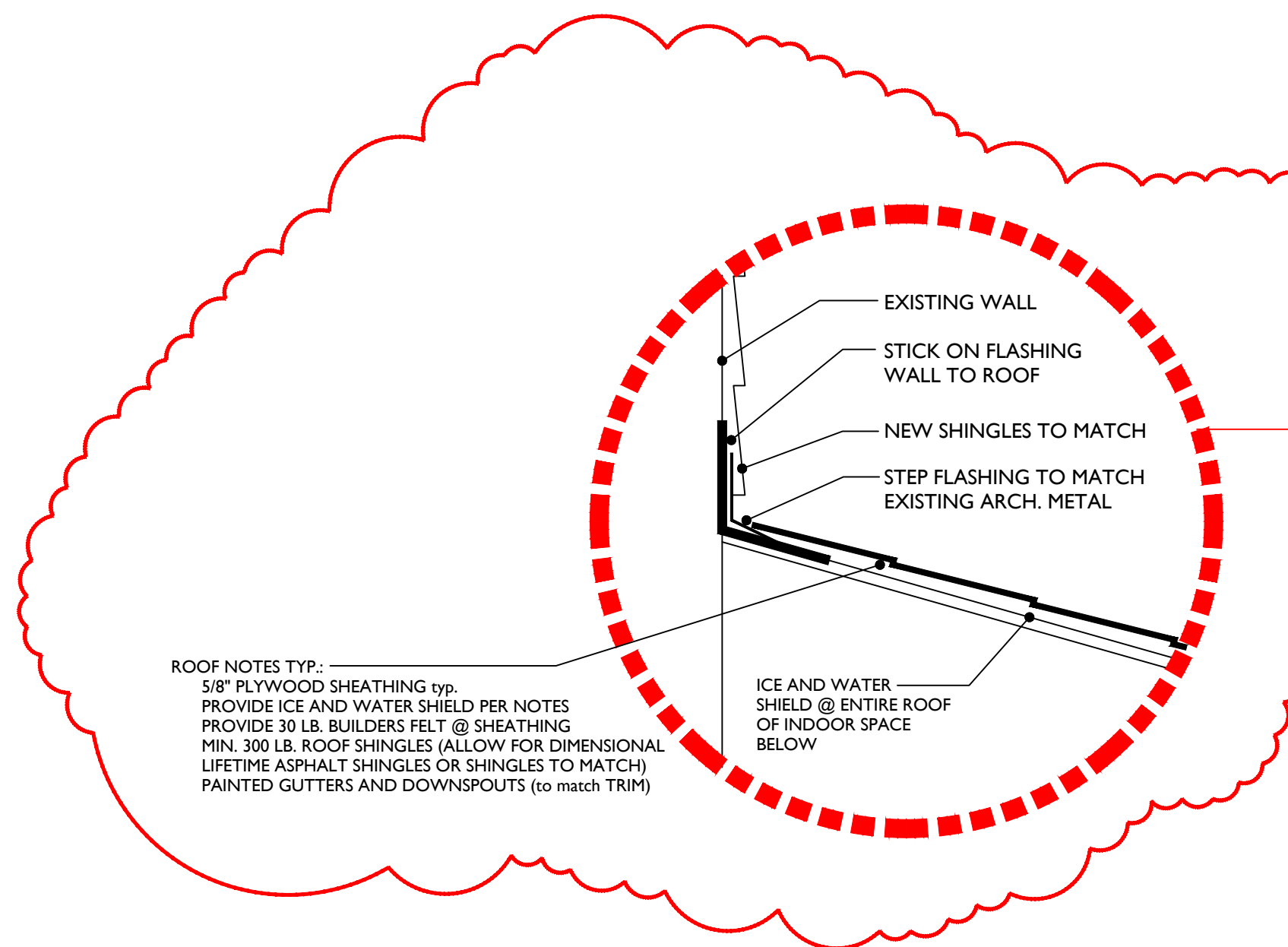
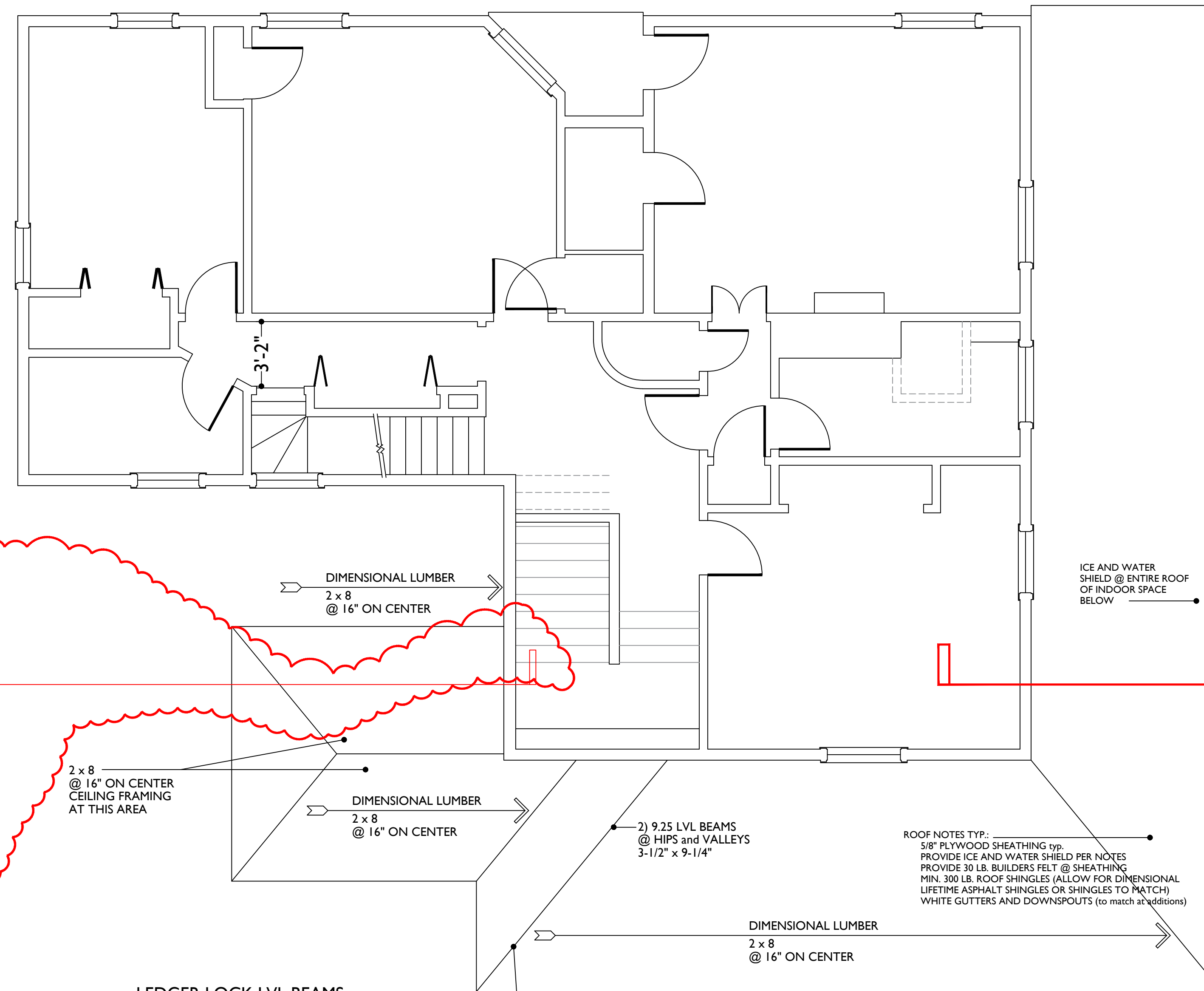
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
04/29/2024  
6-20-2024  
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17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PORCH DRAWINGS A-3

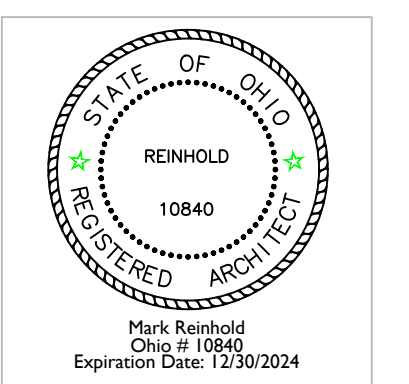


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY  
 04/29/2024  
 5-20-2024  
 PERMIT



PORCH DRAWINGS A-4

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

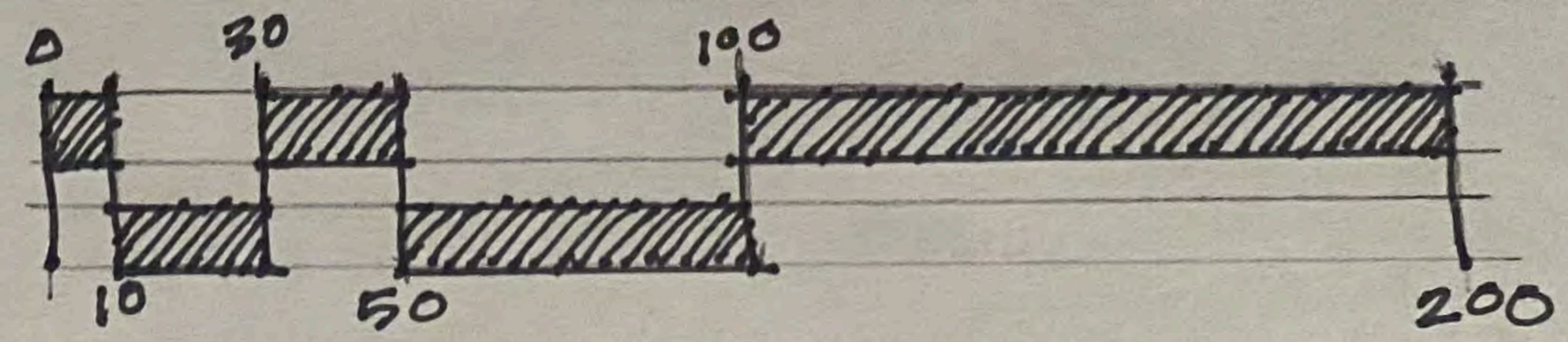
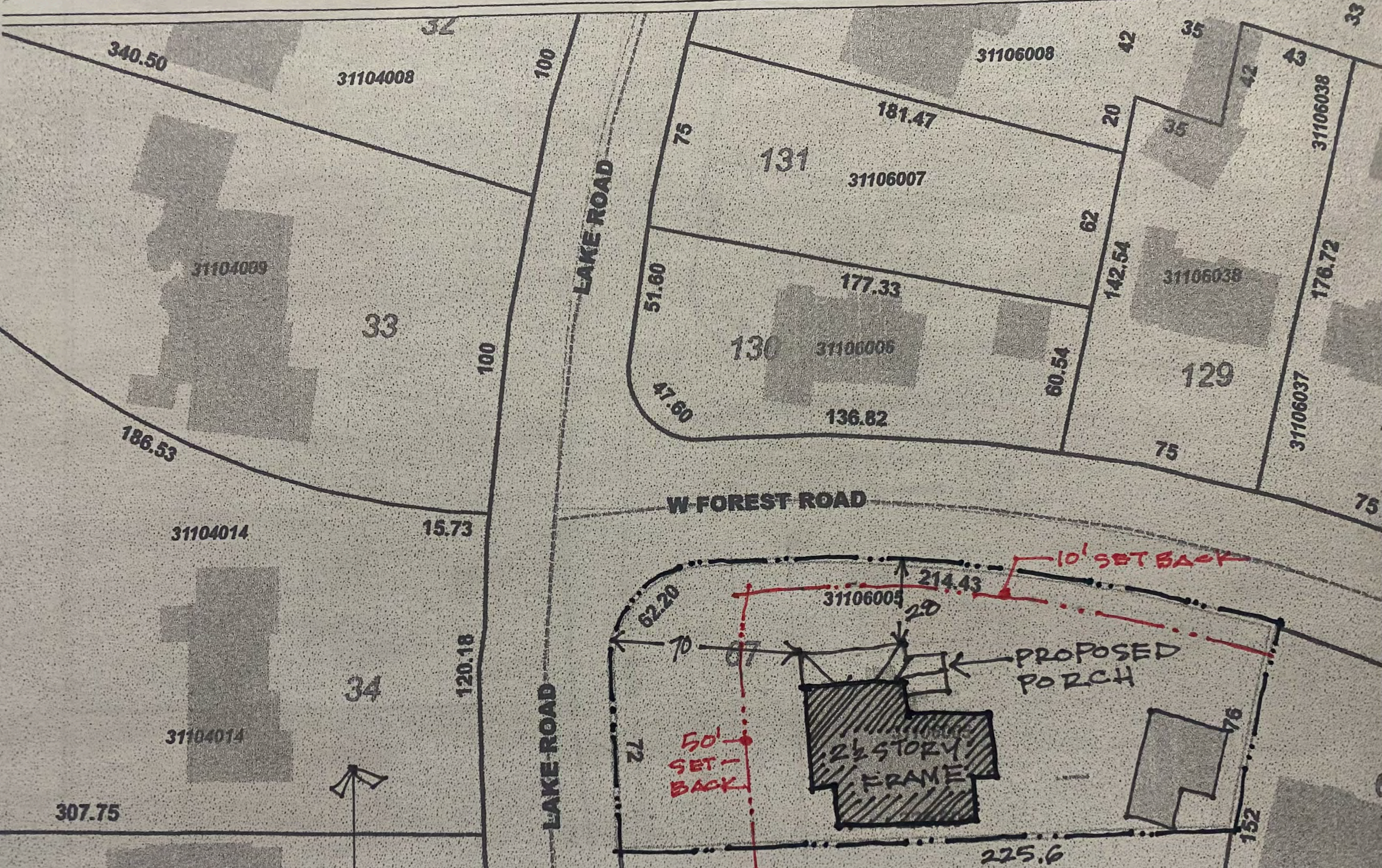


17879











**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-60-24**

**Permit No.: BBS24-000067**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 16918 Detroit Ave.**

**Project Name: Wine Dive**

**Project: Applicant proposes blade sign and window graphics for new business.**



Building as is now

**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriedesign.com

<b>WINE DIVE</b>			
<b>ADDRESS:</b> 16918 DETROIT		<b>SALESPERSON/ DESIGNER:</b> _____	
<b>REVISION HISTORY:</b> DATE: _____		<b>CHANGES MADE:</b> _____	
		<b>CLIENT SIGNATURE OF APPROVAL</b> _____	
		<b>DATE:</b> _____	

14 X 60



Option 1 Option 2  
\$85 ea

42" Scroll Bracket \$139

Sign Face  
2 sides 33" X 22"  
\$300 flat or  
\$500 w/ raised text

\*installation with total



Side wall sign face 24" x 36"  
print on Maxx metal \$184



Side Window Tint 3 x5 est \$125 ea



10" x 12" Cut vinyl graphic window sticker  
\$16

PLEASE USE  
MAIN  
ENTRANCE



Total \$1400  
+ tax install  
and permits

**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

CLIENT:

WINE DIVE

JOB #:

DATE:

ADDRESS:

16918 DETROIT

SALESPERSON/ DESIGNER:

DATE:

REVISION HISTORY:

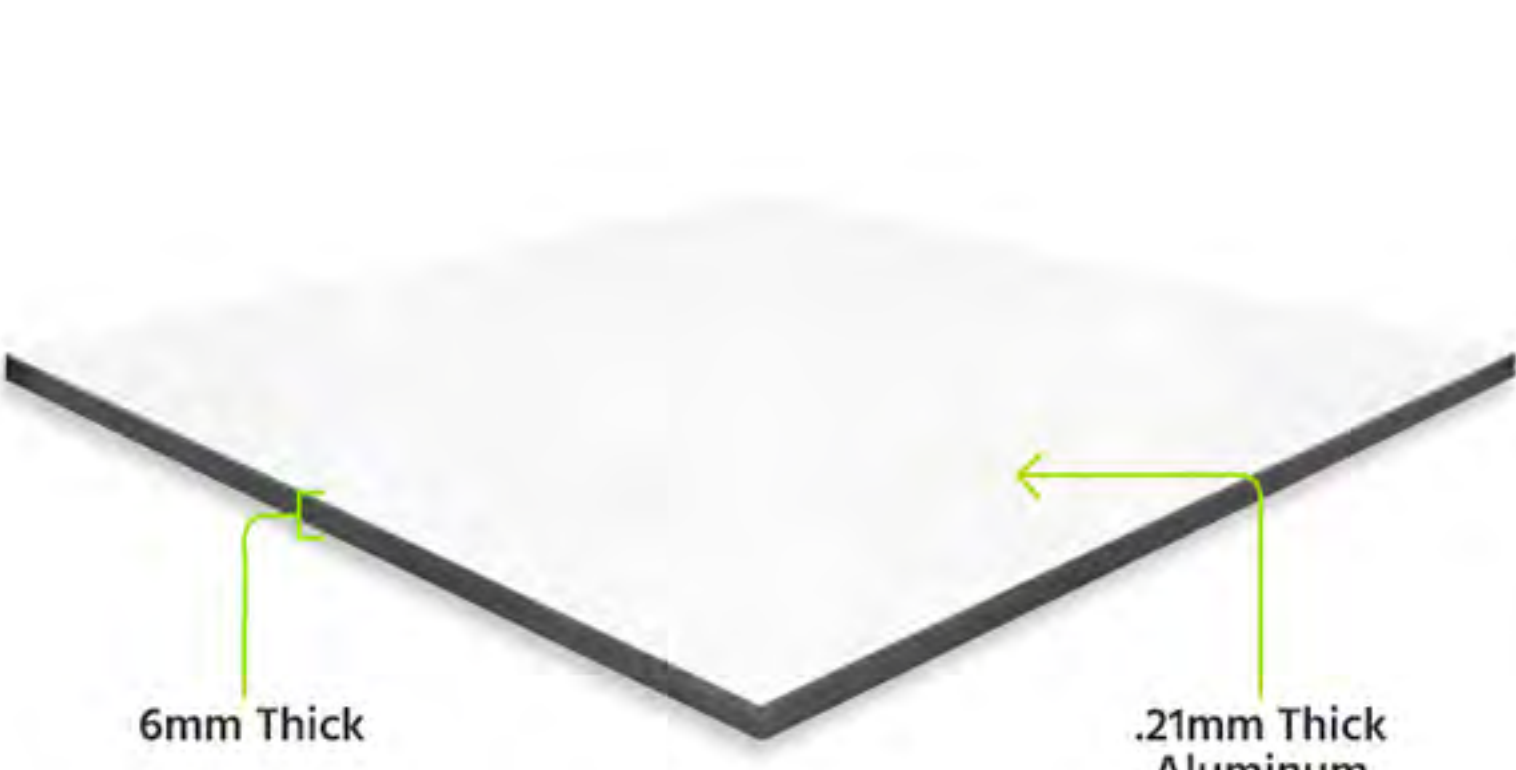
DATE:

31127028

CHANGES MADE:

CLIENT SIGNATURE OF APPROVAL

DATE:



6mm Thick

.21mm Thick  
Aluminum



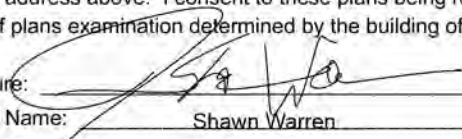
MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)[www.lakewoodoh.gov](http://www.lakewoodoh.gov)DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

<b>Project Location [OBC 107.2-2]:</b>	<b>Applicant Information [OBC 107.2-5]</b> (Building Owner or Representative)
Street Address: <u>16918 DETROIT 31127028</u>	Name: <u>DAN DEGAN</u>
Floor Number: _____ Suite: _____	Business Name: <u>WINE DIVE</u>
Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Mailing Address: <u>17112 DETROIT</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3])	City/State/Zip Code: <u>LAKEWOOD, OH 44107</u>
<b>Project Type (check all that apply):</b>	Phone Number: <u>440-470-8495</u>
<input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair	For Best Service Provide Email Address: <u>Degan33@yahoo.com</u>
<input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<b>Registered Design Professional [OBC 106.2.1]</b>
<b>Project Scope (check all that apply):</b>	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer
<input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC)	<input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA
<input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below)	Name: <u>Shawn Warren</u>
<input type="checkbox"/> Site Work over 8,000 sq. ft.	Firm or Business: <u>Erie design</u>
<b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.):	Certificate or Registration Number: <u>on file</u>
<u>RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN</u>	Mailing Address: <u>16504 detroit Ave</u>
<b>Occupancy class [OBC Chapter 3]:</b> _____	City/State/Zip Code: <u>Lakewood Oh 44107</u>
<b>If Mixed Use [OBC 508.1] check one:</b>	Contact Name: <u>Shawn Warren</u>
<input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	Contact Phone: <u>216-227-0043</u>
<b>Construction Type [OBC Chapter 6]:</b> _____	For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
Total Project Work Area: <u>16 total</u> Sq. Ft.	<b>Certification [OBC 107.2.5]</b>
Total cost of construction (valuation): \$ <u>\$850</u>	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
<b>Describe the project:</b>	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
<u>BLADE SIGN 36" dia. Text 4" 18.5" DOOR sticker</u>	Signature: 
<u>1/8" max metal with .6mm pvc \$548 sided \$20</u>	Printed Name: <u>Shawn Warren</u>
<u>remove old bar - repair install \$275 SQ. FT. 1.8</u>	Date of Application: <u>3-21-24</u>
<u>SQ. FT. 14.2</u>	<b>For Building Department Use</b>
<b>Fire Protection Systems [OBC 106.1.1.1]</b> (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	Case Number: _____
Building Sprinkler System _____ Limited Area Sprinkler System _____	Date Received: _____
In-Rack Sprinkler System _____ Demand at Riser Base _____ psi	Received By: _____
Kitchen Hood Suppression _____ Fire Alarm System _____	Other Approvals Required (prior to permit issuance):
Fire Detection System _____ Smoke Detection System _____	Fire Marshal: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<b>Required Construction Documents [OBC Section 106]</b>	Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
3 sets required for Building Department plus	ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
1 set for Fire Department Review (if applicable)	Plan Review Fees
1 (Civil) set for Engineering Review (if applicable)	Outside Plans Examiner: \$ _____
Date on Plans: <u>2-21-24</u>	Stormwater Review: \$ _____



Case #:

**City of Lakewood Division of Housing and Building**  
 12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
 Building.permits@lakewoodoh.net

## Building Permit Application

**PROJECT ADDRESS:** 16918 DETROIT Suite/Unit #  
 or **PERMANENT PARCEL NUMBER:** 31127028

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical \*(complete reverse side)

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number:

**SCOPE OF PERMIT** (Check all that apply):

New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): Sign

\***VALUATION:** (cost of the work) \$

**PROJECT SIZE:** (in square feet)

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)	DRAIN	NO DRAIN
BLADE SIGN 36" X 22	18.5" DOOR sticker 5	SQ. FT. 6
1/4" max metal with PRINT \$548 sided	\$20	
install \$275	pole signs 2) 14" x 15"	12 sq.
SQ. FT. 12	Side sign 24" x 36"	6 sq ft

**PROPERTY OWNER NAME:** DAN DEGAN Phone: 440-470-8495

Business Name (if applicable) WINE DIVE Email: Degan33@yahoo.com

Mailing Address: 17112 DETROIT City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
 SIGNATURE OF CONTRACTOR / OWNER

3-18-24  
 DATE

Anticipated Completion Date: 4-21-24



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 07-61-24**

**Permit No.: BBS24-000068**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 15516 Madison Ave.**

**Project Name: Carol Lynn's Salon**

**Project: Applicant proposes revised signage in band sign and window graphics.**

Re-face of existing signs  
 LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE  
 TRIM PAINTED TO MATCH  
 2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2



22"

174"



As Is Now

SIDE



CLIENT: Carol Lynn's Salon Plus  
 ADDRESS: 15516 Madison Ave  
 Lakewood, OH 44107

JOB #:   
 DATE:   
 SALESPERSON/ DESIGNER:   
 DATE:

REVISION HISTORY:   
 DATE:   
 CHANGES MADE:   
 CLIENT SIGNATURE OF APPROVAL   
 DATE:

# Re-face of existing signs

LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE

TRIM PAINTED TO MATCH

2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2



SIDE



**CLIENT:**  
Carol Lynn's Salon Plus

**ADDRESS:**  
15516 Madison Ave  
Lakewood, OH 44107

**JOB #:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**SALESPERSON/ DESIGNER:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**REVISION HISTORY:**

DATE:	CHANGES MADE:

**CLIENT SIGNATURE OF APPROVAL** \_\_\_\_\_ **DATE:** \_\_\_\_\_

# MAXX METAL



3mm Thick  
PVC

.21mm Thick  
Aluminum



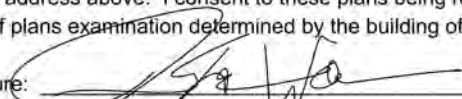
MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)[www.lakewoodoh.gov](http://www.lakewoodoh.gov)DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

<b>Project Location [OBC 107.2-2]:</b>	<b>Applicant Information [OBC 107.2-5]</b> (Building Owner or Representative)
Street Address: <u>15516 Madison Ave</u> <u>31403034</u>	Name: <u>CAROL BERRET</u>
Floor Number: _____ Suite: _____	Business Name: <u>Carol Lynn's Salon Plus</u>
Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Mailing Address: <u>15516 Madison Ave</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3])	City/State/Zip Code: <u>LAKEWOOD, OH 44107</u>
<b>Project Type (check all that apply):</b>	Phone Number: <u>(216) 226-4730</u>
<input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair	For Best Service Provide Email Address: _____
<input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<b>Registered Design Professional [OBC 106.2.1]</b>
<b>Project Scope (check all that apply):</b>	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer
<input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC)	<input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA
<input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below)	Name: <u>Shawn Warren</u>
<input type="checkbox"/> Site Work over 8,000 sq. ft.	Firm or Business: <u>Erie design</u>
<b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.):	Certificate or Registration Number: <u>on file</u>
<u>RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN</u>	Mailing Address: <u>16504 detroit Ave</u>
<b>Occupancy class [OBC Chapter 3]:</b> _____	City/State/Zip Code: <u>Lakewood Oh 44107</u>
<b>If Mixed Use [OBC 508.1] check one:</b>	Contact Name: <u>Shawn Warren</u>
<input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	Contact Phone: <u>216-227-0043</u>
<b>Construction Type [OBC Chapter 6]:</b> _____	For Best Service Provide Email Address: _____
Total Project Work Area: <u>53.2</u> Sq. Ft.	<u>eriedesign@ameritech.net</u>
Total cost of construction (valuation): \$ <u>\$1100</u>	<b>Certification [OBC 107.2.5]</b>
<b>Describe the project:</b>	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
<u>LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE</u>	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
<u>TRIM PAINTED TO MATCH</u>	Signature: 
<u>2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2 total 53.2</u>	Printed Name: <u>Shawn Warren</u>
<b>Fire Protection Systems [OBC 106.1.1.1]</b>	Date of Application: <u>3-21-24</u>
(Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	<b>For Building Department Use</b>
Building Sprinkler System _____ Limited Area Sprinkler System _____	Case Number: _____
In-Rack Sprinkler System _____ Demand at Riser Base _____ psi	Date Received: _____
Kitchen Hood Suppression _____ Fire Alarm System _____	Received By: _____
Fire Detection System _____ Smoke Detection System _____	Other Approvals Required (prior to permit issuance):
<b>Required Construction Documents [OBC Section 106]</b>	Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
3 sets required for Building Department plus	Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
1 set for Fire Department Review (if applicable)	ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
1 (Civil) set for Engineering Review (if applicable)	Plan Review Fees
Date on Plans: <u>2-21-24</u>	Outside Plans Examiner: \$ _____
	Stormwater Review: \$ _____

Case #: \_\_\_\_\_



**City of Lakewood Division of Housing and Building**  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
[Building.permits@lakewoodoh.net](http://Building.permits@lakewoodoh.net)

### Building Permit Application

**PROJECT ADDRESS:** 15516 Madison Ave Suite/Unit #

or **PERMANENT PARCEL NUMBER:** 31403034

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)**

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number: \_\_\_\_\_

**SCOPE OF PERMIT (Check all that apply):**  
 New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): Sign

**\*VALUATION: (cost of the work) \$** \_\_\_\_\_ **PROJECT SIZE: (in square feet)** \_\_\_\_\_

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) \_\_\_\_\_ DRAIN \_\_\_\_\_ NO DRAIN \_\_\_\_\_**  
**LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE**  
**TRIM PAINTED TO MATCH**  
**2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2 total 53.2**

**PROPERTY OWNER NAME:** CAROL BERRET Phone: (216) 226-4730

Business Name (if applicable) Carol Lynn's Salon Plus Email: carol.lynnns@yahoo.com

Mailing Address: 15516 Madison Ave City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
**SIGNATURE OF CONTRACTOR / OWNER**

3-18-24  
**DATE**

Anticipated Completion Date: 4-21-24



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 07-62-24**

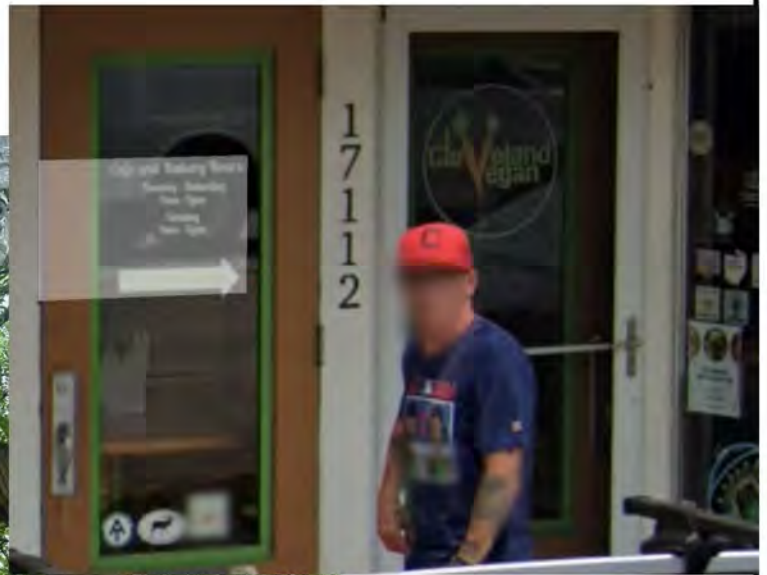
**Permit No.: BBS24-000069**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 17112 Detroit Ave.**

**Project Name: Cleveland Vegan**

**Project: Applicant proposes refacing of an existing blade sign and new window graphics.**



SIGN AND  
DOOR  
AS IS NOW

**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

**CLIENT:**  
CLEVELAND VEGAN

**ADDRESS:**  
17112 DETROIT

**JOB #:**

**DATE:**

**SALESPERSON/ DESIGNER:**

**DATE:**

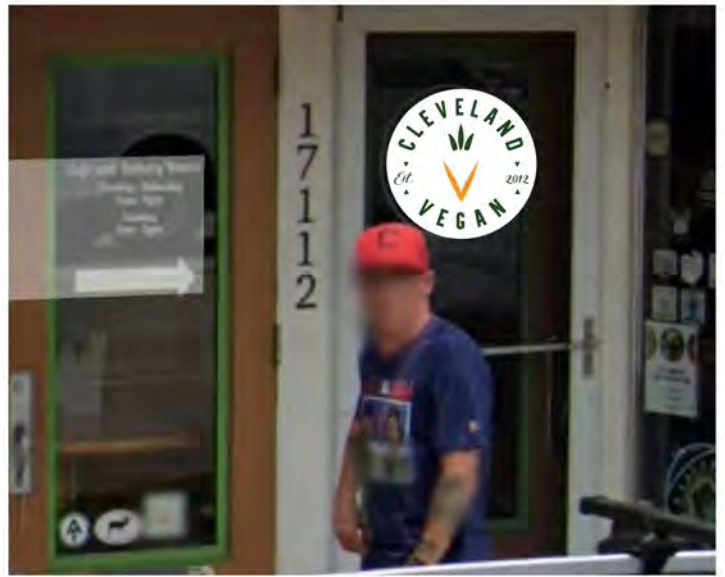
**REVISION HISTORY:**

**DATE:**

**CHANGES MADE:**

**CLIENT SIGNATURE OF APPROVAL**

**DATE:**



18.5" door sticker \$20

36" dia. Text 4"



1/8" DIBOND FACES with .6mm pvc \$548 sided  
 Remove existing sign bar -  
 Replace faces and  
 Re-install \$275

**\*Re face existing signage**

\*City Permits are not included

**31127026**

**Total \$1103 + tax**

**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriedesign.com

<b>CLIENT:</b> CLEVELAND VEGAN		<b>JOB #:</b>		<b>DATE:</b>	
<b>ADDRESS:</b> 17112 DETROIT		<b>SALESPERSON/ DESIGNER:</b>		<b>DATE:</b>	
<b>REVISION HISTORY:</b> DATE:		<b>CHANGES MADE:</b>			
				<b>CLIENT SIGNATURE OF APPROVAL</b>	
				<b>DATE:</b>	

ABC

The image features three-dimensional, white, block letters 'A', 'B', and 'C' arranged in a row on a light gray surface. The letter 'A' is on the left, 'B' is in the middle, and 'C' is on the right. Each letter has a consistent thickness and is rendered with soft shadows on the surface below it, giving them a realistic, three-dimensional appearance. The background is a uniform, light gray color.



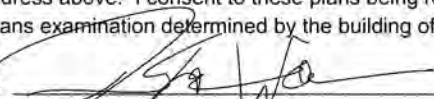
MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)[www.lakewoodoh.gov](http://www.lakewoodoh.gov)DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

Project Location [OBC 107.2-2]:	Applicant Information [OBC 107.2-5] (Building Owner or Representative)
Street Address: <u>17112 DETROIT</u> <u>31127026</u> Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Name: <u>JUSTIN GORDKI</u> Business Name: <u>CLEVELAND VEGAN</u> Mailing Address: <u>17112 DETROIT</u> City/State/Zip Code: <u>LAKEWOOD, OH 44107</u> Phone Number: <u>216-288-2443</u> For Best Service Provide Email Address: <u>gorskiheyknow@gmail.com</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3])	<b>Registered Design Professional [OBC 106.2.1]</b>
<b>Project Type (check all that apply):</b> <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA
<b>Project Scope (check all that apply):</b> <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft.	Name: <u>Shawn Warren</u> Firm or Business: <u>Erie design</u> Certificate or Registration Number: <u>on file</u>
<b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.): <u>RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN</u>	Mailing Address: <u>16504 detroit Ave</u> City/State/Zip Code: <u>Lakewood Oh 44107</u> Contact Name: <u>Shawn Warren</u> Contact Phone: <u>216-227-0043</u> For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
<b>Occupancy class</b> [OBC Chapter 3]: _____ <b>If Mixed Use</b> [OBC 508.1] check one: <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	<b>Certification [OBC 107.2.5]</b>
<b>Construction Type</b> [OBC Chapter 6]: _____	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
<b>Total Project Work Area:</b> <u>16 total</u> Sq. Ft.	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
<b>Total cost of construction (valuation):</b> \$ <u>\$850</u>	Signature:  Printed Name: <u>Shawn Warren</u> Date of Application: <u>3-21-24</u>
<b>Describe the project:</b> <u>BLADE SIGN 36" dia. Text 4" 18.5" DOOR sticker</u> <u>1/8" max metal with .6mm pvc \$548 sided \$20</u> <u>remove old bar - repair install \$275 SQ. FT. 1.8</u> <u>SQ. FT. 14.2</u>	<b>For Building Department Use</b>
<b>Fire Protection Systems [OBC 106.1.1.1]</b> (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	Case Number: _____ Date Received: _____ Received By: _____
Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System _____ Smoke Detection System _____	Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<b>Required Construction Documents [OBC Section 106]</b> 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) <b>Date on Plans:</b> <u>2-21-24</u>	Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____

Case #: \_\_\_\_\_



**City of Lakewood Division of Housing and Building**  
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[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

### Building Permit Application

**PROJECT ADDRESS:** 17112 DETROIT Suite/Unit # \_\_\_\_\_

**or PERMANENT PARCEL NUMBER:** 31127026

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\* (complete reverse side)**

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number: \_\_\_\_\_

**SCOPE OF PERMIT (Check all that apply):**  
 New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): Sign

**\*VALUATION: (cost of the work) \$** \_\_\_\_\_ **PROJECT SIZE: (in square feet)** \_\_\_\_\_

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)	DRAIN	NO DRAIN
BLADE SIGN 36" dia. Text 4"	18.5"	DOOR sticker
1/8" max metal with .6mm pvc \$548 sided		\$20
remove old bar - repair install \$275	SQ. FT. 1.8	
SQ. FT. 14.2		

**PROPERTY OWNER NAME:** JUSTIN GORDKI Phone: 216-288-2443

Business Name (if applicable) CLEVELAND VEGAN Email: gorskiheynew@gmail.com

Mailing Address: 17112 DETROIT City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

**SIGNATURE OF CONTRACTOR / OWNER**

3-18-24  
**DATE**

Anticipated Completion Date: 4-21-24



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 07-63-24**

**Permit No.: BBS24-000076**

**Applicant Name: Monica Fletcher, Brady Signs Company**

**Project Address: 16400 Detroit Ave.**

**Project Name: Body Fit Training**

**Project: Applicant proposes installation of an internally lit 13 ft., six in. high freestanding blade sign.**



OWNER/LESSEE CONSENT FOR SIGN INSTALLATION & PERMITS

Business Name The Trinity Project (Landlord)  
216-226-5251\_frank@scalishconstruction.com\_

Job Site Address 16400 Detroit Ave Unit 200 (Tenant)  
\_\_\_\_\_


Date: 6/21/2024

Customer Name: Wade Miguelon  
Phone Number: 917-750-2645  
Email Address: wademigueb@gmail.com

Relating to the above reference job and as of this date, I acknowledge that Brady Signs has my authorization to:

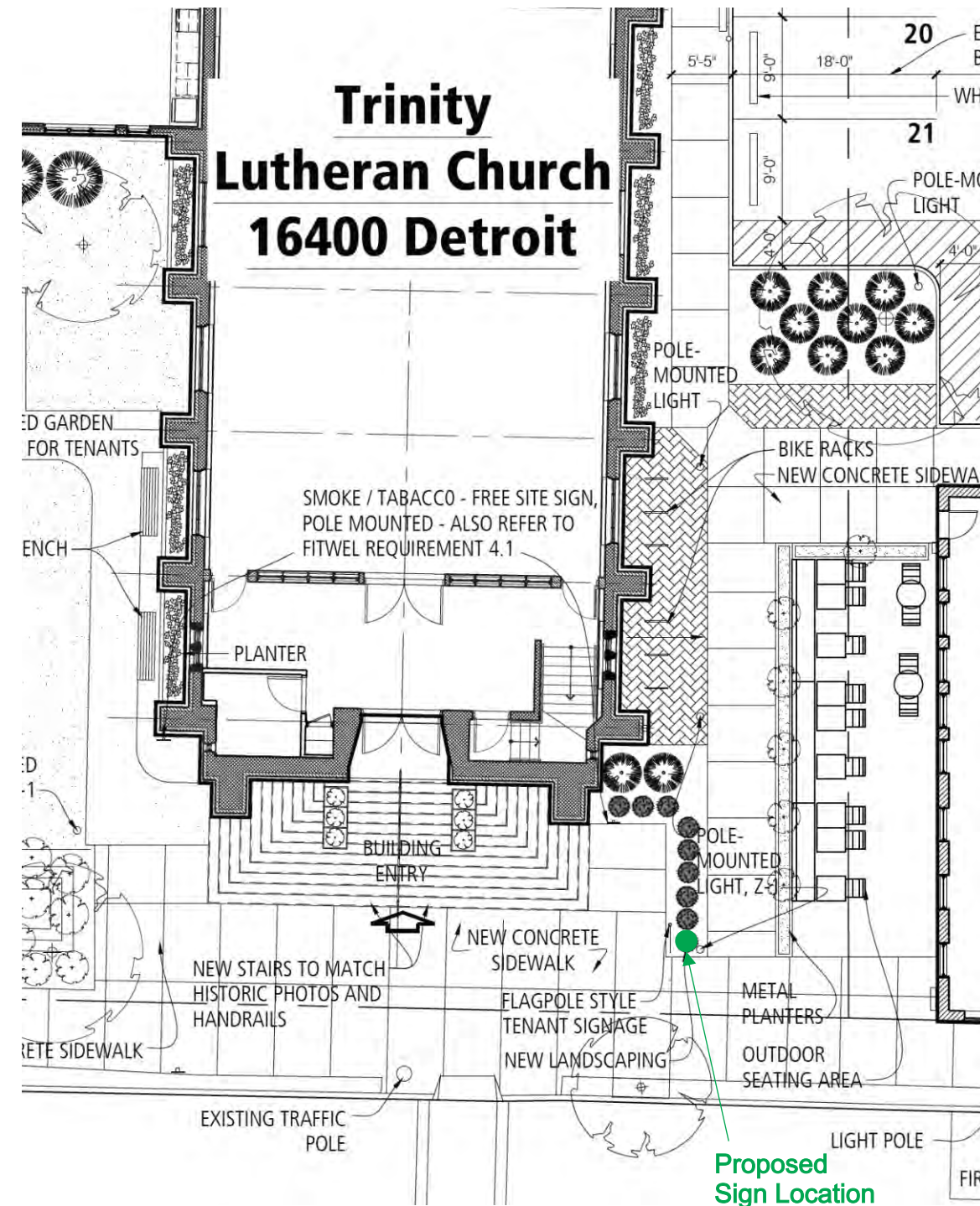
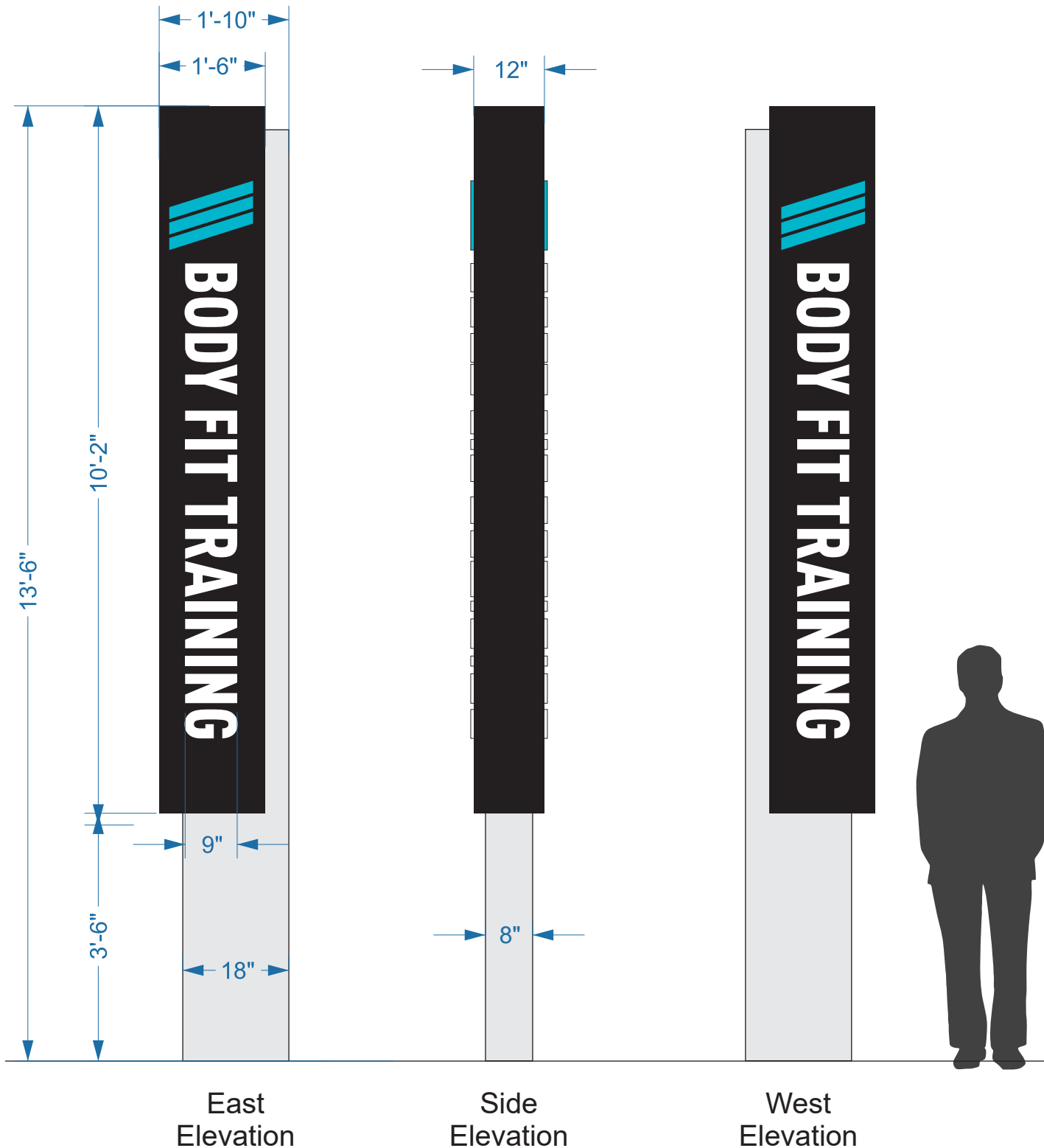
- Complete sign installation
- Apply for and receive permits on behalf of my business
- Other \_\_\_\_\_

Production of new signage will not commence until full permit approval is granted at which time the estimated lead time for project completion noted on the estimate will begin.

  
\_\_\_\_\_  
Customer Signature (LL)  
(LL)

Frank Scalish  
\_\_\_\_\_  
Customer Name (printed)(LL)

# FREESTANDING BLADE SIGN



<b>SIGN TYPE</b>	Freestanding Blade Sign
<b>SCALE:</b>	1/2" = 1'-0"
<b>NOTES:</b>	<ul style="list-style-type: none"> <li>Matthews Brushed Aluminum Paint</li> <li>BFT Teal</li> <li>BFT Black</li> </ul>

**DATE**  
5/7/24

**FILENAME**  
Dwg74080A

**CUSTOMER / ADDRESS**  
Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL**

Sign \_\_\_\_\_

Print \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_



ORIGINAL ARTWORK, DESIGNS & LAYOUTS ARE THE SOLE PROPERTY OF BRADY SIGNS AND MAY NOT BE REPRODUCED, DISPLAYED, TRANSMITTED TO ANYONE, IN FULL OR IN PART WITHOUT THE WRITTEN CONSENT OF BRADY SIGNS.

**RECEIVED**  
By Kelly McCafferty at 8:18 am, Jun 20, 2024

S24-000032

**Scope of Work - Freestanding Blade Sign**

Brady Signs to design, manufacture and install (1) internally lit freestanding blade sign. Main cabinet to feature routed aluminum faces with 3/4" acrylic push-thrus to achieve 1/2" protrusion past the face. Brushed aluminum pole skirt is aluminum sheet painted metallic silver. Build is illuminated with white LEDs and is setup for a single pole saddle mount install.

1721 Hancock Street  
Sandusky, OH 44870  
419-626-5112  
www.bradysigns.com

# SITE PLAN

## SIGN TYPE

Freestanding Blade Sign

## SCALE:

## NOTES:

## DATE

5/7/24

## FILENAME

Dwg74080A

## CUSTOMER / ADDRESS

Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

## CLIENT APPROVAL

Sign \_\_\_\_\_

Print \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

Proud Member Of:

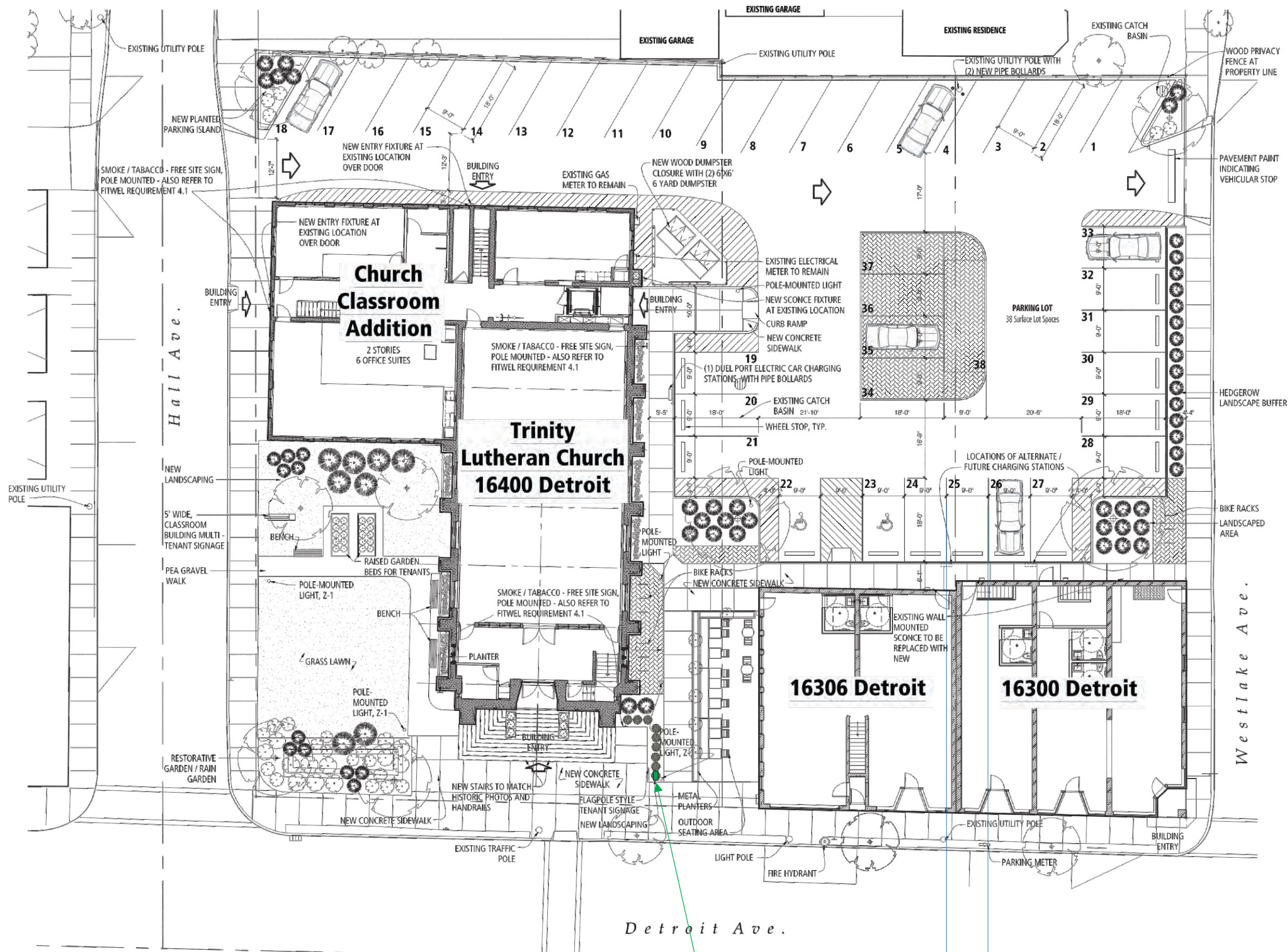


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# BRADY SIGNS

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Sandusky, OH 44870  
419-626-5112  
www.bradysigns.com

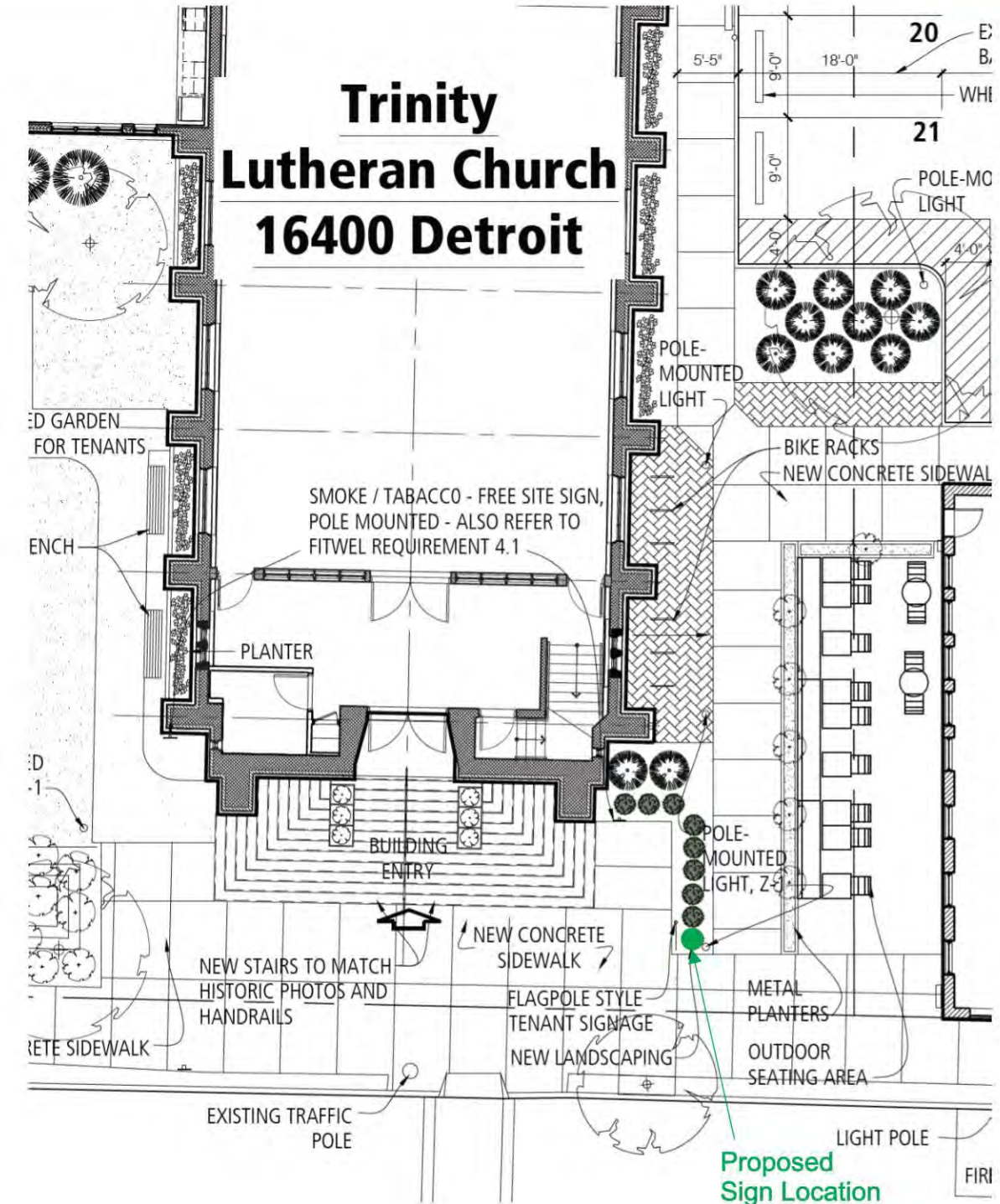
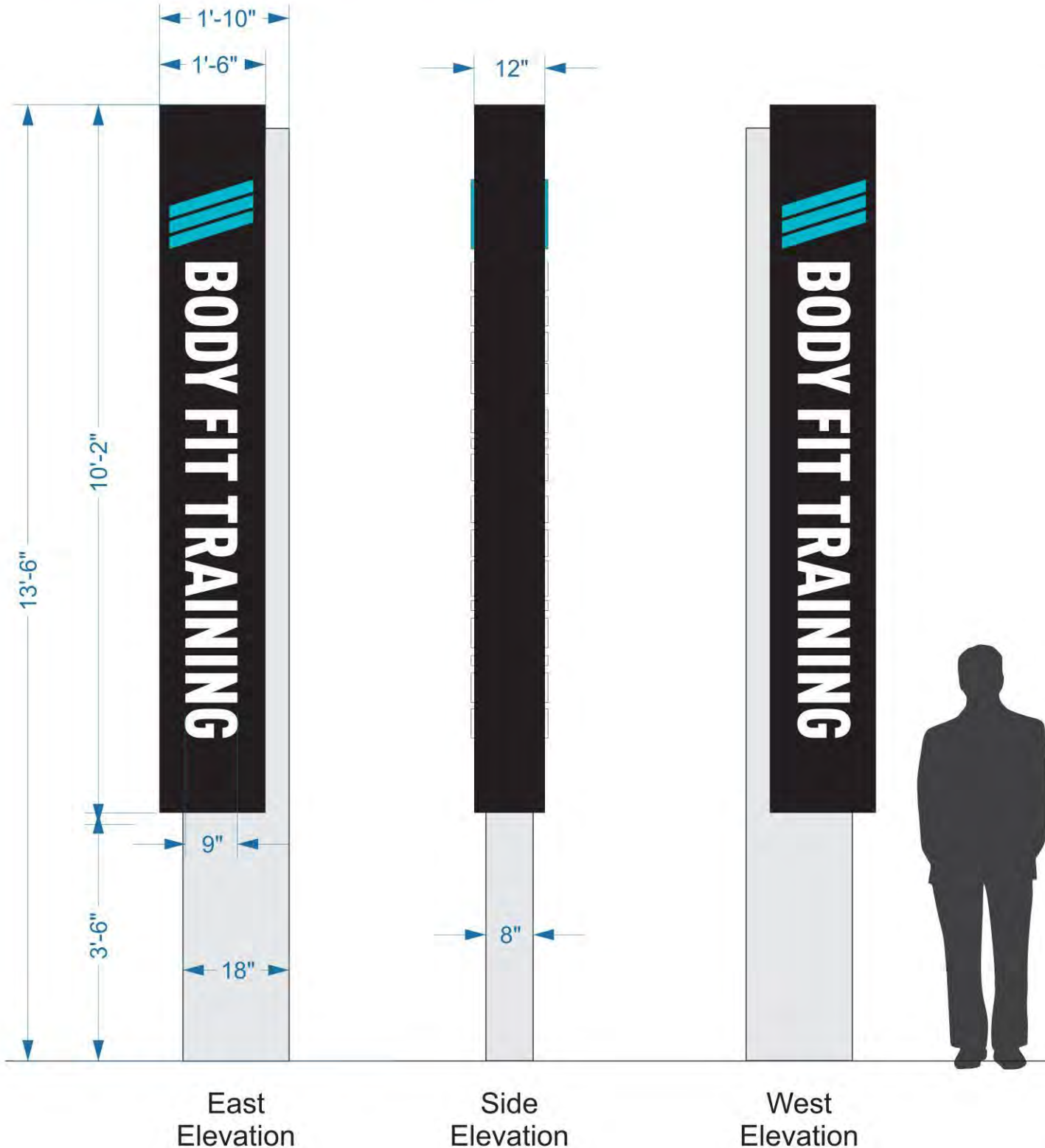


1 SITE PLAN  
AS-01

Proposed Sign Location  
Setback 5' from ROW

9.57'

# FREESTANDING BLADE SIGN



**SIGN TYPE**  
Freestanding Blade Sign

**SCALE:**  
1/2" = 1'-0"

**NOTES:**

- Matthews Brushed Aluminum Paint
- BFT Teal
- BFT Black

**DATE**  
5/7/24

**FILENAME**  
Dwg74080A

**CUSTOMER / ADDRESS**  
Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL**

Sign \_\_\_\_\_  
Print \_\_\_\_\_  
Title \_\_\_\_\_  
Date \_\_\_\_\_

Proud Member Of:

ORIGINAL ARTWORK, DESIGNS & LAYOUTS ARE THE SOLE PROPERTY OF BRADY SIGNS AND MAY NOT BE REPRODUCED, DISPLAYED, TRANSMITTED TO ANYONE, IN FULL OR IN PART WITHOUT THE WRITTEN CONSENT OF BRADY SIGNS.

**BRADY SIGNS**  
1721 Hancock Street  
Sandusky, OH 44870  
419-626-5112  
www.bradysigns.com

City of Lakewood  
Approved Plans  
S24-000032  
Christopher Parmelee  
06/21/2024

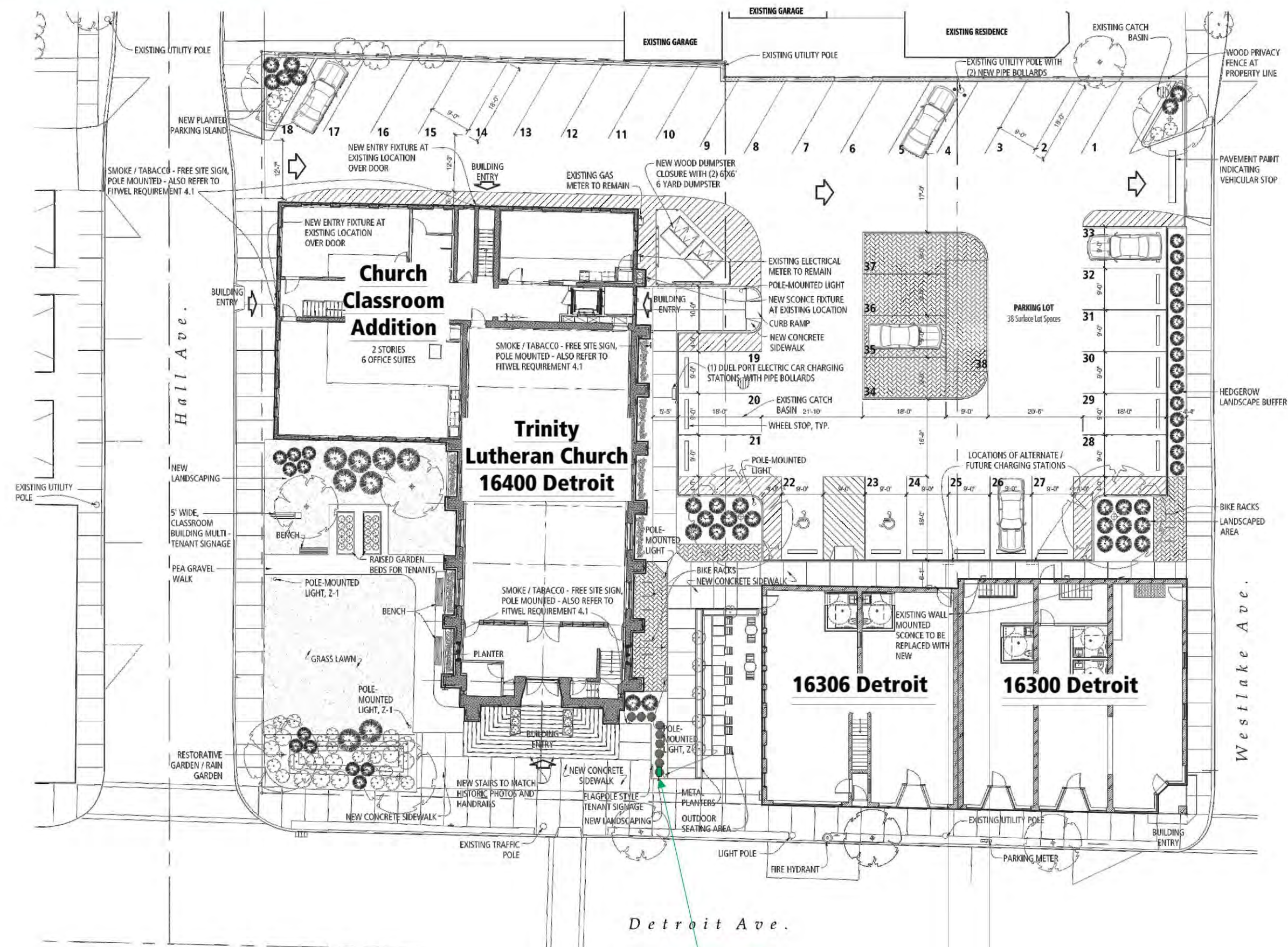
**RECEIVED**  
By Kelly McCafferty at 8:18 am, Jun 20, 2024

S24-000032

**Scope of Work - Freestanding Blade Sign**

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# SITE PLAN



1 SITE PLAN  
AS-01

Proposed Sign Location  
Setback 5' from ROW

9.57"

**SIGN TYPE**  
Freestanding Blade Sign

**SCALE:**

**NOTES:**

**DATE**  
5/7/24

**FILENAME**  
Dwg74080A

**CUSTOMER / ADDRESS**  
Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL**

Sign \_\_\_\_\_

Print \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

Proud Member Of:

W&A WORLD SIGN ASSOCIATES    ISA INTERNATIONAL SIGN ASSOCIATION    MSA MASTER SIGN CONTRACTORS ASSOCIATION

ORIGINAL ARTWORK, DESIGNS & LAYOUTS ARE THE SOLE PROPERTY OF BRADY SIGNS AND MAY NOT BE REPRODUCED, DISPLAYED, TRANSMITTED TO ANYONE, IN FULL OR IN PART WITHOUT THE WRITTEN CONSENT OF BRADY SIGNS.

**BRADY SIGNS**

1721 Hancock Street  
Sandusky, OH 44870  
419-626-5112  
www.bradysigns.com



# City of Lorain

## Sign Permit Application

APPLICATION MUST BE FILLED OUT COMPLETELY & LEGIBLY

Valuation \$ _____	Payment date: _____
Plan review fee _____	
Permit Fee _____	<input type="checkbox"/> Cash <input type="checkbox"/> CC Card
1% State Fee _____	<input type="checkbox"/> Check# _____
3% State Fee _____	
Technology Fee \$7.00	Permit Number _____
Zoning Fee _____	202 _____
Other Fee _____	Date Permit issued _____
Total Fees \$ _____	

### SECTION I - General Information

Parcel# 311.30.030 (rear)  
 Date 6-19-24 Estimated Total Cost of Project \$ 18,950<sup>00</sup>  
 Address of sign location 16400 Detroit Ave Name of Business Body Fit Training  
 Owner name Trinity Project LLC Phone \_\_\_\_\_ Email \_\_\_\_\_  
 Owner's full address 16300 Detroit Ave - Lakewood, OH 44107  
 Sign Contractor Name Brady Signs Co. Phone 419-626-5112 Email monica@brady  
 Contractor's full address 1721 Hancock St - Sandusky - OH 44870 sigws.com

### APPLICATION REQUIREMENTS:

- Approval from Design Review Board (required if part of Historical District)
- Location and names of abutting street and alleys Westlake Hall
- Underwriter's Laboratories or City of Lorain approval label is required
- Site plan showing actual dimensions of lot - drawing of plans and specifications of sign (2 copies required)
- Location and size of existing or proposed structures
- Wind pressure certification - - 30 pounds per square foot
- Electrical permit & drawing required (if electrical is used)

### SECTION II - Description of Project

Sign Dimensions 22" x 162" Total square footage 24.75  
 The zoning district of the lot and adjacent lots General Commercial  
 The setback dimensions to the part of the sign nearest the front and side property lines \_\_\_\_\_  
 Length of wall where sign will be attached \_\_\_\_\_ The Height of the sign \_\_\_\_\_ Clearance under the sign \_\_\_\_\_  
 Describe mounting technique for sign \_\_\_\_\_

### Type of Sign:

- Directional sign
- Wall-mount sign
- Single-faced sign
- Illuminated Exterior
- Ground sign
- \*Billboard
- Double-faced sign
- Non-Illuminated
- Pole sign
- Projecting sign
- Illuminated Interior
- Other Free standing Blade Sign

\*Billboards: On your site plan, indicate the horizontal distance to the nearest existing billboard within 350 feet, the nearest residential district, the nearest park, playground, public, or semi-public building if the billboard is to be located within 150 feet of said district or building. If any of the aforementioned does not exist within the stated distances, it shall be noted herein.

This application is submitted for a permit to erect, add to, alter or repair a structure as specified in this application and any accompanying drawings. Acceptance of the permit shall constitute an agreement on the part of the applicant or his/her agents to comply with the Building and Zoning Codes of the City of Lorain, or other orders, requirements or specifications stated in the permit. In signing this application, the contractor or owner's agent certifies that the work is authorized by the owner on record and that the installation will comply with the regulations of the City of Lorain Building Codes and State Codes.

Applicant is:  Owner  Contractor  Owner's Agent

Applicant signature Monica L. Blitcher Date 6-19-24  
 Building Official \_\_\_\_\_ Date \_\_\_\_\_  
 Zoning Official \_\_\_\_\_ Date \_\_\_\_\_



DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107 • 216/529-6270 • FAX 216/529-5930  
Website: www.lakewoodoh.gov

CHRISTOPHER S. PARMELEE  
BUILDING COMMISSIONER  
216/529-6295  
  
WILLIAM WAGNER  
ASSISTANT BUILDING COMMISSIONER  
216/529-6284  
  
MARK D. JEWITT  
PROPERTY MAINTENANCE SUPERVISOR  
216/529-6291

## CERTIFICATE OF PLAN APPROVAL APPLICATION NUMBER: S24-000032

**Project Address** 16300 DETROIT AVE  
**Parcel Number** 31130030  
**Project Description** FREESTANDING BLADE SIGN - BRADY SIGNS TO DESIGN, ENGINEER, PERMIT, MANUFACTURE AND INSTALL (1) 13'-6" TALL INTERNALLY LIT FREESTANDING BLADE SIGN. MAIN CABINET TO FEATURE ROUTED ALUMINUM FACES WITH 3/4" ACRYLIC PUSH-THRUS TO ACHIEVE 1/2" PROTRUSION PAST THE FACE. BUILD IS ILLUMINATED WITH WHITE LEDS AND IS SETUP FOR A SINGLE POLE SADDLE MOUNT INSTALL.  
**Use Group**  
**Construction Type**  
**Approval Date** June 21, 2024  
**Drawings Dated** 05/07/2024  
**Submittal Code Cycle** 2024 OBC, 2024 OMC, 2024 OPC, 2023 NEC, 2021 IECC, 2009 & 2017 ICC-A117

### OWNER

TRINITY PROJECT LLC  
13316 MADISON AVE  
LAKEWOOD, OH 44107

### Conditions of Approval

1. *ABR approval is required prior to permit issuance.*

This is to certify that the submitted construction documents are approved in conformance with Section 105 OBC, subject to the conditions specified above.

Christopher Parmelee  
Building Commissioner

City of Lakewood  
12650 Detroit Avenue  
Lakewood, OH 44107-2832  
216.529.6295 (Phone)  
216.529.5930 (Fax)  
Email: Christopher.Parmelee@lakewoodoh.net

This certificate and one set of approved drawings, manufacturers' installation instructions and product information shall be kept at the work site and available for use by inspectors.

If work specified in this plan approval is not commenced within twelve (12) months of the approval date it shall expire. One extension shall be granted for an additional twelve-month period if requested by the owner in writing at least ten days in advance of the expiration of the approval.

If substantive changes to the building are contemplated during construction, those changes must be submitted to the Building Official for review and approval prior to those changes being executed.

**THIS DOCUMENT IS ONLY TO CERTIFY APPROVAL OF THE CONSTRUCTION DOCUMENTS IN CONFORMANCE WITH THE OHIO BUILDING CODE AND IS NOT A PERMIT TO START WORK. PERMITS MUST BE OBTAINED IN CONFORMANCE WITH THE CITY OF LAKEWOOD CODIFIED ORDINANCES.**

**From:** building.permits@lakewoodoh.gov  
**Sent:** 06/21/2024 - 09:20 AM  
**To:** deb@bradysigns.com,monica@bradysigns.com  
**CC:**  
**Subject:** Approval Certificate Email Correspondence

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Attachments:

S24-000032 - Plans with markups.pdf

PL-Approval Certificate-OBC.htm

Permit Number: S24-000032

Attached are your plans and certificate of plan approval. Your permit cannot be issued until you obtain ABR/Sign Review Approval. Please e mail Amanda Cramer [Amanda.cramer@lakewoodoh.gov](mailto:Amanda.cramer@lakewoodoh.gov) to start this process.



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-64-24**

**Permit No.: BBS24-000077**

**Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC**

**Project Address: 15001 Madison Ave.**

**Project Name: Neo Pets and Working Dog**

**Project: Applicant proposes new signage in the board band.**

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, stylized "S" and "F".

Steve Foster

*The Sign & Graphics Firm*

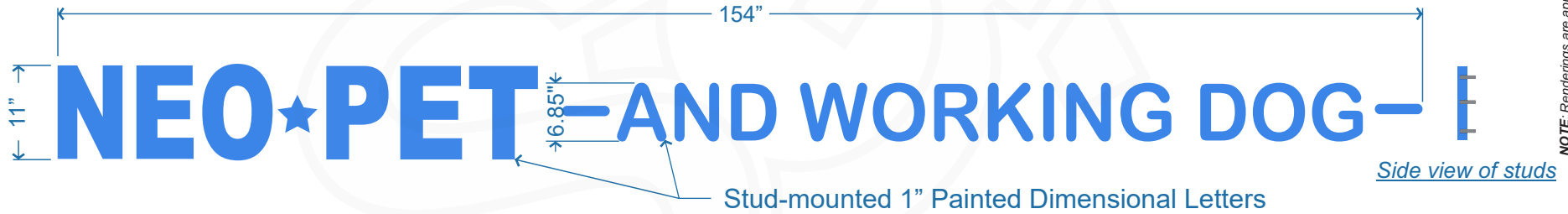
(216) 390-0198



BEFORE



PROPOSED



NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

**THE SIGN & GRAPHICS FIRM**  
Steven Foster  
216.390.0198  
sgfoster09@gmail.com

BUSINESS NAME:  
**NEO PET and WORKING DOG**

ADDRESS:  
15001 Madison Ave.  
Lakewood, OH 44107

**1**  
6-21-24





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 07-65-24**

**Permit No.: BBS24-000072**

**Applicant Name: Frederick Long, GDP Group**

**Project Address: 14100 Franklin Blvd.**

**Project Name: Lakewood High School**

**Project: Applicant proposes a 6,400 s.f. addition to the D Building at Lakewood High School.**



# LAKEWOOD CITY SCHOOLS

*Chris Donahoe*  
*Director of Operations*  
*(216) 227-5146*  
*[christopher.donahoe@lakewoodcityschools.org](mailto:christopher.donahoe@lakewoodcityschools.org)*

Lakewood City School District  
13701 Lake Avenue  
Lakewood, OH 44107

June 17, 2024

City of Lakewood  
Architectural Board of Review  
12650 Detroit Avenue  
Lakewood, OH 44107

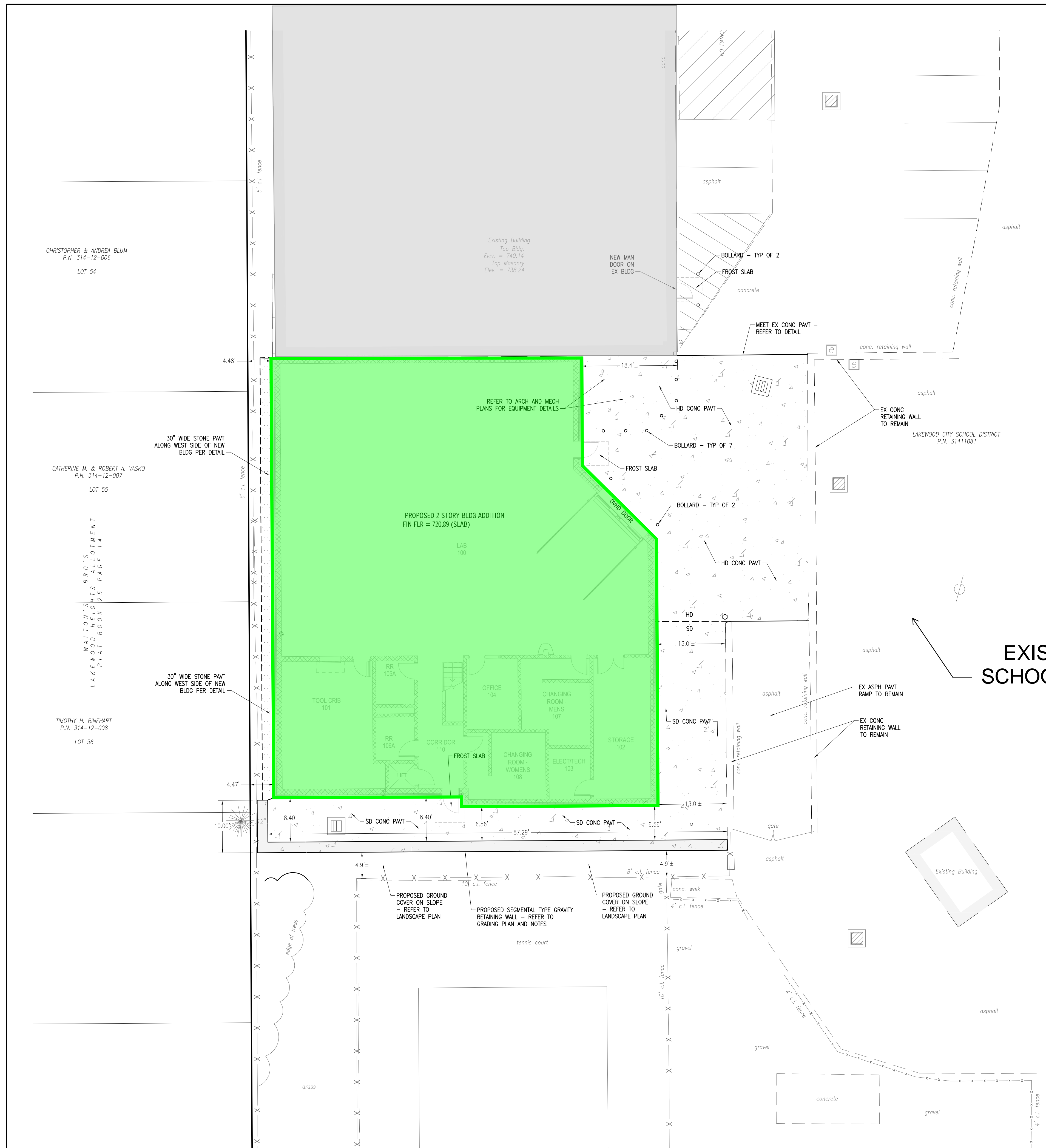
To whom it may concern:

Lakewood City School District (LCSD) is working with GPD Group on a welding addition south of the Lakewood High School D Building. LCSD is the owner and tenant and we give consent to the City of Lakewood to access the property for limited purposes of verifying the existing conditions.

Please contact me with any questions.

Regards,

Chris Donahoe  
Director of Operations



EXISTING HIGH SCHOOL BASEBALL FIELD

**PROJECT AREA IMPERVIOUS COVER DATA**

PROJECT AREA =	9,500 SF (0.22 ACRES)
PRE DEVELOPMENT IMPERVIOUS COVER =	8,831 SF (0.21 ACRES)
POST DEVELOPMENT IMPERVIOUS COVER =	9,077 SF (0.21 ACRES)

ADDITIONAL STORM RUNOFF DUE TO THE PROPOSED DEVELOPMENT IS NEGLIGIBLE, THEREFORE, STORM WATER DETENTION IS NOT INTENDED TO BE PART OF THE PROPOSED PROJECT.

CURRENT OPEA GUIDELINES DO NOT REQUIRE PERMANENT WATER QUALITY VOLUME TO BE PROVIDED FOR A PROJECT OF THIS SIZE.

**SITE PLAN NOTES**

- REFERENCE ARCHITECTURAL / STRUCTURAL / ELECTRICAL / LANDSCAPE PLANS FOR THE FOLLOWING:
  - EXACT BUILDING FOUNDATION SPECIFICATIONS AND DIMENSIONS (DIMENSIONS SHOWN ARE FOR REFERENCE ONLY)
  - SITE LIGHTING & UNDERGROUND ELECTRIC INFORMATION
  - LANDSCAPING & ORNAMENTAL FENCING & PLANTING DETAILS & SITE AMENITY DETAILS
  - BOLLARD DETAILS RELATED TO BLOOD PROTECTION
  - SITE RETAINING WALL DETAILS AND SPECS
- ALL DIMENSIONS (HORIZONTAL AND VERTICAL) SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION AND / OR INSTALLATION.
- SIGNS SHALL BE MOUNTED AT A HEIGHT OF 5' TO THE BOTTOM OF THE SIGN, UNLESS OTHERWISE NOTED.
- SOIL SHEETING SHALL BE TYPE H REFLECTIVE SHEETING MATERIAL.
- CONTRACTOR SHALL UTILIZE SIGNS, BARRICADES, FLAGMEN, ETC., DURING CONSTRUCTION TO ENSURE THE SAFETY OF PEDESTRIAN AND VEHICULAR TRAFFIC. ALL TEMPORARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH ODOT ITEM 107-10 AND 614 AND AS PER ORC 4571.09.

**PROJECT GENERAL NOTES**

- ALL CONSTRUCTION AND MATERIALS INCLUDED ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS AND PER THE CITY OF LAKEWOOD CONSTRUCTION STANDARDS.
- ANY DEFECTS IN THE CONSTRUCTION WITHIN THE RIGHT OF WAY INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT BY THE CONTRACTOR OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE MUNICIPAL ENGINEER AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ROAD SURFACES, SIGNS, GUARDRAILS, MAIL/PAPER BOXES, CURBS, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT. ALL DAMAGES SHALL BE RESTORED AT NO COST TO THE MUNICIPALITY TO THE ORIGINAL CONDITION. THE MUNICIPAL ENGINEER IN WRITING SHALL ACCEPT APPROVAL OF RESTORATION.
- THE CONTRACTOR SHALL NOT COMMENCE WITH ANY FORM OF CONSTRUCTION WITHOUT NOTIFYING THE OFFICE OF THE MUNICIPAL ENGINEER AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL PROVIDE A TWENTY-FOUR (24) HOUR, SEVEN DAYS A WEEK EMERGENCY CONTACT LIST. THE CONTACT LIST SHALL INCLUDE CONTACT NAMES AND PHONE NUMBERS OF INDIVIDUALS WHO CAN BE REACHED AT ANY TIME. NO CONSTRUCTION SHALL OCCUR BEFORE CONTACT LIST IS PROVIDED TO THE MUNICIPALITY.
- ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED BY SEEDING AND MULCHING IN ACCORDANCE WITH ITEM 659 OF ODOT SPECIFICATIONS AND SHALL BE RESEEDING AND MULCHED WHEN REQUESTED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING PUBLIC WATER, STORM AND SANITARY SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL VOIDS CREATED FROM BORING OF UTILITY LINES SHALL BE BACKFILLED WITH SAND OR GROUT. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS TO ELIMINATE PONDING ON THE SITE.

**ADA ACCESSIBILITY NOTES**

- THE DRAWINGS ARE DESIGNED TO MEET ACCESSIBILITY STANDARDS AT MINIMUM. LOCAL AND STATE REQUIREMENTS OR CODES MAY HAVE ADDITIONAL STANDARDS.
- SURFACE CONDITIONS AT ACCESSIBLE WALKWAYS AND ACCESSIBLE AREAS (PAVER SYSTEMS AND OR CONCRETE SURFACES) SHALL NOT INCLUDE GAPS GREATER THAN 1/4" OR VERTICAL CHANGES AT JOINTS OR BETWEEN LISTS GREATER THAN 1/4" UNLESS THE OVERALL CHANGE DOES NOT EXCEED 1/4" AND THE LEVEL CHANGE IS REVEALED AT 1/2".
- ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS AND ACCESSIBLE RIGLES TO MEET ALL THE 2010 ADA STANDARD REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY AND LOCATIONS REQUIRED BY THE ADA STANDARDS AND APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED).
- ACCESSIBLE PARKING SPACES ON POST - BOTTOM OF SIGNAGE TO BE A MINIMUM OF 60" ABOVE GRADE. VERIFY ALL REQUIREMENTS WITH ACCESSIBILITY REQUIREMENTS AND LOCAL CODES.
- CONCRETE WHEEL STOP - ALL ACCESSIBLE SPACES - LOCATE FIXED WHEEL STOP SO AS TO NOT REDUCE THE WIDTH OF THE ACCESSIBLE ROUTE.
- WALKWAY SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS, AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAXIMUM RUNNING SLOPE OF 1:20 AND MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS, AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE PATH / WALKWAY TO BE 5'-0" MINIMUM RUNNING SLOPE 1:20 MAXIMUM CROSS SLOPE 1:48 MAXIMUM SLOPE AWAY FROM BUILDING - BROOM FINISH CONCRETE.
- CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS. MAXIMUM SLOPE OF RUN 1:13 (1:14 RECOMMENDED), MAXIMUM CROSS SLOPE 1:48 (1:64 RECOMMENDED). REFER TO SITE DETAIL SHEET FOR ADDITIONAL INFORMATION. PROVIDE 36" LONG MINIMUM LANDING AT TOP AND 60" MINIMUM LANDING AT BOTTOM OF RAMP WITH MAXIMUM SLOPE IN EITHER DIRECTION OF LANDING TO BE 1:48 (1:64 RECOMMENDED).

**PAVEMENT MARKING NOTES**

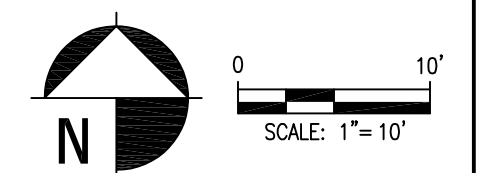
- CONTRACTOR SHALL VERIFY LAYOUT, COLOR, & LOCATION OF ALL PAVEMENT MARKINGS WITH OWNER PRIOR TO WORK.
- PAIN STRIPES AND PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND WITH THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION.
  - FURNISH PAINT, BEADS AND OTHER MATERIALS IN ACCORDANCE WITH ODOT CMS 740.
  - PAVEMENT PREPARATION, APPLICATION, LAYOUT AND MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ODOT CMS SECTIONS 641 AND 642.
  - ALL ADA ASSOCIATED PAVEMENT MARKINGS SHALL BE BLUE (ADA SYMBOL, BACKGROUND AND STALL STRIPING AND TRANSVERSE STRIPING).
  - HANDCAP SYMBOL MARKINGS SHALL BE SHAPED IN CONFORMANCE WITH THE INTERNATIONAL SYMBOL, ISSUED BY THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI A117.1).
  - PARKING STALL LINE THICKNESS SHALL BE 4" WIDE AND SHALL BE WHITE UNLESS OTHERWISE DIRECTED BY THE ARCHITECT / OWNER.
  - ALL STOP BARS TO BE SOLID 24" WIDE WHITE STRIPE.
  - FOR WORDS PAINTED ON THE PAVEMENT, CHARACTER HEIGHT SHALL BE 3 FEET. THE CHARACTERS SHALL BE MARKED WITH 1/4" (100 MILLIMETERS) STROKES OF YELLOW PAINT UNLESS OTHERWISE NOTED.
  - CROSSWALK STRIPE THICKNESS SHALL BE 1/2" WIDE SOLID WHITE STRIPE 5 FEET ON CENTER.
  - CHANNELIZING STRIPING SHALL BE 4" WIDE SINGLE LINE WHITE IN COLOR.
  - CENTERLINE STRIPING SHALL BE 4" WIDE DOUBLE LINE YELLOW IN COLOR.

**MAINTENANCE OF TRAFFIC**

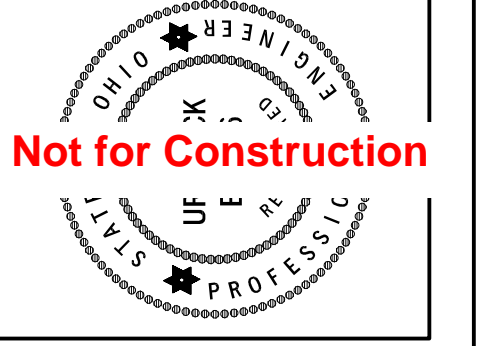
- INTERFERENCE WITH TRAFFIC:**
- THE CONTRACTOR SHALL MAINTAIN SAFE TRAFFIC CONDITIONS IN ACCORDANCE WITH THE MANUAL OF TRAFFIC CONTROL DEVICES. COORDINATE ALL LANE / ROAD CLOSURES WITH THE LOCAL MUNICIPAL ENGINEER(S).
- TRAFFIC DIVERSION:**
- WHENEVER IT IS NECESSARY TO DIVERT TRAFFIC FROM ITS NORMAL CHANNEL INTO ANOTHER CHANNEL, SUCH DIVERSIONS SHALL BE CLEARLY MARKED BY CONES, DRUMS, BARRICADES OR TEMPORARY GUARDRAIL. IF THE MARKERS ARE LEFT IN PLACE AT NIGHT, SUITABLE LIGHTS SHALL BE PROVIDED AND MAINTAINED.
- ONE WAY TRAFFIC:**
- WHENEVER ONE-WAY TRAFFIC IS ESTABLISHED, AT LEAST TWO FLAGGERS SHALL BE USED.
- STREET CLOSING:**
- THE CONTRACTOR MAY NOT CLOSE THE STREET TO THROUGH TRAFFIC.
- MAINTENANCE:**
- IF PROPER MAINTENANCE OF TRAFFIC FACILITIES AND/OR PROPER PROMOTION FOR TRAFFIC CONTROL IS NOT BEING PROVIDED, THE MUNICIPALITY MAY TAKE NECESSARY STEPS TO CORRECT TRAFFIC MAINTENANCE. THE COST OF SUCH SERVICE WILL BE CHARGED TO THE CONTRACTOR.

**PAVEMENT DRIVE APRONS, SIDEWALK, CURBS & CURB RAMP REQUIREMENTS**

- GENERAL REQUIREMENTS:**
- THE FOLLOWING REQUIREMENTS APPLY TO ALL PAVEMENT DRIVE APRONS, SIDEWALKS AND CURB RAMPS. ALL PAVEMENT DRIVES, SIDEWALKS AND/OR CURB RAMPS SHALL CONFORM TO ODOT SPECIFICATIONS IF NOT SPECIFIED HEREIN. ALL PAVEMENT DRIVES, SIDEWALKS AND CURB RAMP REPLACEMENTS SHALL CONFORM TO THE GRADE OF THE EXISTING PAVEMENT DRIVE, SIDEWALK AND/OR CURB RAMP.
- MATERIAL:**
- ALL CONCRETE SHALL BE CLASS "C" PER ODOT 499 AND PROPERLY CONSOLIDATED (NO SLAG).
- NOTIFICATION TO RESIDENTS:**
- THE SCHEDULING FOR WORK SHALL BE DISCUSSED WITH EACH PROPERTY OWNER AFFECTED PRIOR TO COMMENCING THE CONSTRUCTION / REPLACEMENT OPERATION. EXCAVATION IN TRAFFIC AREAS SHALL NOT BE LEFT OPEN OVERNIGHT. ALL DRIVE APRON CONSTRUCTION SHALL FOLLOW A SCHEDULE THAT ALLOWS ACCESS TO AND FROM RESIDENCE, BUSINESS, ETC. AT ALL TIMES. THE DISRUPTION OF ACCESS TO DRIVEWAYS DUE TO THIS WORK SHALL BE KEPT TO A MINIMUM.
- SIGNAGE:**
- THE CONTRACTOR MUST PROVIDE ADEQUATE SIGNS, MARKERS AND BARRICADES TO PROTECT PEDESTRIAN TRAFFIC, VEHICULAR TRAFFIC AND CONSTRUCTION PERSONNEL DURING THE PROGRESS OF THIS WORK. ADDITIONAL SIGNS INDICATING ENTRANCES FOR BUSINESSES IN A CONSTRUCTION ZONE ARE REQUIRED AS DIRECTED BY THE MUNICIPAL ENGINEER.
- PAVEMENT DRIVE APRONS:**
- ALL PAVEMENT DRIVE APRONS SHALL HAVE A MINIMUM THICKNESS OF SIX (6) INCHES FOR RESIDENTIAL DRIVEWAYS AND EIGHT (8) INCHES FOR ALL OTHER DRIVEWAYS. REFER TO DETAILS.
- R/W SIDEWALK:**
- ALL SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF FOUR (4) INCHES EXCEPT WITHIN THE LIMITS OF THE DRIVEWAYS, WHERE THE MINIMUM THICKNESS SHALL BE SIX (6) INCHES FOR ONE OR TWO FAMILY RESIDENTIAL DRIVEWAYS AND EIGHT (8) INCHES FOR ALL OTHER DRIVEWAYS.
  - ONE-HALF (1/2) INCH EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED FIFTY (50) FEET. EXPANSION JOINTS SHALL BE SEALED WITH 1/2" THICK SELF LEVELING URETHANE CHALK, LIMESTONE GRAY IN COLOR. ALL CONCRETE SIDEWALK AND/OR CURB SHALL BE OF MONOLITHIC CONSTRUCTION. ALL SIDEWALKS SHALL HAVE A FOUR (4) INCH MINIMUM SUBBASE, ODOT ITEM 304, COMPACTED TO 95% COMPACTION.
- R/W CURB RAMPS:**
- CURB RAMPS SHALL BE PLACED AS SHOWN ON THE PLANS. ALL SIDEWALKS SHALL CONNECT TO THE PAVEMENT OR CURB AT INTERSECTIONS WITH WHEELCHairs RAMPS AND ONE-HALF (1/2) INCH EXPANSION JOINTS BETWEEN THE WALK AND CURB. EXPANSION JOINTS SHALL BE SEALED WITH 1/2" THICK SELF LEVELING URETHANE CHALK, LIMESTONE GRAY IN COLOR. ALL CURB RAMPS SHALL MEET THE CURRENT ADA REQUIREMENTS. REFER TO DETAILS.
- CONSTRUCTION SAW CUTTING:**
- WHERE IT IS NECESSARY TO DISTURB EXISTING PAVEMENT DRIVES, CURB RAMPS OR SIDEWALKS THE CONCRETE SHALL BE SAW CUT IN NEAT STRAIGHT LINES AS DIRECTED BY ENGINEER / MUNICIPALITY. THE DEPTH OF SAW CUT SHALL BE FULL DEPTH. WHERE IT IS NECESSARY TO DISTURB EXISTING PAVEMENT DRIVES, CURBS AND/OR WALKS THE ASPHALT CONCRETE SHALL BE LINED OUT WITH STRAIGHT VERTICAL EDGES. ALL CUT BITUMINOUS SURFACES SHALL BE SEALED WITH A 4" WIDE RUBBERIZED JOINT SEALER USING A SQUEEGEE.
  - CONCRETE SHALL BE REMOVED IN SECTIONS. SAW CUT LINES ARE TO TAKE PLACE AT EXISTING JOINTS.
- CURING COMPOUND:**
- AN APPROVED SEALER SHALL SEAL ALL EXPOSED CONCRETE APPROPRIATE TO APPLICATION ON SURFACE OF CONCRETE. SEE CURRENT ODOT SPECIFICATIONS FOR APPLICATION METHODS.
- STRUCTURES, ENCLOSURES:**
- THE CONTRACTOR SHALL ADJUST ANY "SURFACE STRUCTURE" IN THE AREA OF SIDEWALK AND/OR PAVEMENT DRIVE TO GRADE. THE CONTRACTOR SHALL FURNISH NECESSARY PARTS AND REPAIR ALL "SURFACE STRUCTURES" DAMAGED BY CONSTRUCTION OF IMPROVEMENT.



REV.	DATE	DESCRIPTION



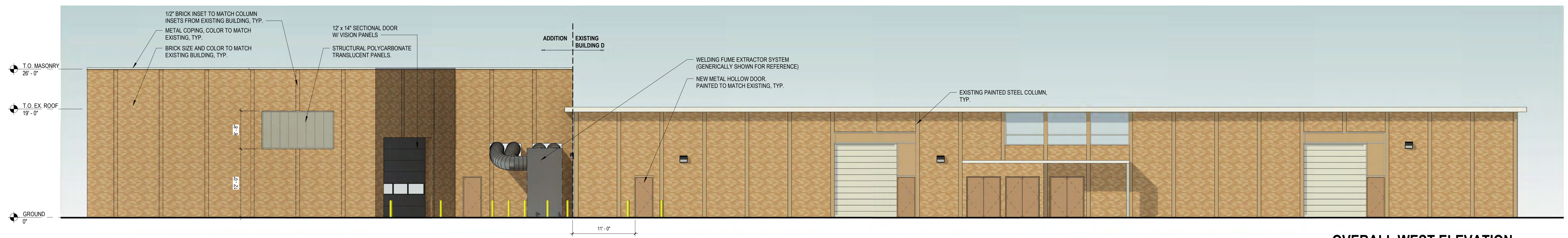
LAKEWOOD CSD/WSCT CAREER TECHNICAL EXPANSION  
14100 FRANKLIN BLVD  
LAKEWOOD, OH 44107

**SITE PLAN**

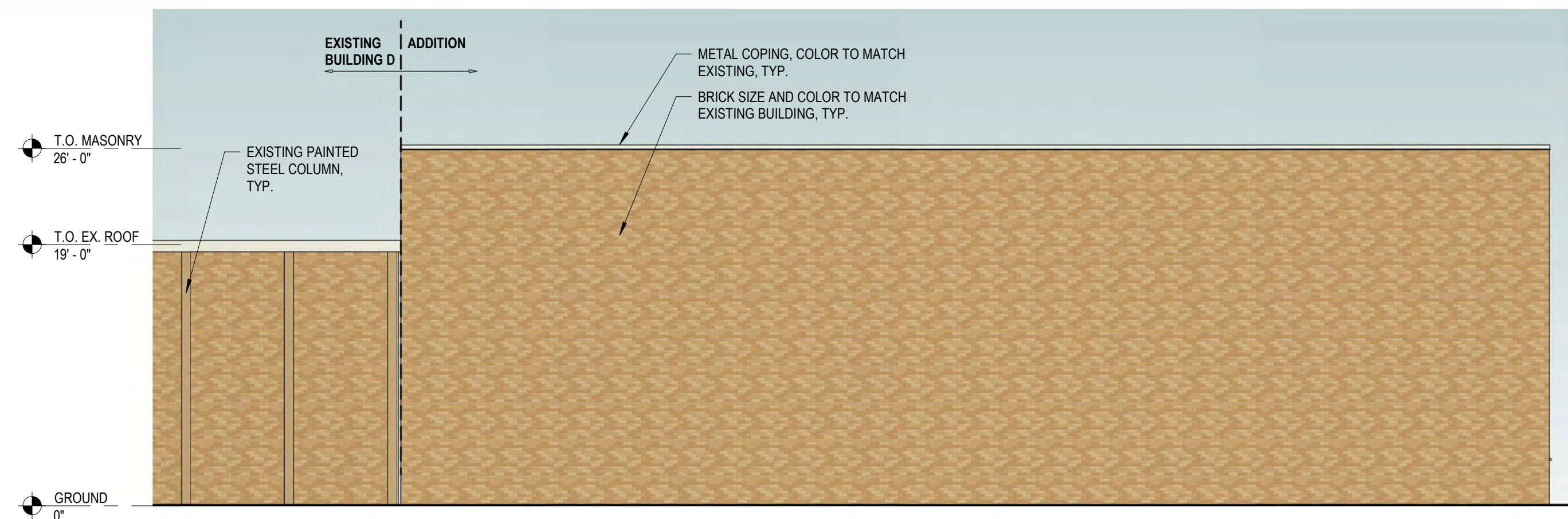
ISSUED FOR:	
DD	05/31/2024
PERMIT	06/05/2024
CONSTRUCTION	---
RECORD	---
PROJECT MANAGER	DESIGNER

JOB NO.  
**2024105.01**

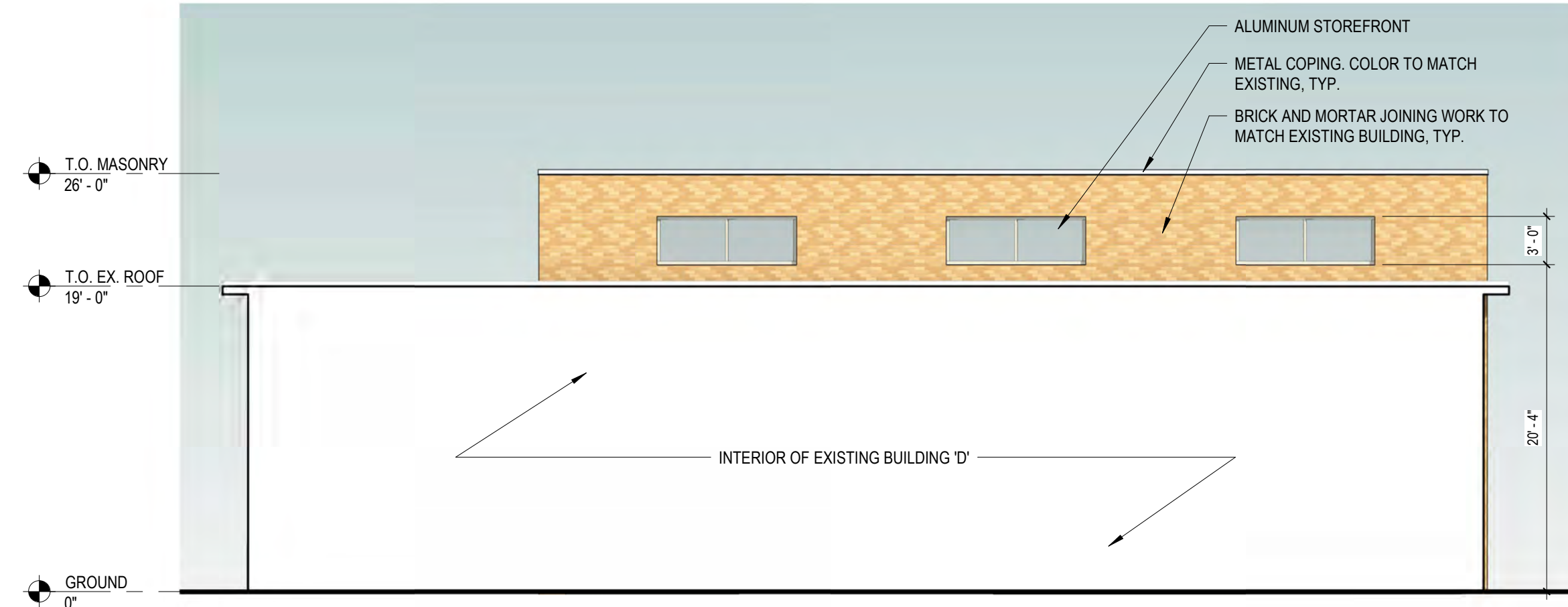
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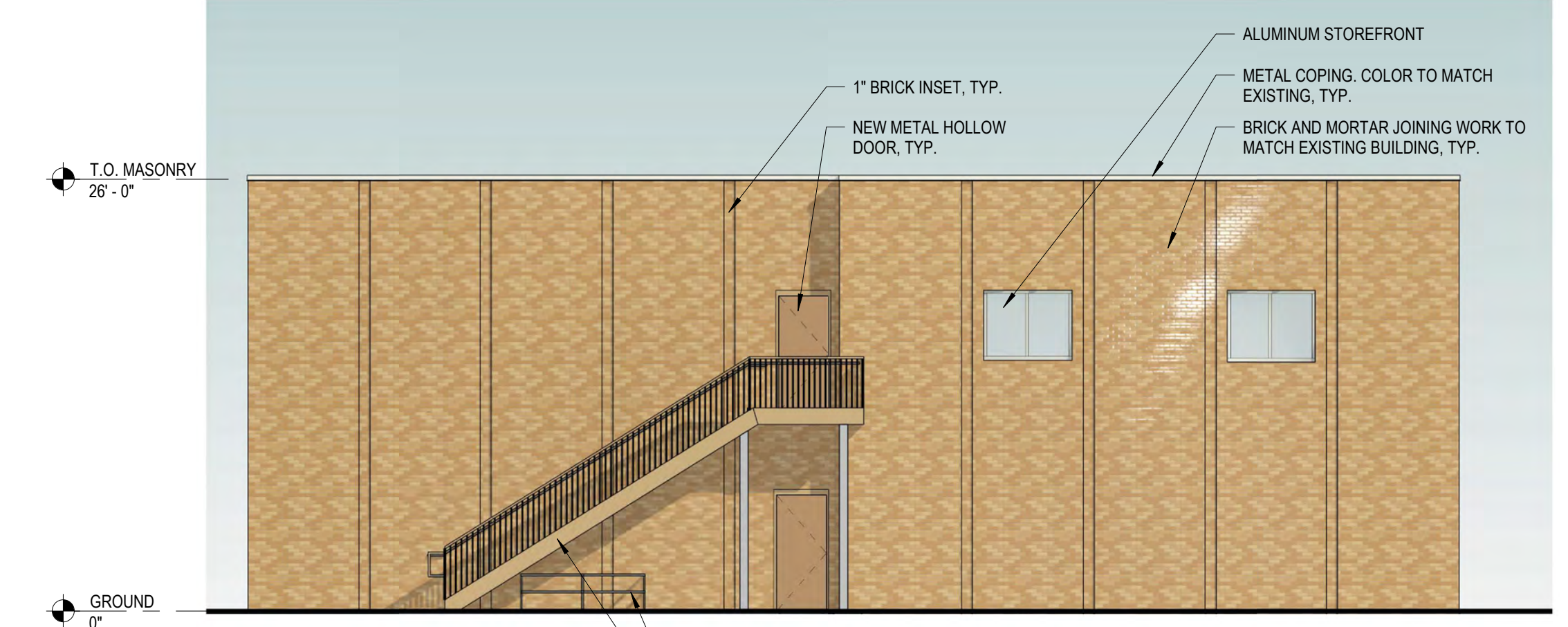
OVERALL WEST ELEVATION



PARTIAL WEST ELEVATION



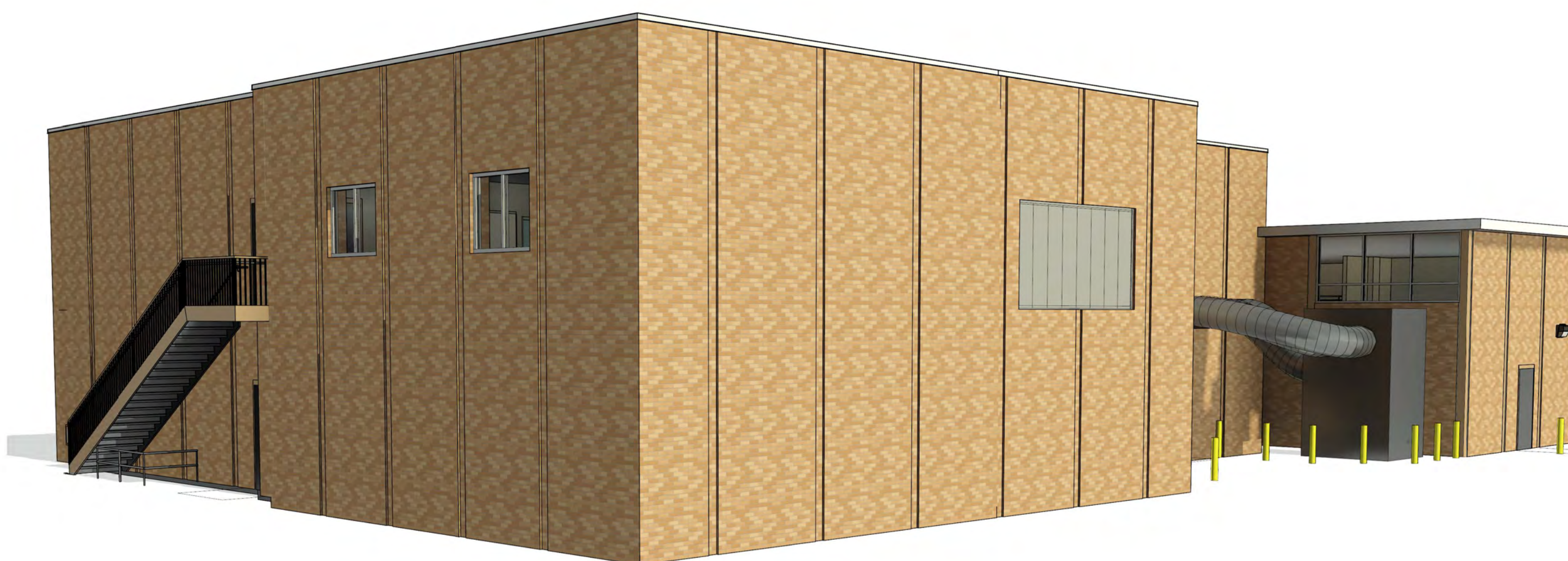
PARTIAL NORTH ELEVATION



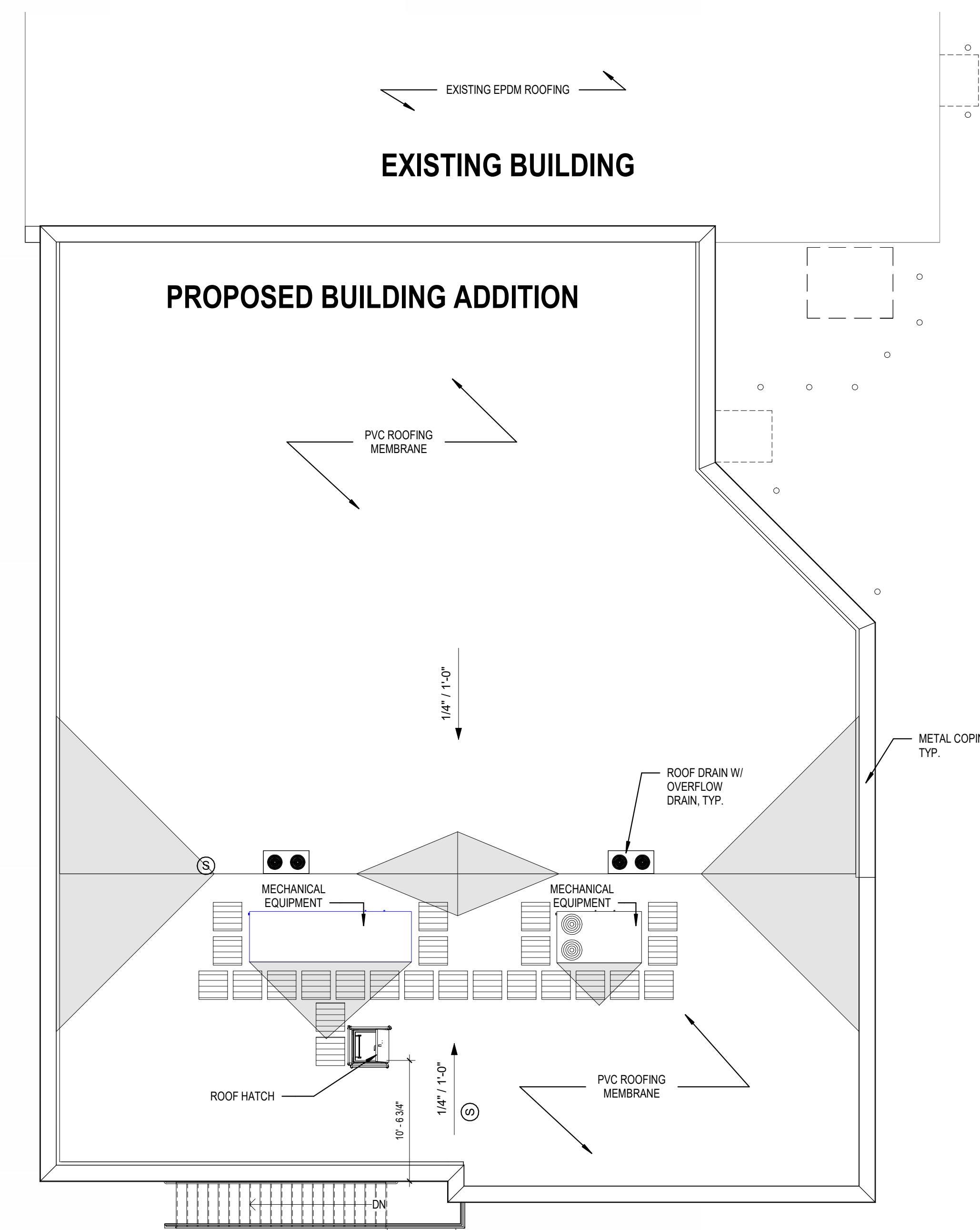
SOUTH ELEVATION



NORTH - EAST PERSPECTIVE VIEW



SOUTH - EAST PERSPECTIVE VIEW



ADDITION ROOF PLAN

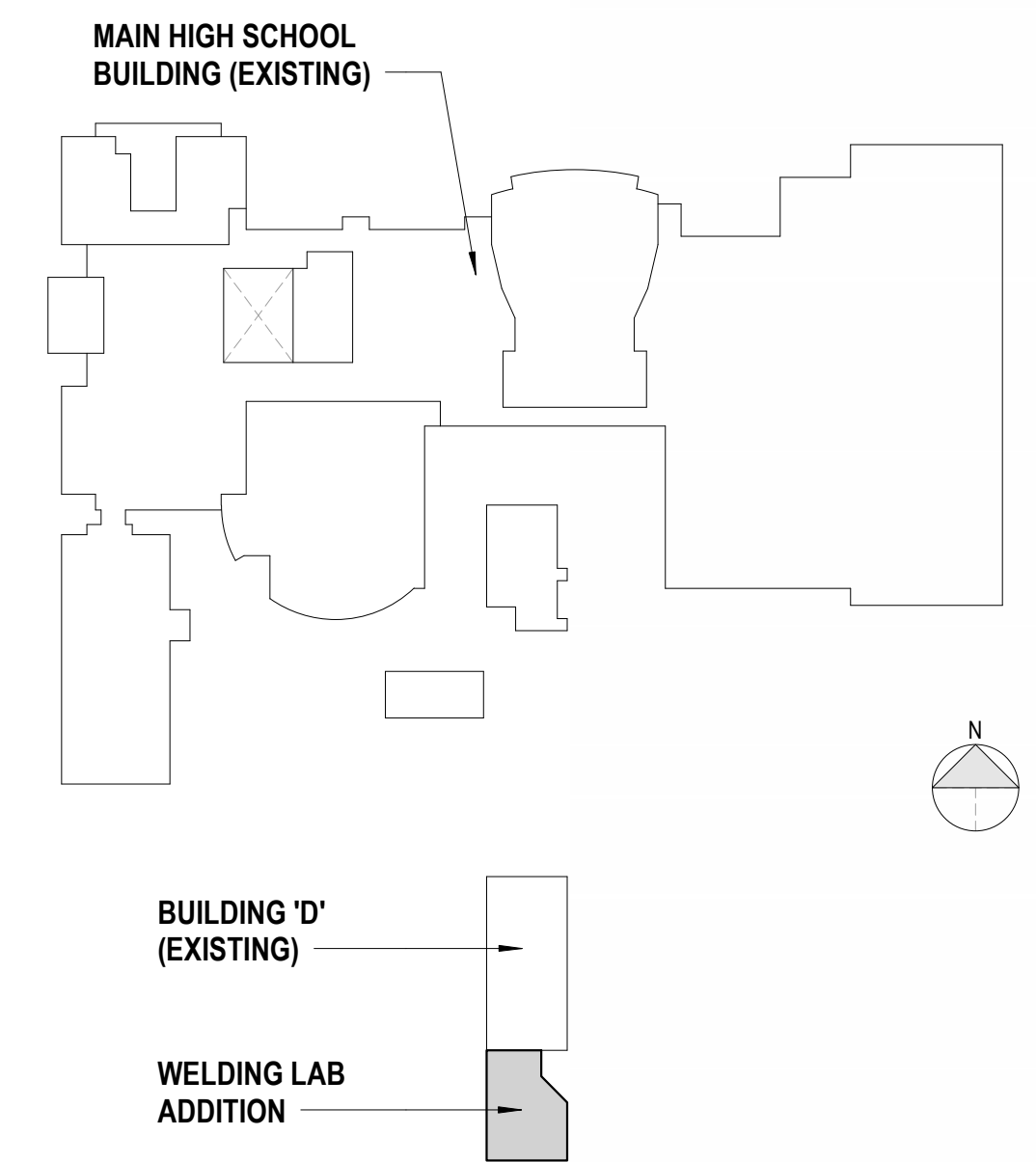
**GENERAL NOTES**

- MATERIALS SHOWN IN THIS ILLUSTRATION ARE FOR REFERENCE ONLY, AND DO NOT REPRESENT FINAL FINISHES OR COLORS. REFER TO PICTURES PROVIDED FOR REFERENCE.
- EXTERNAL WELDING EQUIPMENT IS SHOWN FOR VISUAL REFERENCE ONLY. FINAL DESIGN WILL BE PROVIDED BY VENDOR. REFER TO PICTURES FOR EXAMPLES.

**VICINITY PLAN**



**KEYPLAN**



**LAKWOOD CSD/WSCT CAREER TECHNICAL EXPANSION**

14100 FRANKLIN BLVD  
LAKWOOD, OHIO 44107

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.

THE THOMAS BRICK COMPANY

BRICK ♦ STONE ♦ TILE

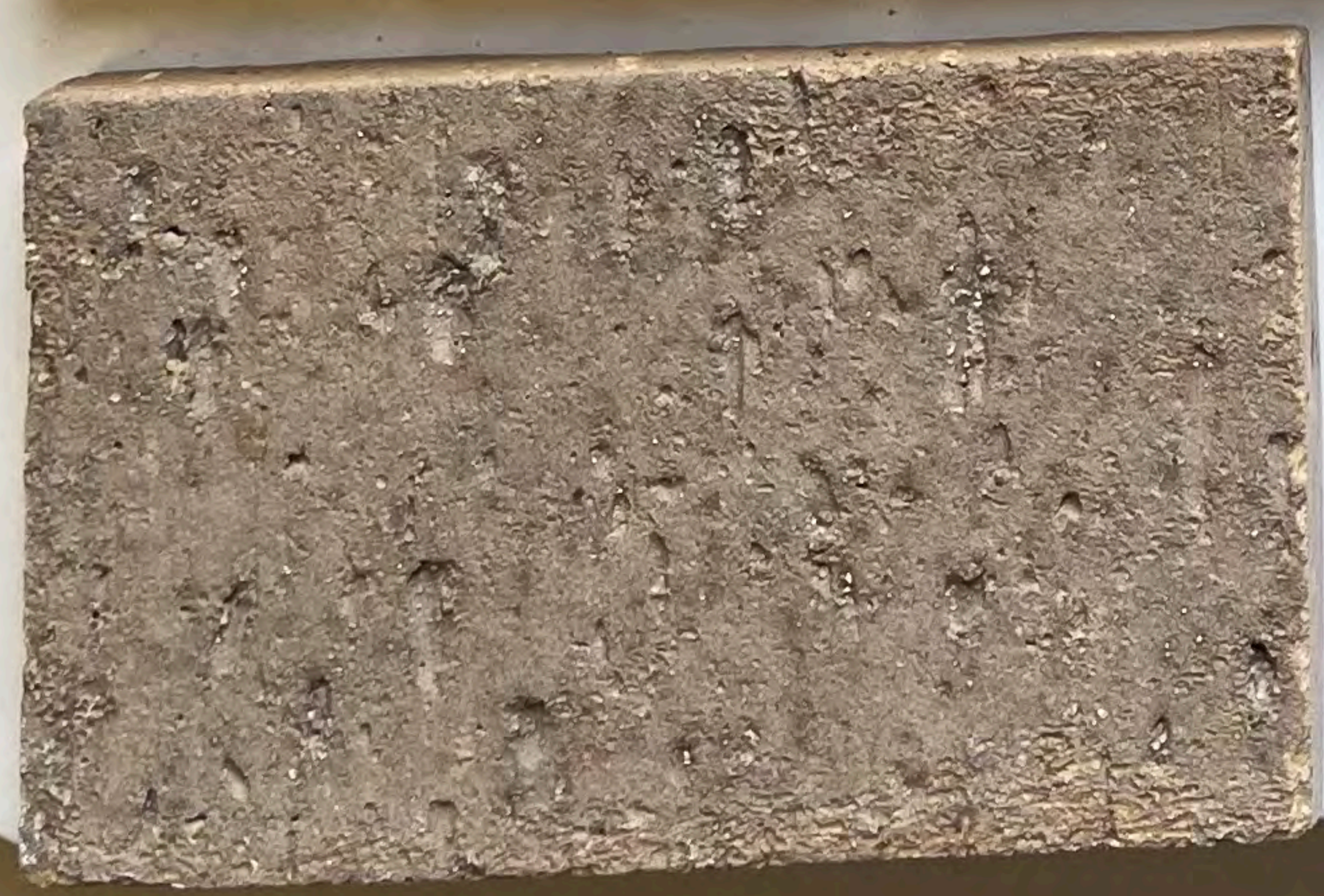
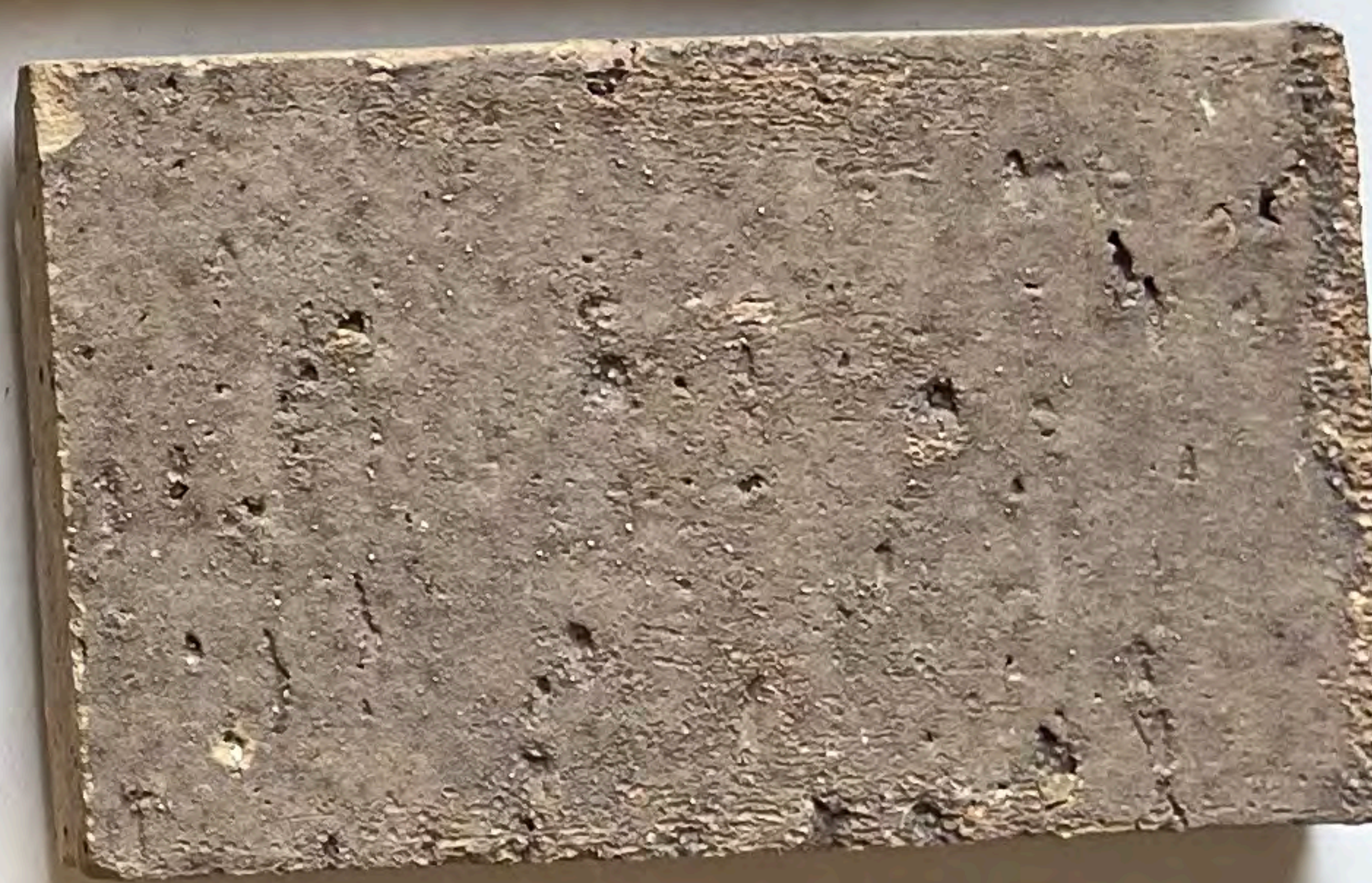
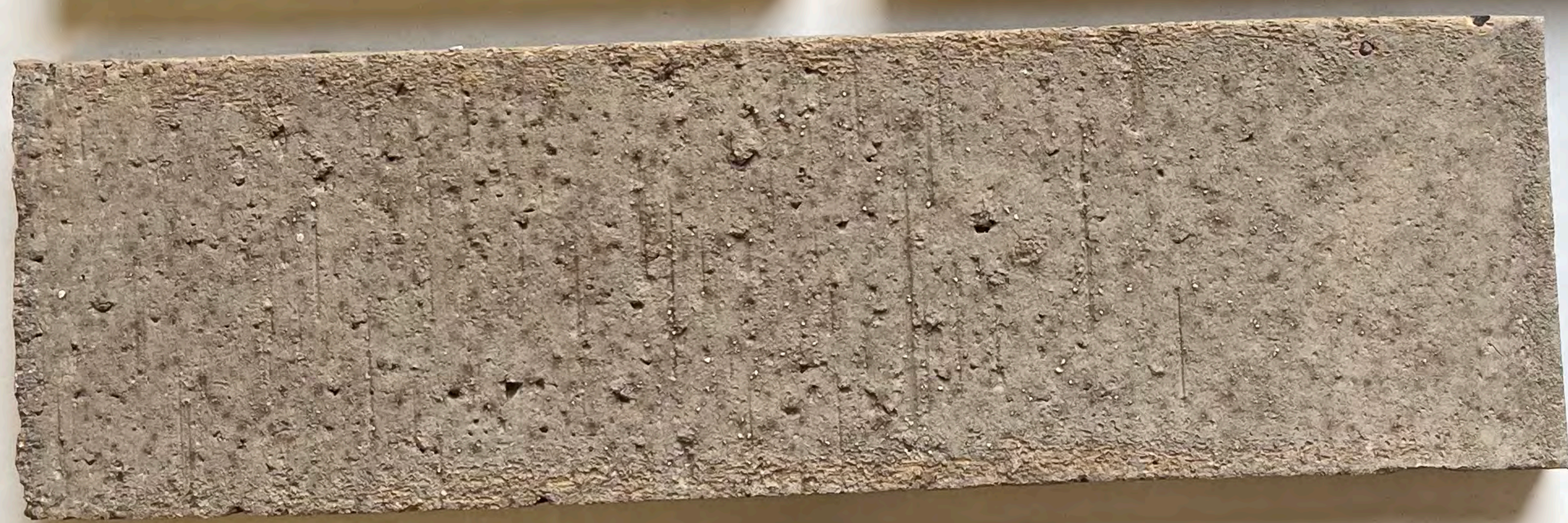
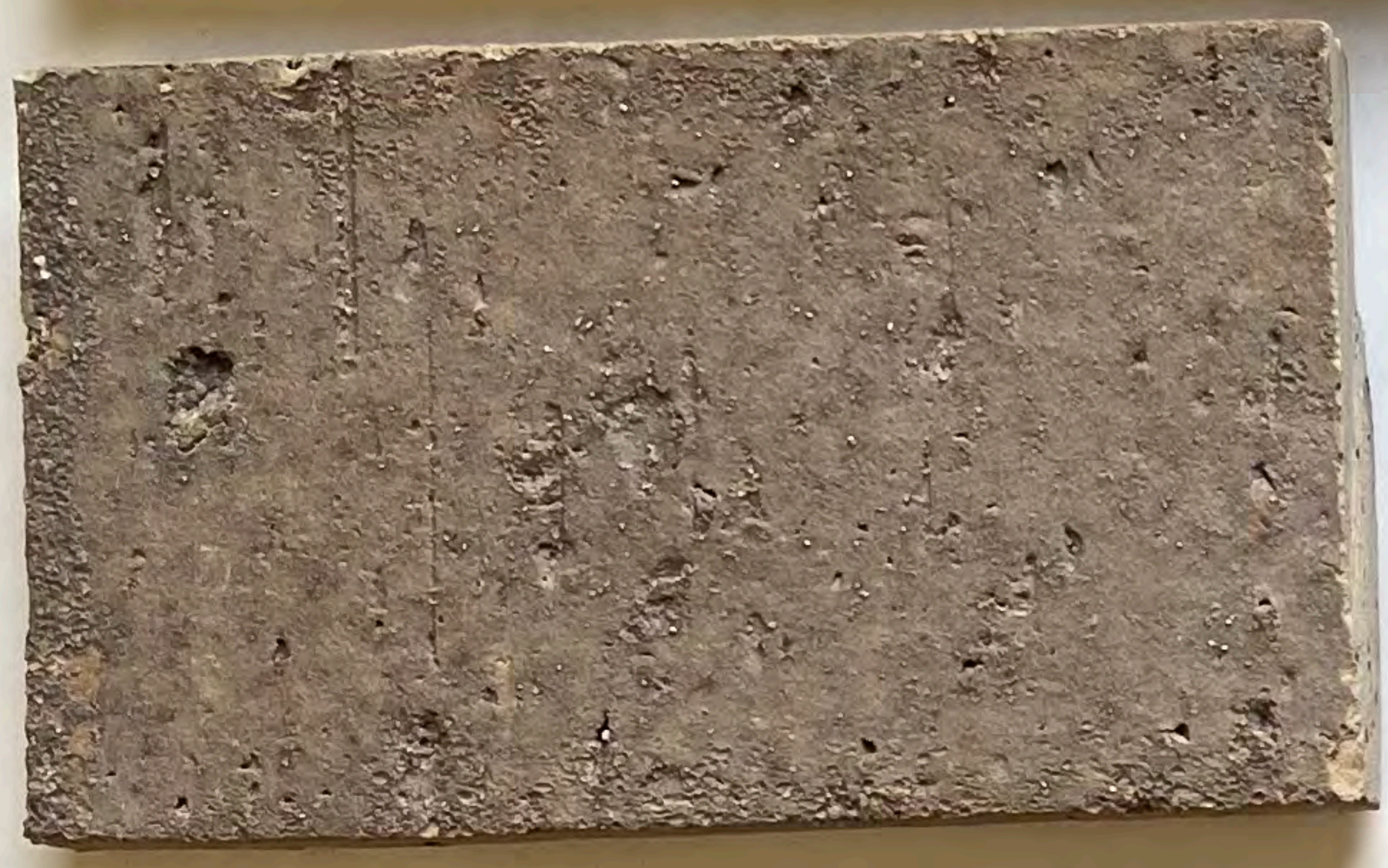
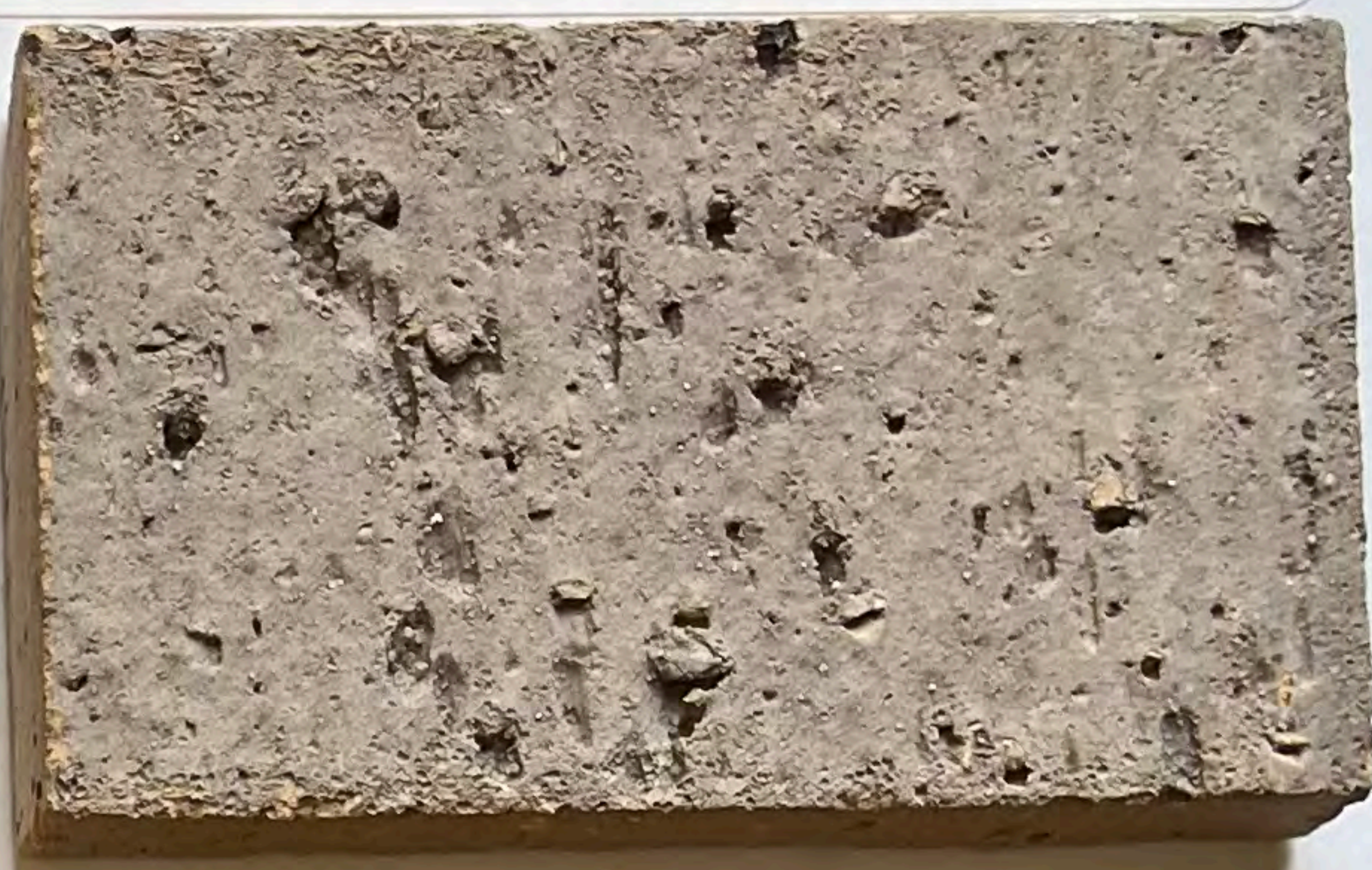
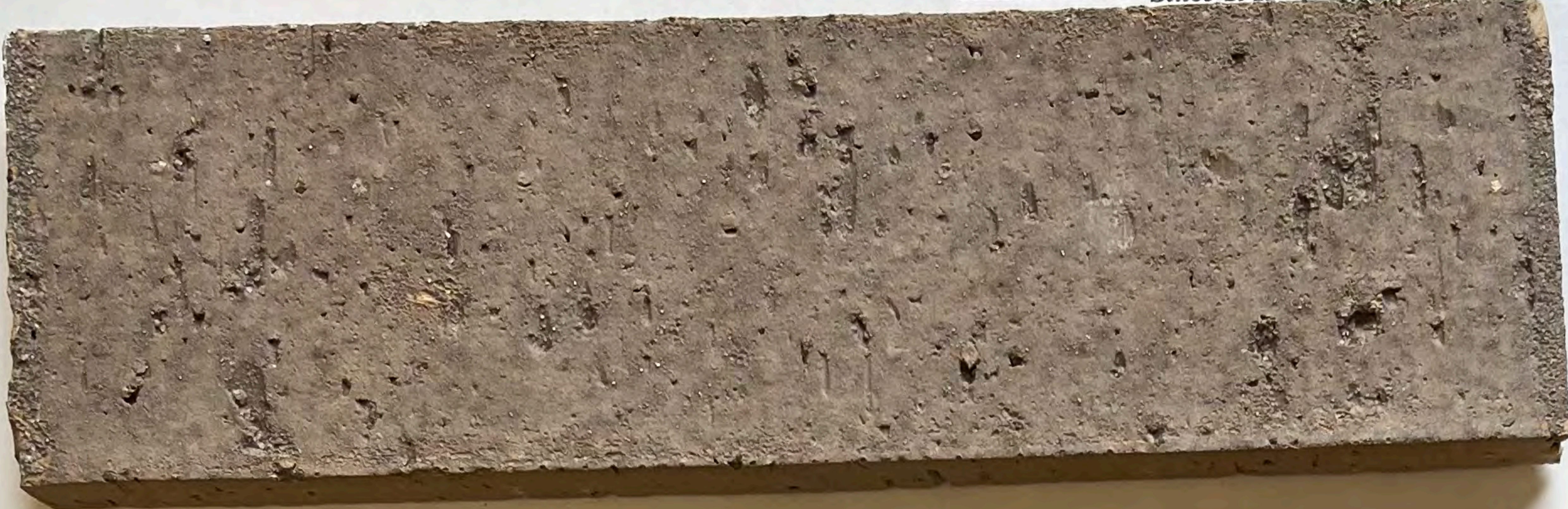
27750 Chagrin Blvd. Cleveland, OH 44122  
T (216) 831-9116 F (216) 831-6805  
www.thomasbrick.com E info@thomasbrick.com

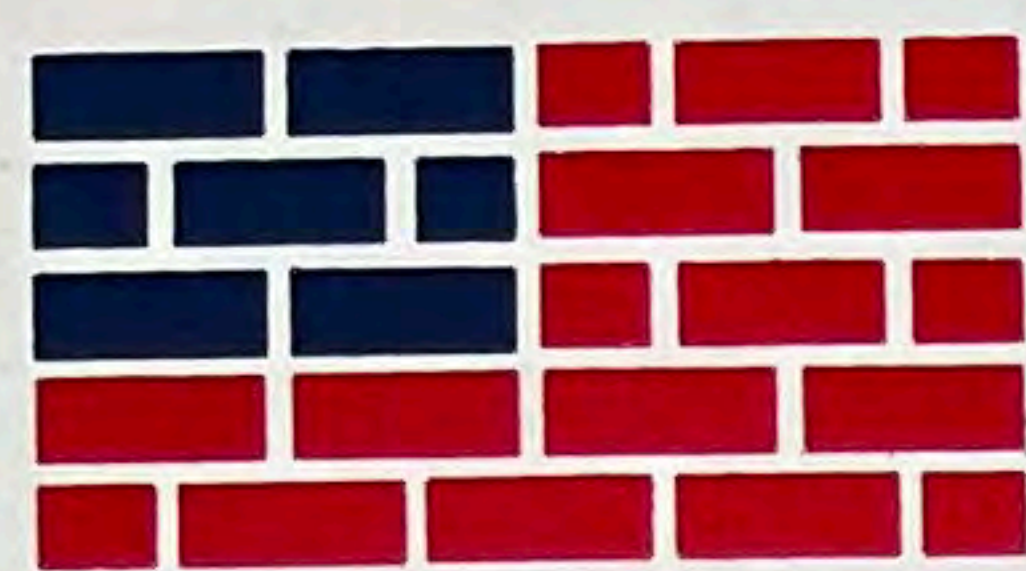
**Glen-Gery**

SHADOW GREY VELOUR

**Sioux City Brick**  
Since 1913

**STONINGTON GRAY VELOUR**  
Modular





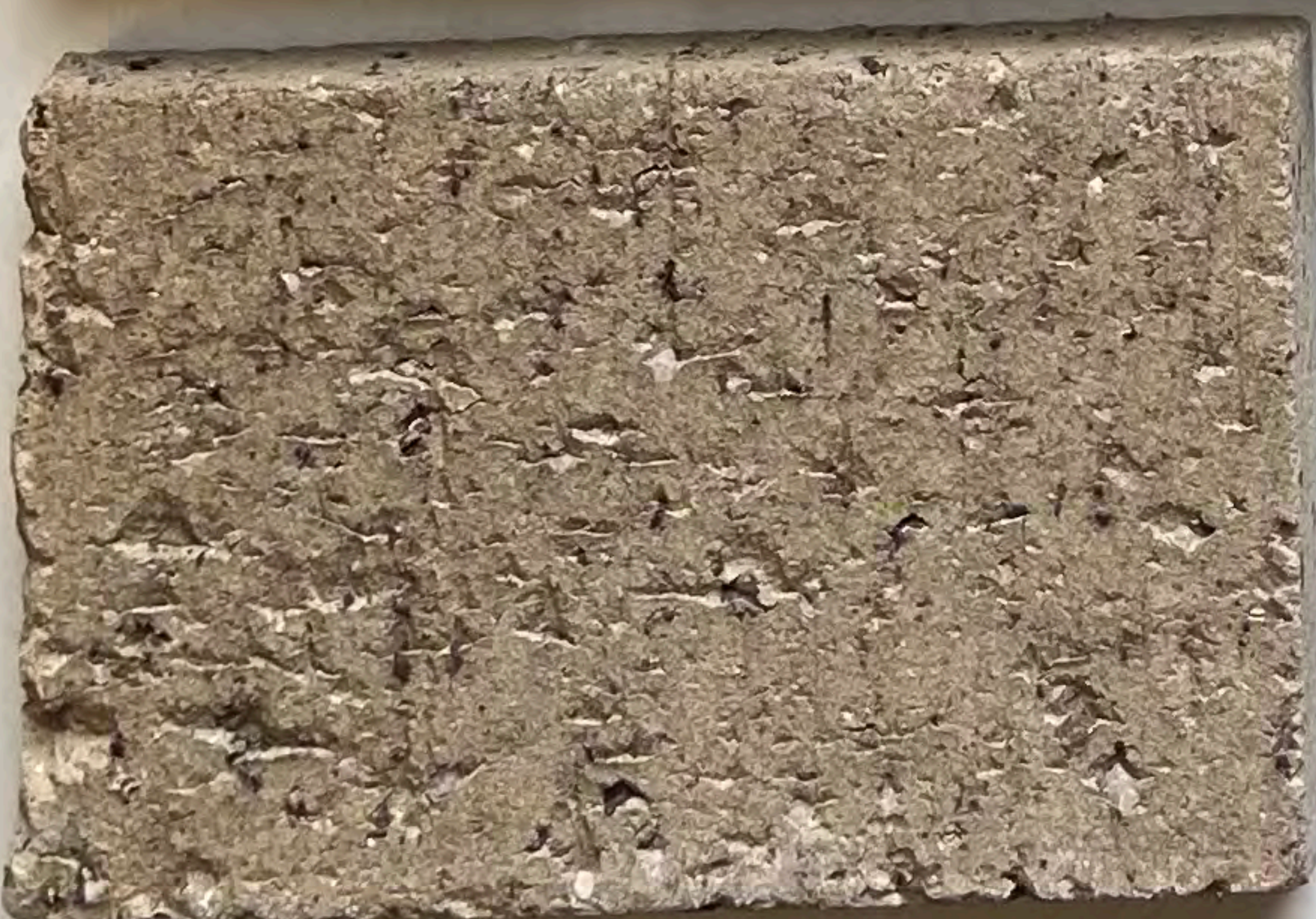
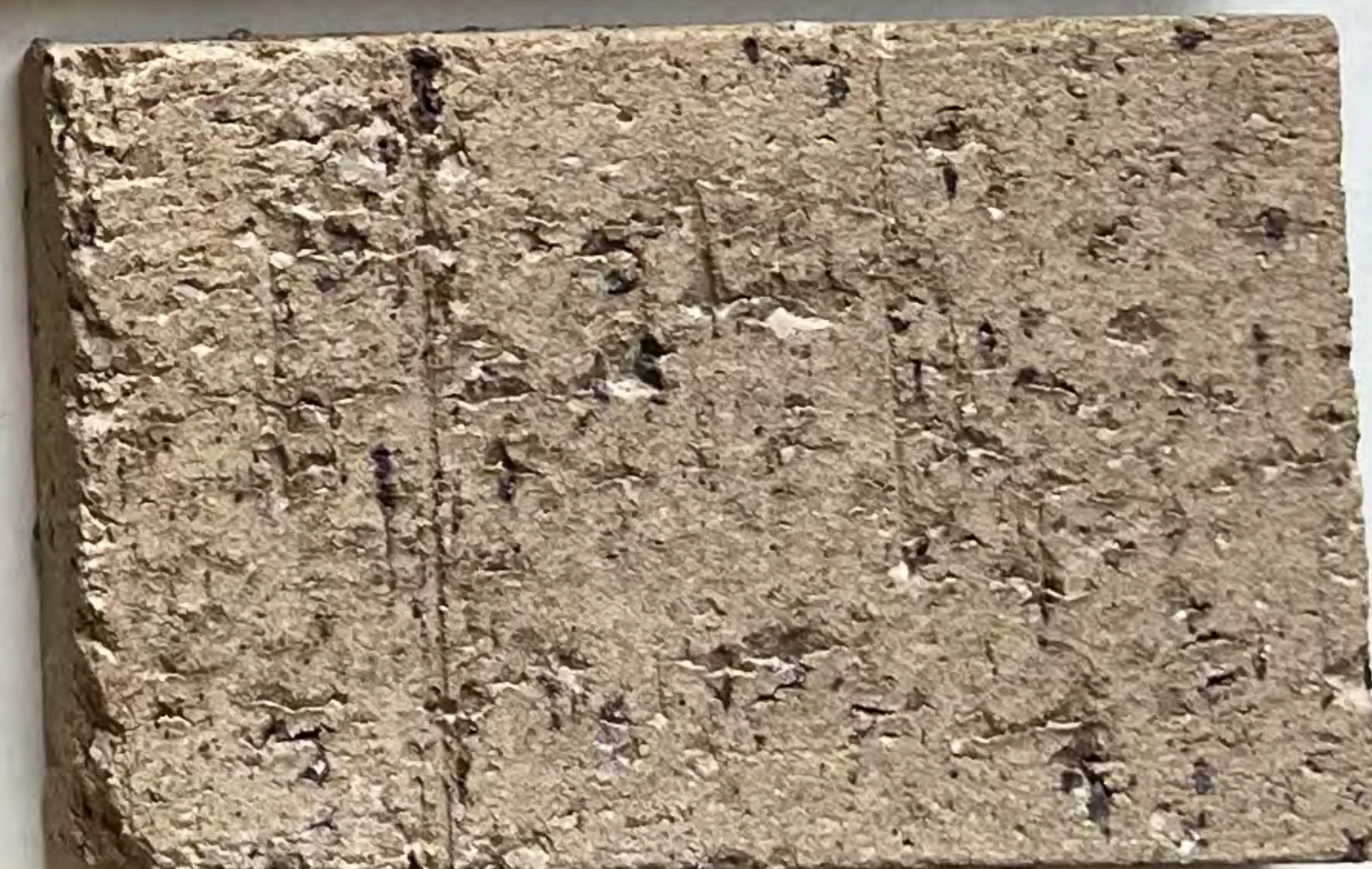
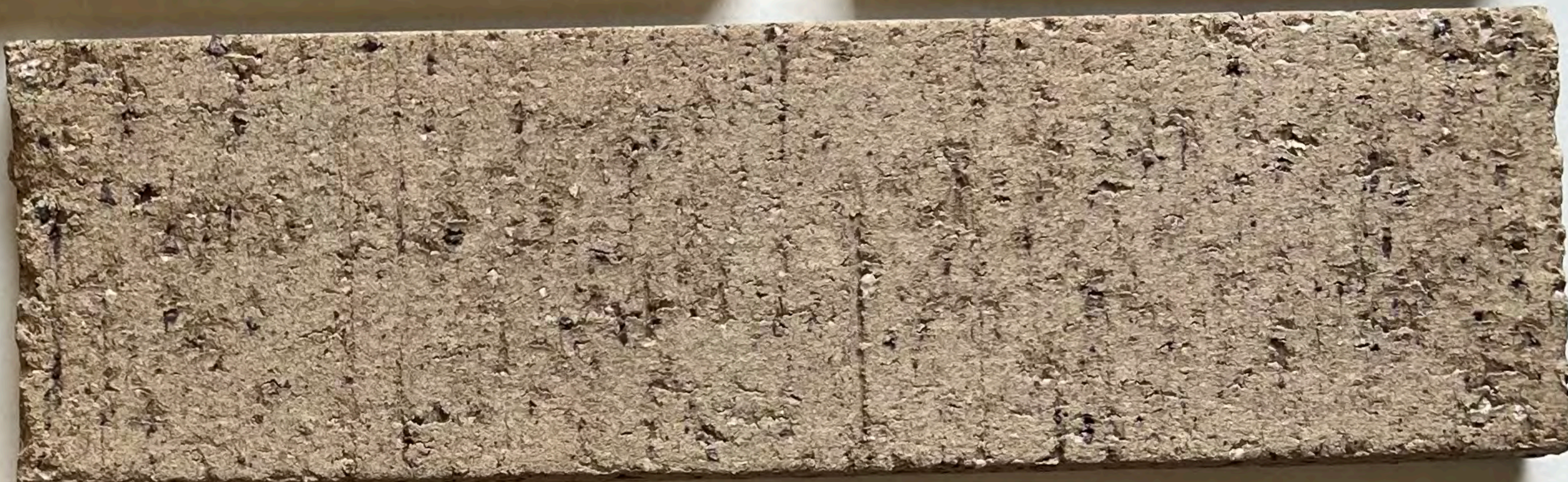
**US BRICK**

BORN IN THE CAROLINAS. BUILDING AMERICA.

SHADOW GREY VELOUR



Due to the nature of fired clay products, an exact duplicate of this sample cannot be guaranteed. This sample represents general color range, percentages and texture.



# EDGE METALS

## STYLE

## PRESTO LOCK COPING



### MEMBRANE COMPATIBILITY

Please refer to the specific JM specification sheets for details.

**MULTI-PLY:** BUR APP SBS  
**SINGLE PLY:** TPO PVC EPDM

### DESCRIPTION AND USES

A cost-effective snap-on coping system designed for use with single ply, built-up and modified bitumen roofing systems. The system consists of galvanized steel anchor clips and aluminum or galvanized coping covers in a variety of thicknesses and colors.

### ANCHOR CLIPS

12" wide galvanized steel base with stainless steel spring clip designed to keep upward pressure on the coping cover. Pre-punched for proper fastener location.

### COVER PLATE

12' (3.7 m) lengths sections snapped into place over anchor clips.

### CONCEALED SPLICE PLATE

8" (20.3 cm) wide plate, with metal and finish to match cover, and dual non-curing isocryl butyl sealant strips to allow for thermal movement and seals joints.

### ACCESSORIES

Factory-fabricated miters, end caps and tees are available with "quicklock" or welded seams.

### SIZES

12' (3.66 m) sections in many sizes to fit various field conditions.

### GAUGES

Aluminum: 0.040" (1.02mm),  
0.050" (1.27mm), 0.063" (1.6 mm)  
Galvanized: 22 ga (0.76 mm)  
24 ga (0.61 mm)

### FINISHES

Steel and aluminum available in a number of standard Kynar® 500 colors. Aluminum also available in mill and anodized finishes. Custom colors available upon request.

### CUSTOM CAPABILITIES

Quicklock and welded radius coping available along with other specially fabricated coping products to meet the needs of the project.



The LIGHTWALL 3440 is our most popular daylighting system. The 3440 system offers beauty, durability, and economy with vertical panels that can extend up to 54 feet long and eliminate leak-prone horizontal joints.

Translucent polycarbonate wall panels offer a host of benefits including daylighting energy savings, outstanding insulating value, and elimination of leak-prone horizontal joints. Our sustainable aluminum framing and polycarbonate panels are 100% recyclable and can help you receive LEED credits for daylighting. The LIGHTWALL® 3440 has provided façade solutions for

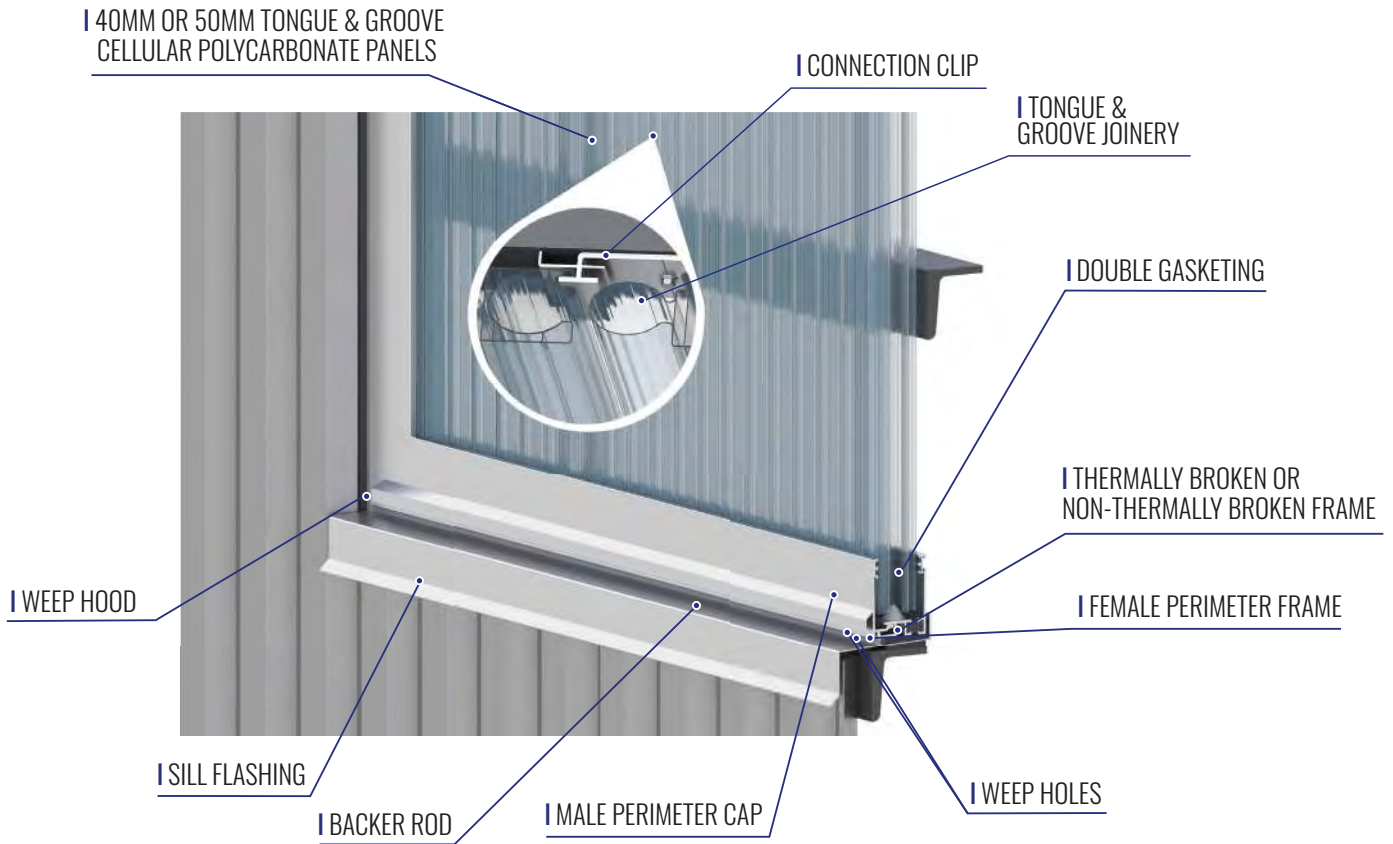
a wide range of structures in a wide range of industries and has been subjected to testing to meet building code standards. The LIGHTWALL® 3440 offers comfortable, diffused daylighting, superior insulation, durability, and weather-tight performance.

## SYSTEM FEATURES & BENEFITS

- Structural cellular polycarbonate panels are 500mm (19-11/16") wide
- Vertical panels up to 54' long eliminate leak-prone horizontal joints
- Highly insulating, from U-0.24 to 0.28 (R-3.5 to 4.2) for 40mm thick panels
- Optional thermal break for better insulation value for conditioned spaces
- Tongue and Groove joinery provides clean appearance without the need for vertical framing
- Highly impact resistant
- Low friction gaskets for long life
- Available in various colors and translucencies
- Complete Air/Water/Structural Testing
- Made in the USA
- Backed by EXTECH's more than 45 years of experience



## KEY ELEMENTS



## TEST RESULTS

### I Flammability Testing

- Self-ignition: ASTMD-1929
- Smoke Density: ASTM D-2843
- Burn Extent: ASTM D-635
- Interior Flame Spread: ASTM E-84

### I Weathering Testing

- Color Change: ASTM D-2244
- Yellowing Index: ASTM D-1925
- Light Transmission: ASTM D-1003
- Hurricane Impact: ASTM E-1886 & 1996

### I Miscellaneous

- Air Infiltration: ASTM E-283
- Water Infiltration: ASTM E-331
- Load Bearing Capability: E-330
- U-Value: ASTM C-518

CLOPAY COMMERCIAL – MODEL 3220

**energy** series

**Clopay®**



Model 3220, 16'2" x 14' Door

## POLYSTYRENE INSULATED FLUSH STEEL DOORS

Clopay Model 3220 doors have a 20 gauge exterior steel skin and are designed for commercial and industrial facilities where demanding conditions require a rugged door that is also energy efficient. R-value 9.1

- Bonded polystyrene insulation and thermal break for enhanced comfort.
- Three-layer construction with steel and insulation for increased durability.
- 3-stage paint process delivers a virtually maintenance-free finish.
- Injection-molded lite frames with integral weatherseal are durable and seal against the elements. Many glass options available for visibility, privacy or energy efficiency.



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat.

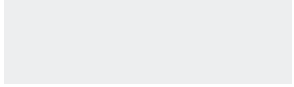
[clopaycommercial.com](http://clopaycommercial.com)

# PANEL DESIGN



Flush

# COLOR OPTIONS



Standard White



Chocolate

Due to the printing process, colors may vary.

# CUSTOM PAINT OPTION



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your building design. This durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

Due to solar reflective formulation to meet greater than a 38 LRV, some colors may not be available.

# FEATURES

## STANDARD HARDWARE

- TPE astragal in corrosion-resistant retainer
- Commercial 10-ball steel rollers (nylon tires available)
- Steel step plate and lift handle
- Galvanized steel end stiles
- Inside slide lock for increased security
- 2" (50.8 mm) or 3" (76.2 mm) track
- 10,000 cycle springs
- Galvanized aircraft cable with minimum 7:1 safety factor
- Variety of track configurations to meet building specifications

## MATERIALS AND CONSTRUCTION

Panel Thickness	2" (50.8 mm)
Insulation	2" (50.8 mm) bonded polystyrene
R-value	9.1*
U-Factor	0.24
Air Infiltration Rate	0.34 cfm/ft²
Thermal Break	Continuous silicone filled
Exterior Steel	20 gauge (.034" min.) (.86 mm)
Interior Steel	27 gauge (.016" min.) (.41 mm)
Exterior Surface	Stucco embossed, flush
Max Width	28'2" (8.6 m)
Max Height	26' (7.9 m)
Exterior Colors	Standard White and Chocolate. Also available in Color Blast®.
Interior Color	Standard White
Limited Warranties	10-year delamination 10-year standard paint 5-year Color Blast® finish 1-year material and workmanship

\*Calculated door section R-value is in accordance with DASMA TDS-163.

For special sizes, applications and options, consult customer service at 1-800-526-4301.

# ADDITIONAL OPTIONS

## WINDOW OPTIONS



24" x 8"



24" x 12"



Aluminum Full-View\*

\*Intellicore polyurethane insulated option also available. Available with insulated or insulated tempered glass. Full-view section, prepainted Standard White or Chocolate; glazing options include DSB, plexiglass, wire and insulated glass.

## HEAVY-DUTY HARDWARE (where not standard)



Double-end hinge



3" Track



High performance hardware features 10 gauge end hinges, heavy-duty top bracket and 3" sealed roller with 5/8" stem.

## MULLIONS



Carry-away, roll-away or swing-up mullions are available on select sizes.

## BREAK-AWAY SECTION



Single section and double sections available on select sizes.

## PASS DOOR



32" wide x 80" high (.81 m x 2.3 m), max 16'2" (4.9 m) wide section.

## EXHAUST PORT



Can be cut into any type of sectional door. Available in select sizes.

## SAFE-T-STOP™ CHAIN HOIST



Hand chain hoist with an integral braking system providing controlled descent for sectional doors.



WindCode® design pressure (DP) up to 37 PSF depending on size. Models tested 50% greater than DP.



EXTENDED  
8-YEAR  
HARDWARE  
WARRANTY

Upgrade your standard door with industrial-grade components.



CODE COMPLIANT

This Clopay door complies with the 2015 IECC (International Energy Conservation Code) with an air infiltration rating of .40 cfm/ft² or less (IECC, Section 402.5.2), and also meets the U-Factor requirement of .37 or less (IECC, Section C402.4, for Climate Zones 1 through 8).

## HIGH CYCLE SPRINGS



25,000, 50,000 or 100,000 cycle springs available.



For more information on these and other Clopay products, visit [clopaycommercial.com](http://clopaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).



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## **Application Cover Page**

**Docket No.: 07-66-24**

**Permit No.: BBS24-000074**

**Applicant Name: John D'Amico, The Great Garage Co.**

**Project Address: 2105 Lincoln Ave.**

**Project Name: n/a**

**Project: Applicant proposes the demolition and build of a new garage.**

June 20, 2024

The Great Garage Company  
1309 Ridge Rd. Ste. 4  
Hinckley, OH. 44233

Mr. & Mrs. Terrence Dziak  
2105 Lincoln Ave.  
Lakewood, OH. 44107

To whom It May Concern,

We, Terrence & Adrienne Dziak give permission to The Great Garage Company to apply for the ABR on our behalf.

Print: Terrence Dziak  
Adrienne Dziak  
Sign: Terrence Dziak  
Adrienne Dziak









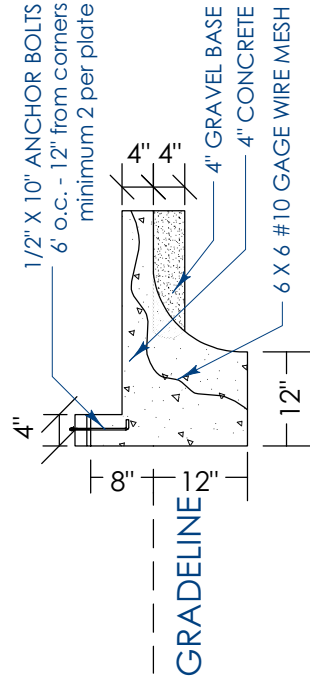




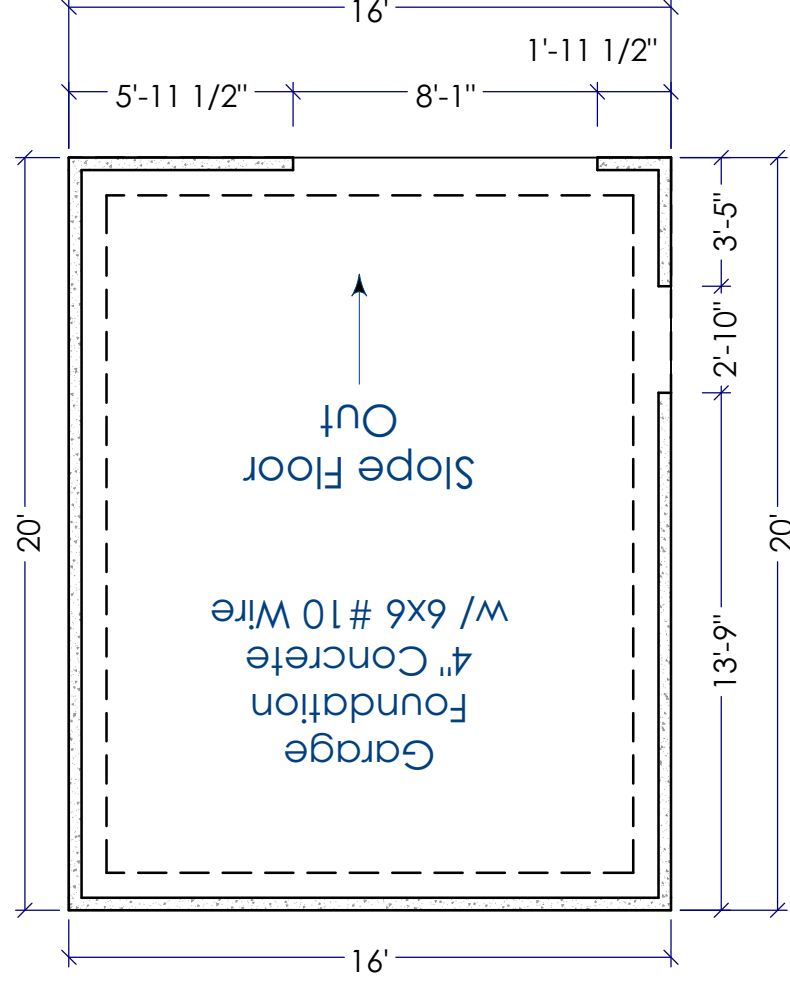




**Revised:**  
 The original plans for this garage have already been reviewed and approved. Since the approval, we have moved the overhead door and new concrete to the left side of garage instead of the right side.  
 The revisions can be seen on this new set of plans.



SECTION A



**IMPORTANT NOTICE TO HOMEOWNER:**  
 PLEASE HAVE POWER TO GARAGE SHUT OFF BEFORE DEMOLITION AND HAVE ELECTRIC POWER FROM THE HOUSE ACCESSIBLE FOR POWER TOOLS.

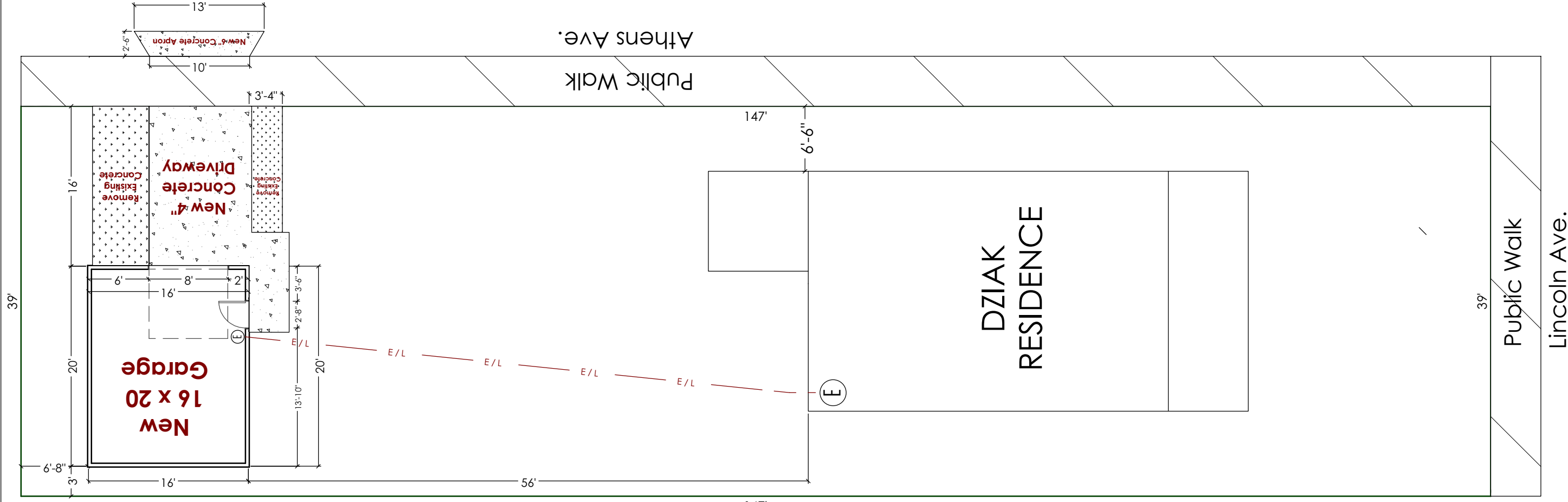
I (We) have reviewed these drawings and agree that it is a true representation of the work to be performed on my property.

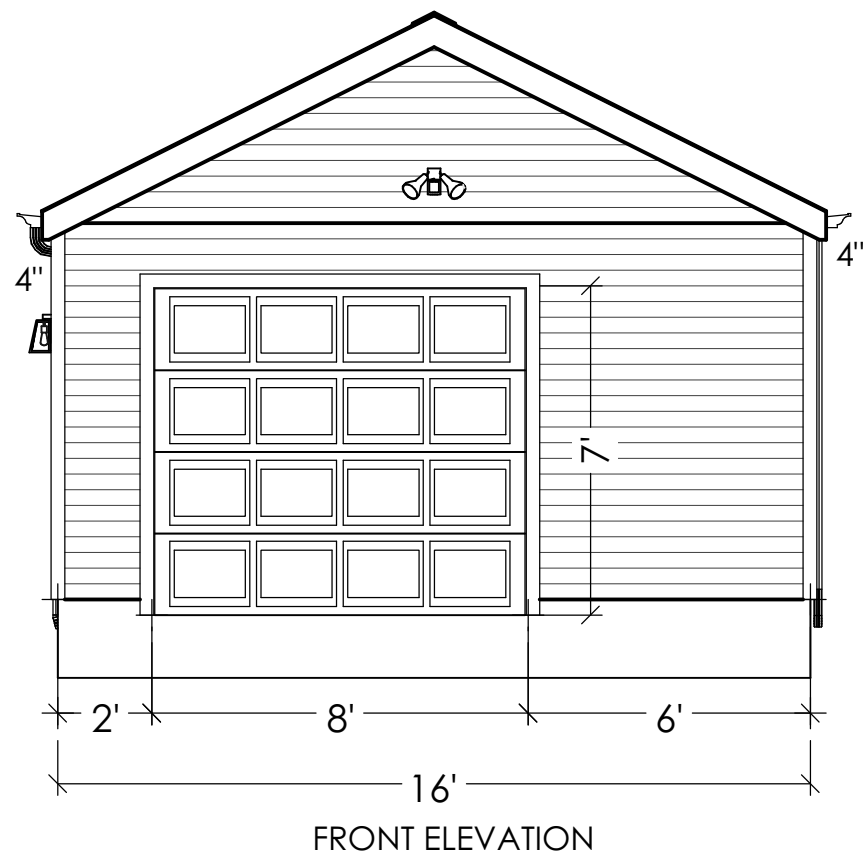
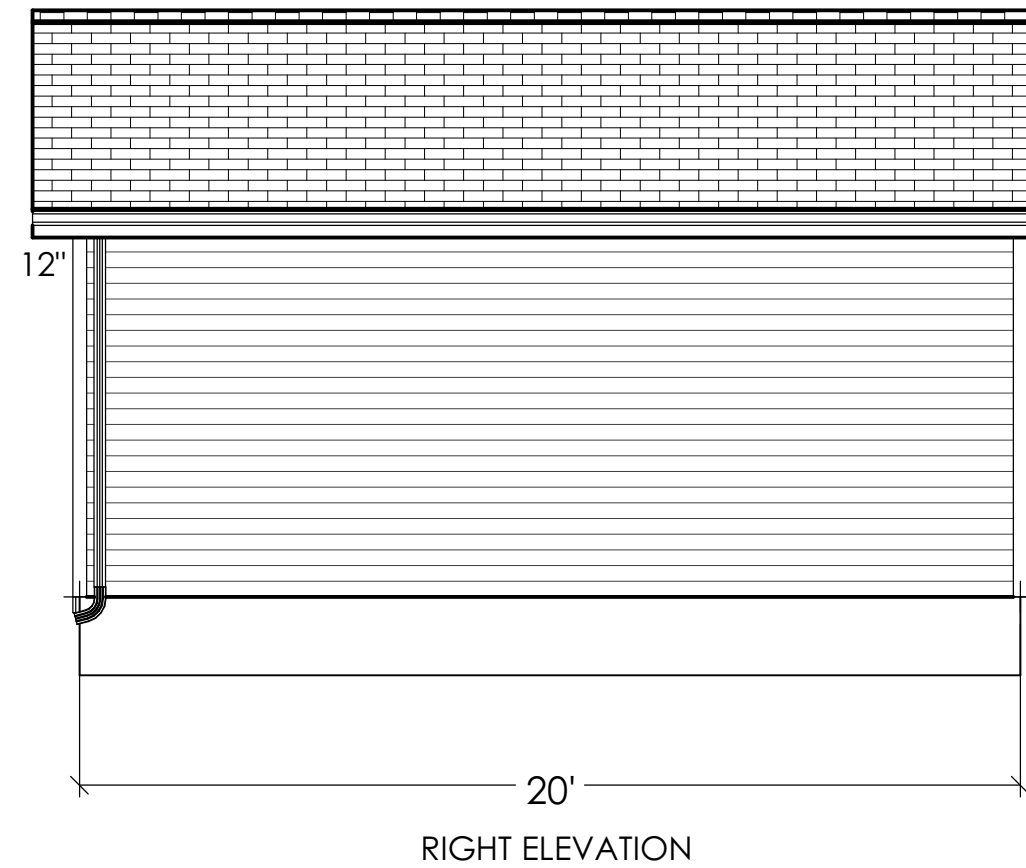
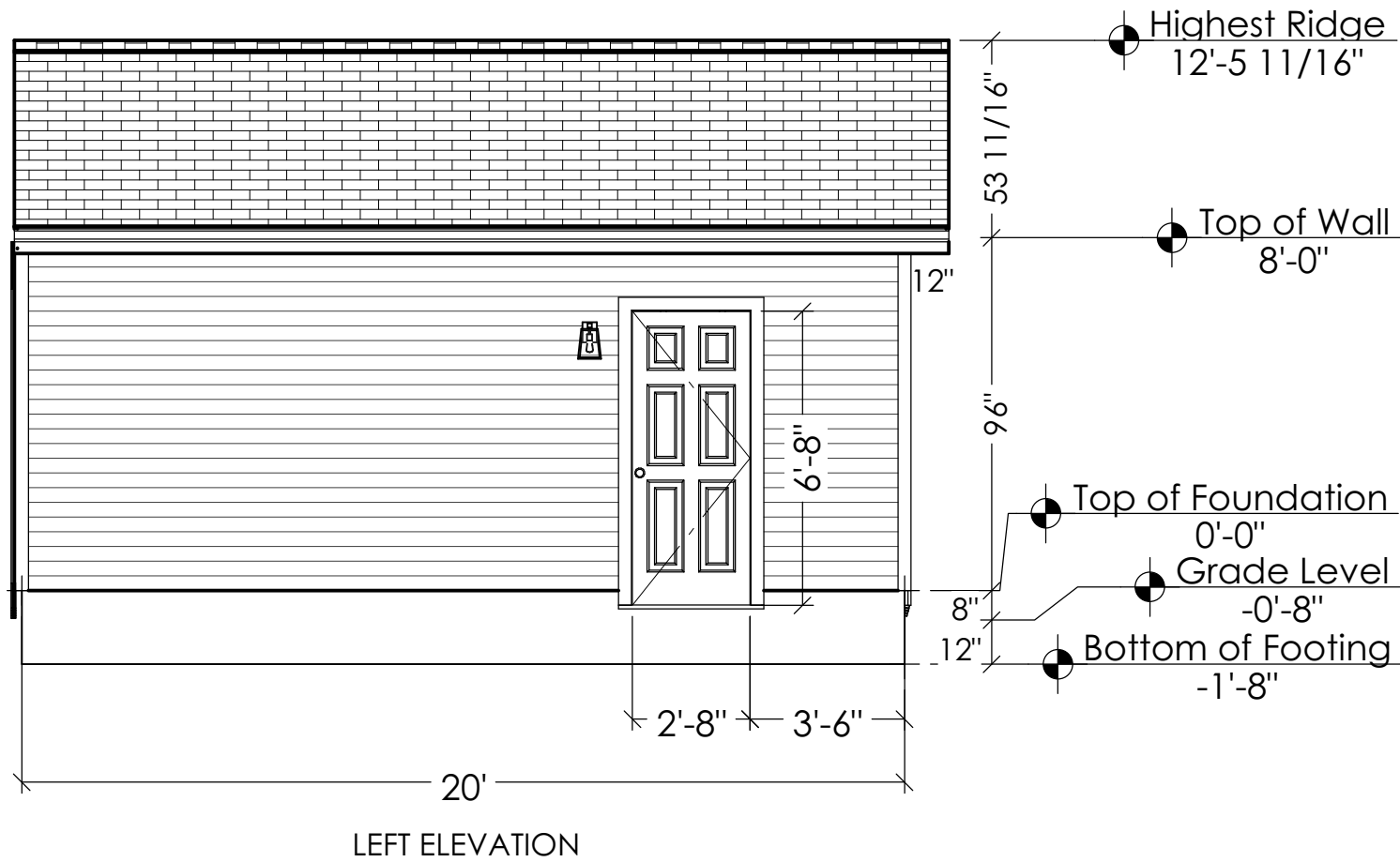
I also understand that I am responsible for the location of my property lines, painting, backfill and landscaping of my property.

Homeowner: \_\_\_\_\_

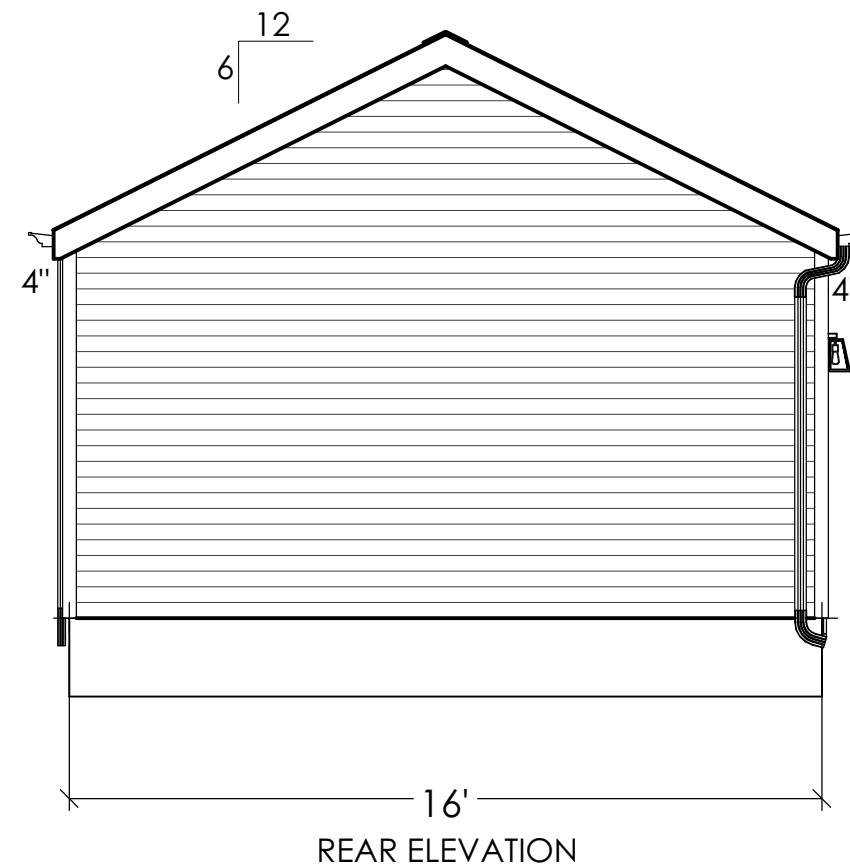
Homeowner: \_\_\_\_\_

Date: \_\_\_\_\_





Rear downspout splashes to left side yard.  
 Right downspouts splashes to drive  
  
 Gutter and downspout color: White



Terry and Adrienne Dziak  
 2105 Lincoln Ave.  
 Lakewood, OH 44107  
 216-526-7175

16 x 20 Gable Garage  
 Elevations

DRAWINGS PROVIDED BY:  
 Amy D'Amico  
 The Great Garage Company  
 1309 Ridge Road / Suite 4  
 Hinckley, OH 44233  
 440.230.9900

DATE:

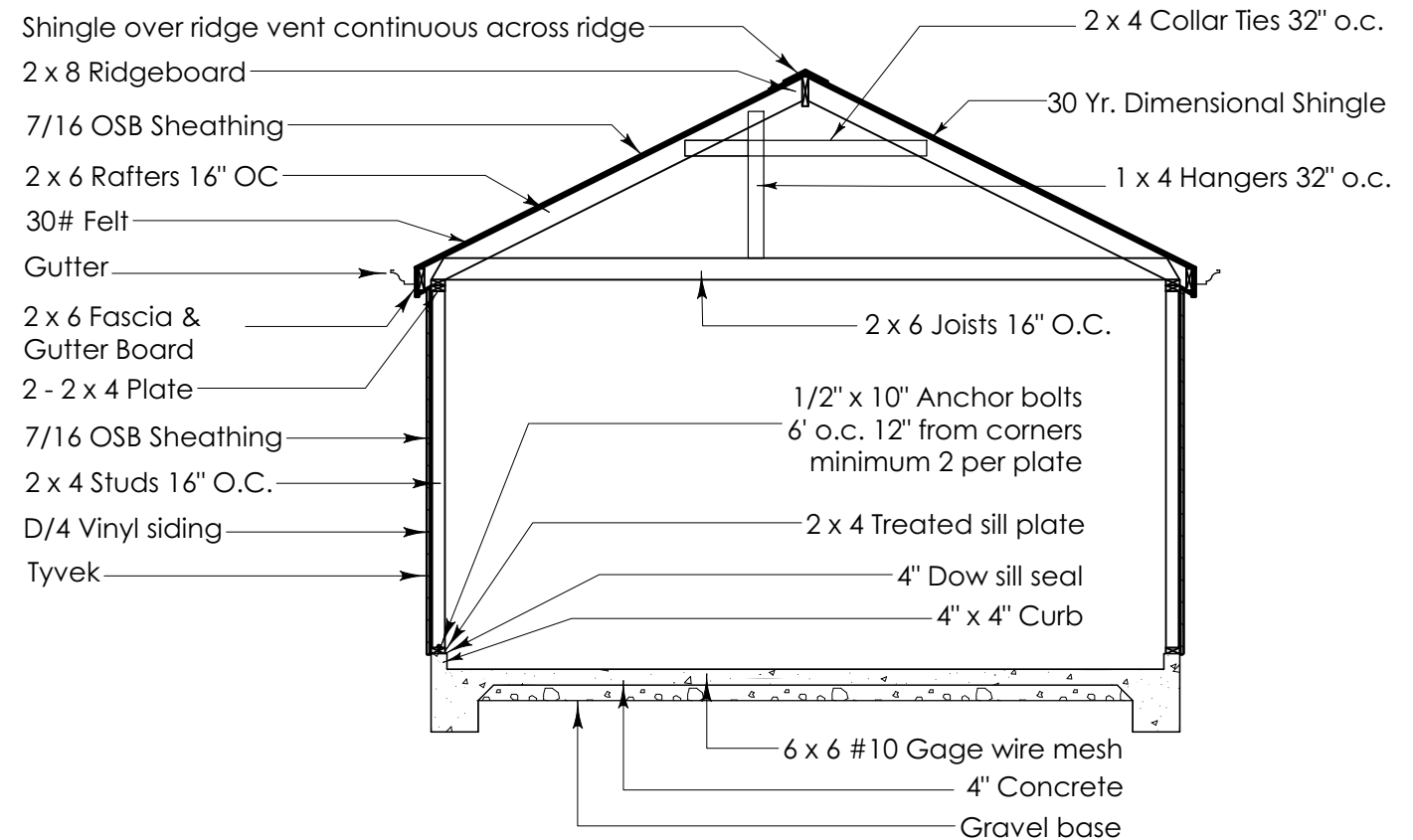
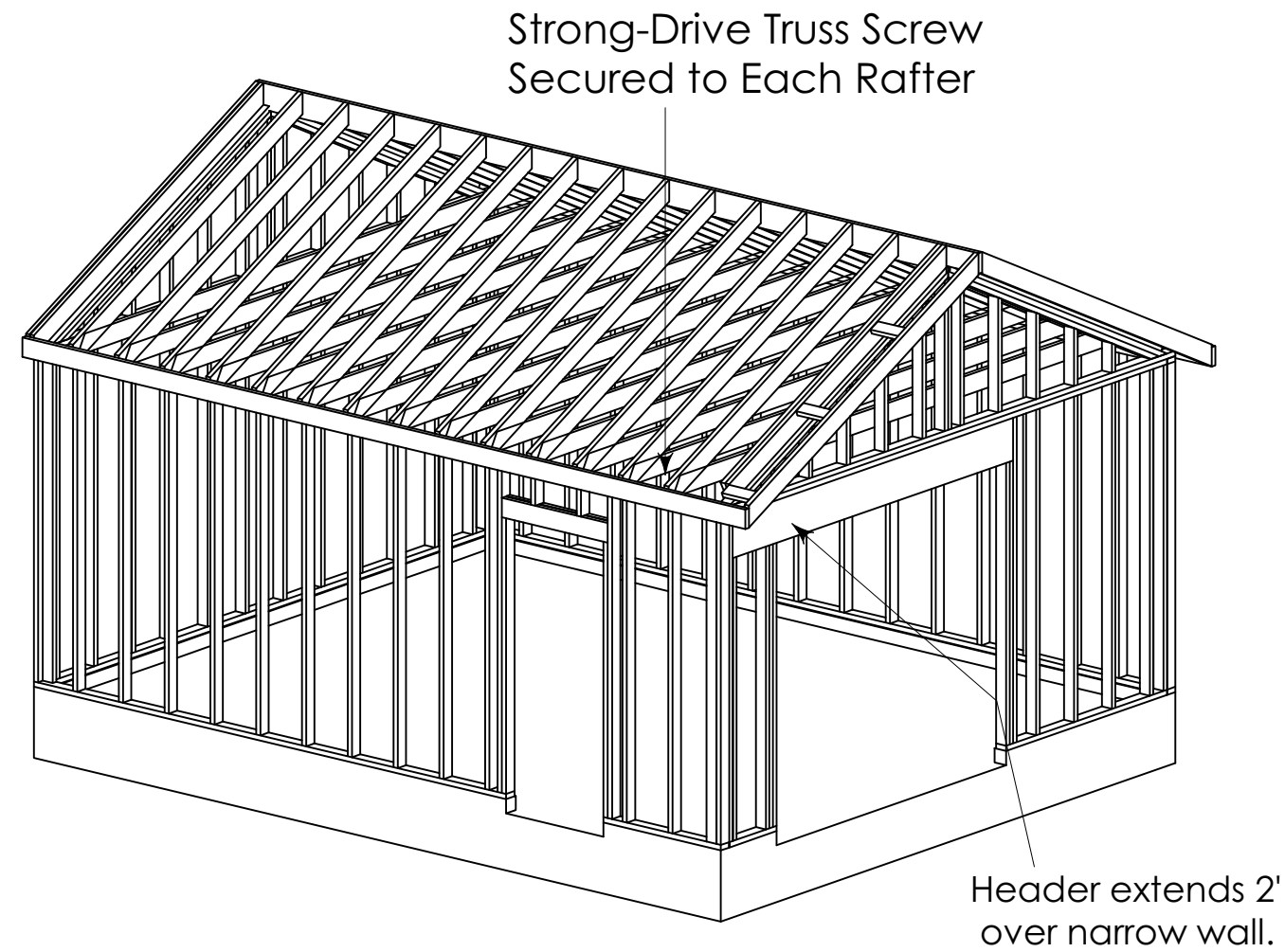
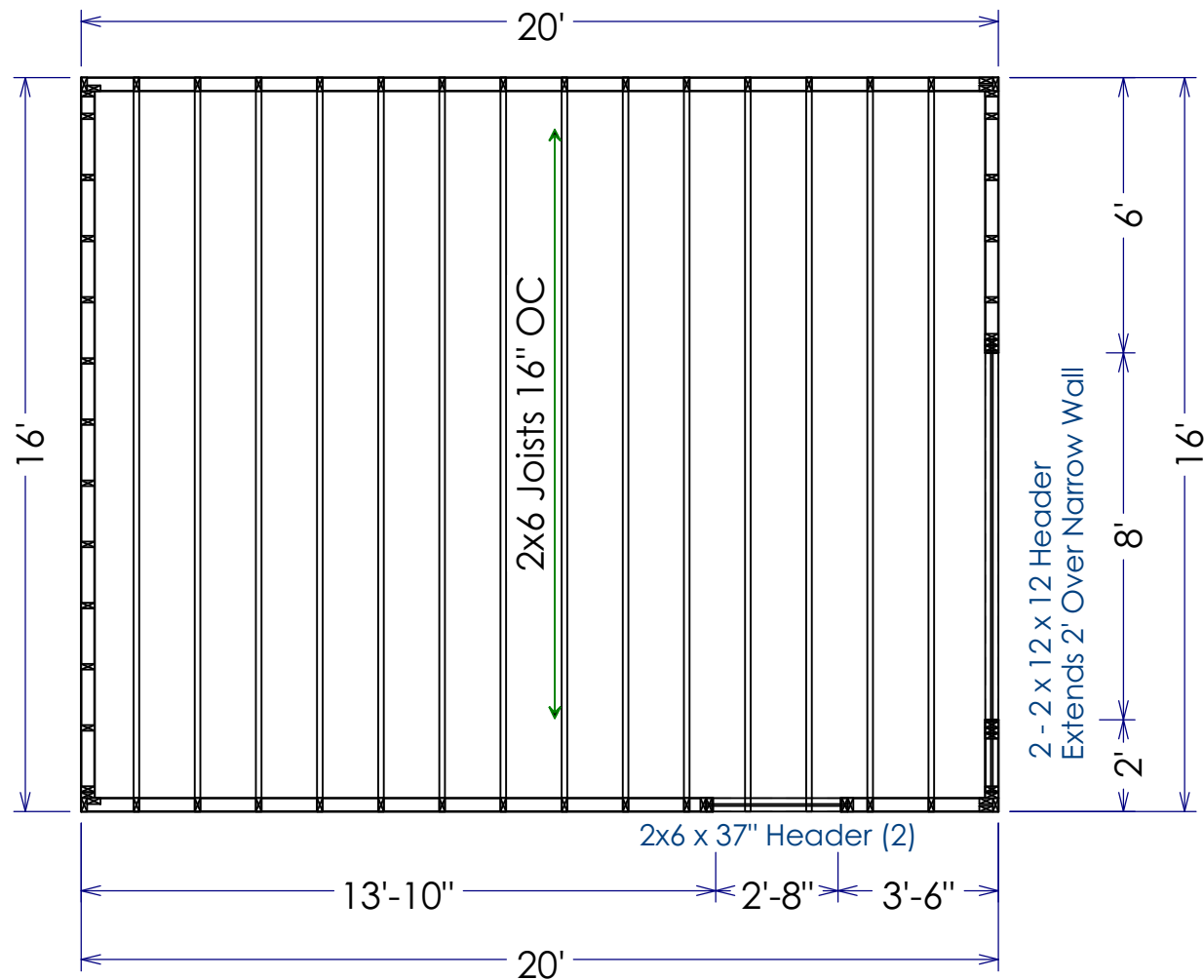
6/20/2024

SCALE:

1/4

SHEET:

P-2



Terry and Adrienne Dziak  
2105 Lincoln Ave.  
Lakewood, OH 44107  
216-526-7175

16 x 20 Gable Garage  
Structural

DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hinckley, OH 44233  
440.230.9900

DATE:

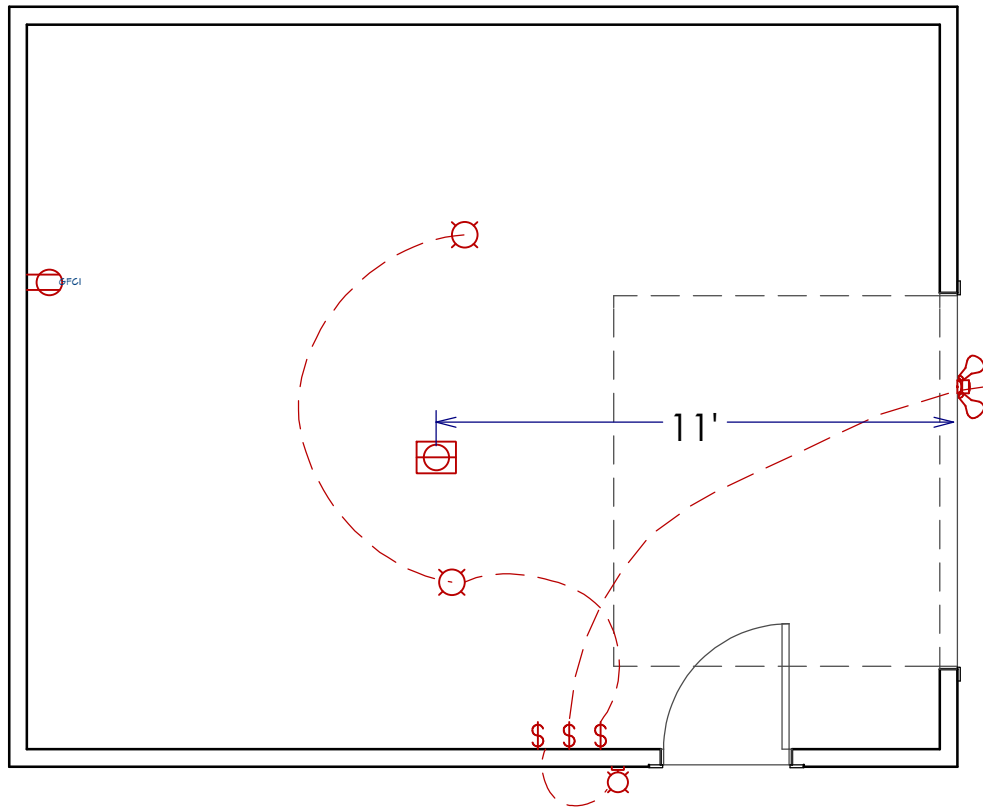
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SHEET:

P-3



Electrical Plan  
Scale: 1/4 in = 1 ft

**IMPORTANT NOTE TO ELECTRICIAN:**

Up to 60' underground feeder  
 All materials to be supplied by electrician  
 All wall receptacles in garage to be GFCI protected  
 Garage door opener to be single receptacle

**Garage with a 60 amp sub-panel:**

Underground to garage to be in a minimum of 3/4" rigid metal conduit a minimum of 6" deep (or 3/4" PVC conduit a minimum of 18" deep) with 3) #6 THHN and a #10 ground on a 60 amp double pole breaker in the house panel and a 60 amp double pole main in the garage sub-panel. Install a grounding rod at the garage sub-panel. Rear outlet/outlets for each bay are on a dedicated circuit.

ELECTRICAL SCHEDULE				
QTY	FLOOR	DESCRIPTION	2D SYMBOL	3D ELEVATION
1	1	ELECTRICAL DOUBLE SPOT LIGHT AND MOTION SUPPLIED BY ELECTRICIAN		
1	1	SCONCE LIGHT PROVIDED BY ELECTRICIAN		
1	1	SINGLE, CEILING MOUNTED		
2	1	BARE BULB		
3	1	SINGLE POLE		
1	1	GFCI		

Electrical Schedule

**IMPORTANT NOTE TO HOMEOWNER:**

PLEASE make arrangements to be home when the electricians are scheduled. They will need to get to the panel in your house.

We will email you a detailed build schedule, once it is set up.  
**THANK YOU**

Terry and Adrienne Dziak  
 2105 Lincoln Ave.  
 Lakewood, OH 44107  
 216-526-7175

16 x 20 Gable Garage  
 Electrical

DRAWINGS PROVIDED BY:  
 Amy D'Amico  
 The Great Garage Company  
 1309 Ridge Road / Suite 4  
 Hinckley, OH 44233  
 440.230.9900

DATE:

6/20/2024

SCALE:

SHEET:

P-4

### Rafter / Truss / Plate Fastening



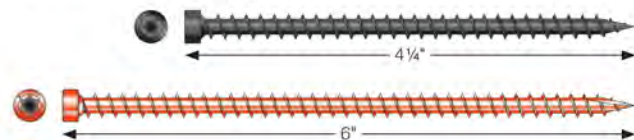
## Strong-Drive® SDWC TRUSS Screw

#### Rafter/Truss-to-Plate and Stud-to-Plate Connections

The SDWC screw is tested in accordance with ICC-ES AC233 (screw) and AC13 (wall assembly and roof-to-wall assembly) for uplift and lateral loads between wall plates and vertical wall framing and between the top plate and the roof rafters or trusses. SDWC15450 is recognized for use in chemically treated wood as described in the evaluation report.

**Codes/Standards:** IAPMO-UES ER-262, State of Florida FL13975

For more information, see pp. 84-85, C-F-2019 Fastening Systems Catalog



#### SDWC — Allowable Shear Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Member Thickness (in.)		Reference Allowable Shear Loads (lb.)					
			Side Member	Main Member	Z <sub>para</sub> <sup>1</sup>			Z <sub>perp</sub> <sup>1</sup>		
					SP	DFL	SPF	SP	DFL	SPF
0.15 x 4 1/2	SDWC15450	4 1/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
			(2)2x (Face)	2x (Edge)	245	240	180	240	240	240
0.15 x 6	SDWC15600	5 3/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
			(2)2x (Face)	2x (End grain)	—	—	—	225	225	190

1. Allowable loads are shown at the wood load duration factor of C<sub>D</sub> = 1.0. Loads may be increased for load duration up to a C<sub>D</sub> = 1.6.
2. Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
3. The main and side members shall be sawn lumber or structural composite lumber with a specific gravity or equivalent specific gravity 0.42 to 0.55.
4. Z<sub>para</sub> — Parallel-to-grain loading in the side member and perpendicular-to-grain loading in the main member.
5. Z<sub>perp</sub> — Perpendicular-to-grain loading in the side member and perpendicular-to-grain loading in the main member, except for 2x (edge) where main member is loaded parallel to grain.
6. The connection conditions of this table are for specific intended applications. Reference lateral design values for all other shear connections are calculated following the NDS.

#### SDWC — Allowable Withdrawal and Pull-Through Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Main Member Thickness (in.)	Reference Allowable Withdrawal Loads (lb./in.)			Reference Allowable Pull-Through Loads (lb./in.)		
				SP	DFL	SPF	SP	DFL	SPF
0.15 x 4 1/2	SDWC15450	4 1/4	2x (End Grain)	200	140	100	210	180	175
			2x (Face)	210	180	120	255	195	160
0.15 x 6	SDWC15600	5 3/4	(2) 2x (Face)	220	200	160	240	225	190

1. Allowable loads are shown at the wood load duration factor of C<sub>D</sub> = 1.0. Loads may be increased for load duration up to a C<sub>D</sub> = 1.6.
2. Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
3. The reference withdrawal and pull-through values are in pounds per inch of the thread penetration into the main member and a minimum 1 1/2" thick side member, respectively.

602.10.6.3 Method PFG: Portal frame at garage door openings in Seismic Design Categories A, B and C. Where supporting a roof or one story and a roof, a Method PFG braced wall panel constructed in accordance with Figure 602.10.6.3 shall be permitted either side of garage door openings.

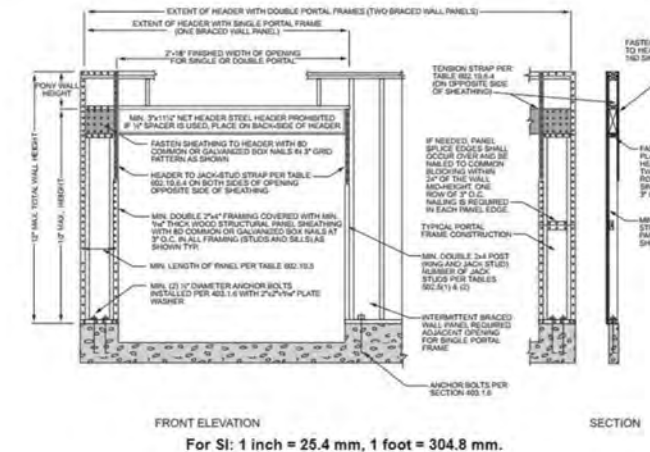


FIGURE 602.10.6.3 METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C



### 2019 Residential Code of Ohio

Categories: Ohio

#### About this Title

This is an integrated code based on the 2018 International Residential Code®.

Terry and Adrienne Dziak  
2105 Lincoln Ave.  
Lakewood, OH 44107  
216-526-7175

16 x 20 Gable Garage  
Truss Screw & Narrow Wall

DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hinckley, OH 44233  
440.230.9900

DATE:

6/20/2024

SCALE:

SHEET:

P-5



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## Product Summary

Model 4240

### Size

Width: 8' 0" X Height: 7' 0"

### Products

Timeless: Raised Panel

### Design

Long Panel

### Thermal Requirements / Construction

R-N/A / 2", Heavy Duty, 1-Sided Steel, No Insulation

### Color

Solid Color: Sandstone

### Windows

Position: NO WINDOWS

Window Inserts: No Inserts

**Please Note:** These woodtones, colors, and door panels are to be used as an indication only. Some sizes not available in all models and configurations. Refer to your local C.H.I. Dealer for the exact look of your garage door and availability.

# The Great Garage Company, Inc.

[www.greatgaragecompany.com](http://www.greatgaragecompany.com)

---

1309 Ridge Rd. Suite 4  
Hinckley, OH 44233  
440.230.9900

City of Lakewood  
Architectural Review Board  
12650 Detroit Avenue  
Lakewood, OH 44107

## Colors and Materials for a New Garage at:

Terrence and Adrienne Dziak  
2105 Lincoln Ave.  
Lakewood, OH 44107

Roofing Shingle: Certainteed Landmark 30-year dimensional shingle  
Color: Cobblestone Gray

Siding: Alside Odyssey D4 Straight Lap Siding  
Color: Adobe Cream

Trim and Soffit:  
Color: White

Overhead Door:  
CHI 8 x 7 4240 Non-Insulated Long Panel Door  
Color: Sandstone  
See DoorVision Spec Sheet



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## **Application Cover Page**

**Docket No.: 07-67-24**

**Permit No.: BBS24-000075**

**Applicant Name: Daniel Margulies, Daniel Margulies Co. Inc.**

**Project Address: 17620 Riverside Dr.**

**Project Name: n/a**

**Project: Applicant proposes a two-story addition, renovation, and new detached garage for an existing home.**

---

**Marni M Meredith**

19760 Riverside Drive  
Lakewood, OH 44107  
(216) 536-0830

June 21, 2024

**City of Lakewood**

Division of Housing & Building  
12650 Detroit Avenue  
Lakewood, OH 44107

Dear Members of the Architectural Board of Review,

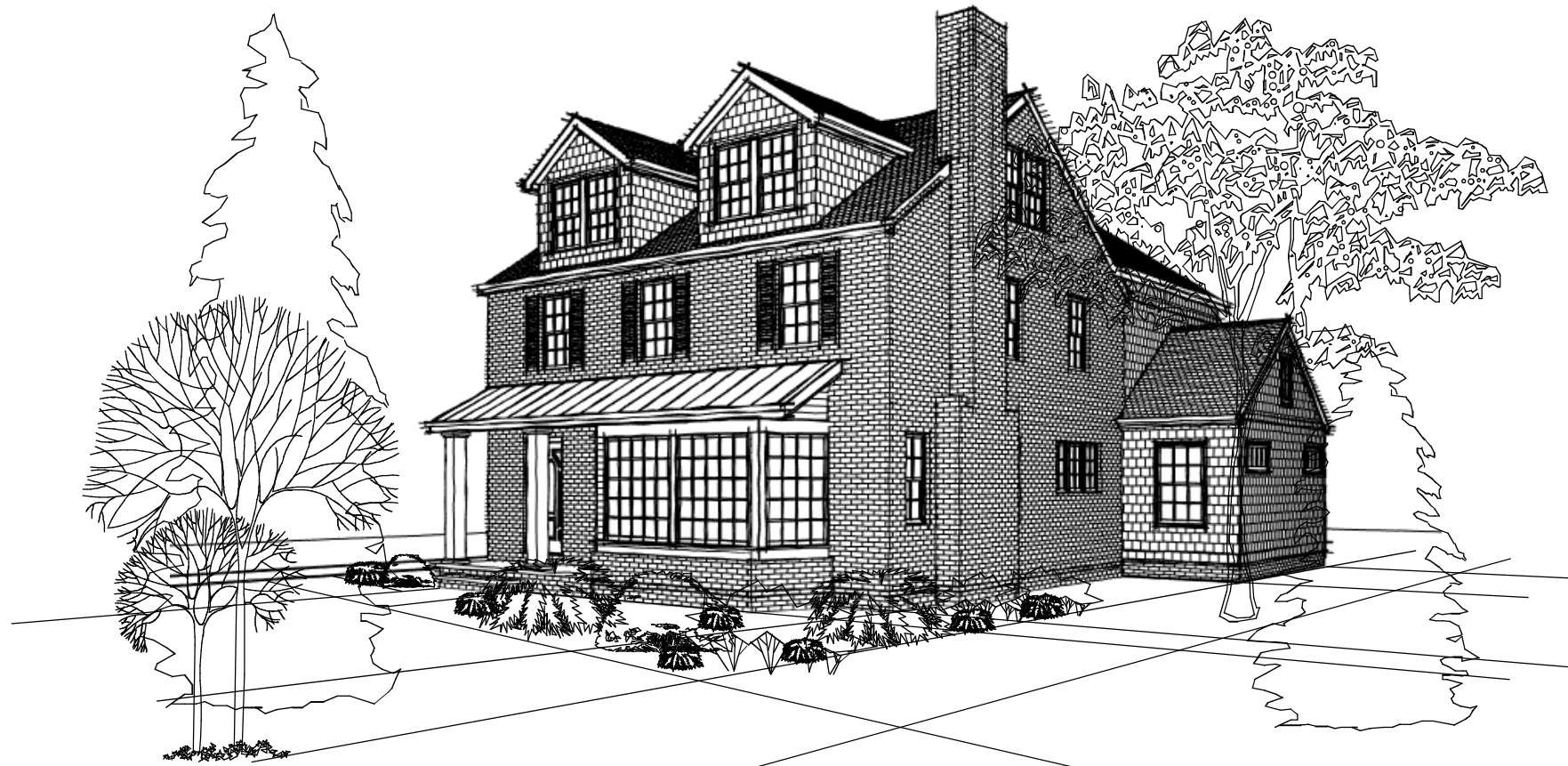
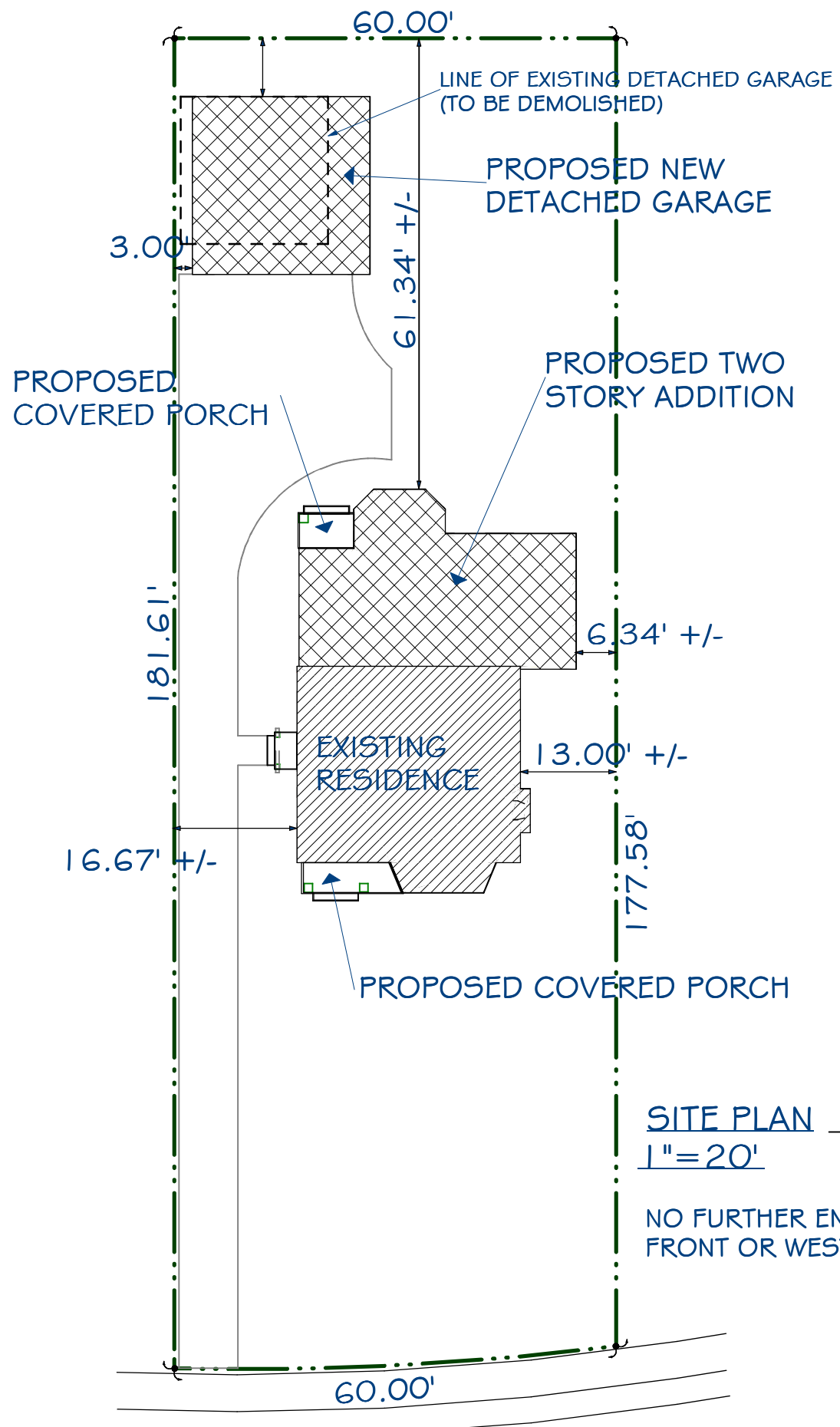
My name is Marni Meredith, and I recently purchased a home at 17620 Riverside Drive. I have been working closely with Dan Margulies over the past eight weeks, and he has helped me develop a design for an addition and some exterior renovations to improve the current appearance of my new home.

Unfortunately, I will not be able to attend the Review Meeting on July 11 at 5:30pm as I will be out of town. Mr. Margulies and his company have my permission to represent me as the homeowner and to also answer any questions on my behalf. Thank you for your understanding.

I appreciate your time and consideration.

Sincerely,

Marni Meredith



PERSPECTIVE VIEWING NORTHWEST  
N.T.S.

ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR. LAKEWOOD, OHIO

*DRAWING INDEX*

#	DESCRIPTION
1	COVER SHEET • DRAWING INDEX
2	FIRST and SECOND FLOOR PLANS
3	SOUTH, WEST and EAST EXTERIOR ELEVATIONS
4	EXTERIOR PERSPECTIVES
5	EXISTING CONDITIONS PHOTOGRAPHS

DESIGN: DANIEL MARGULIES COMPANY INC.  
 1210 CHASE AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: 440.356.0888  
 EMAIL: daniel@dmc.chicocoxmail.com

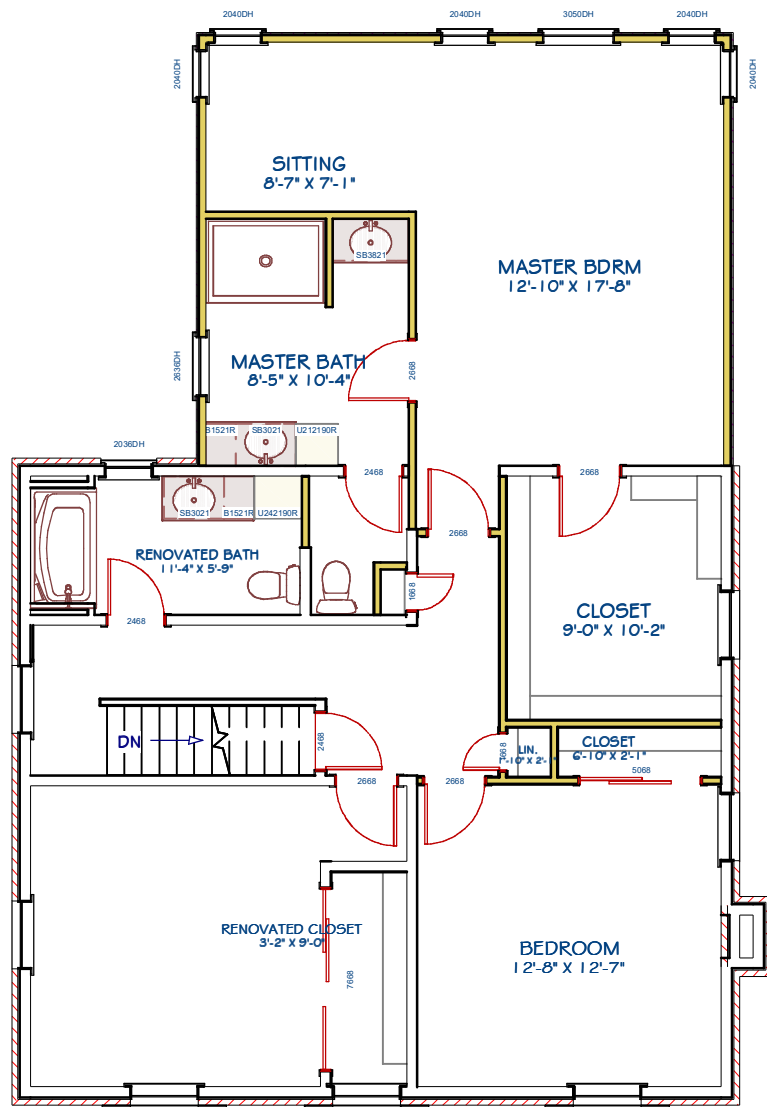


ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR. LAKEWOOD, OHIO

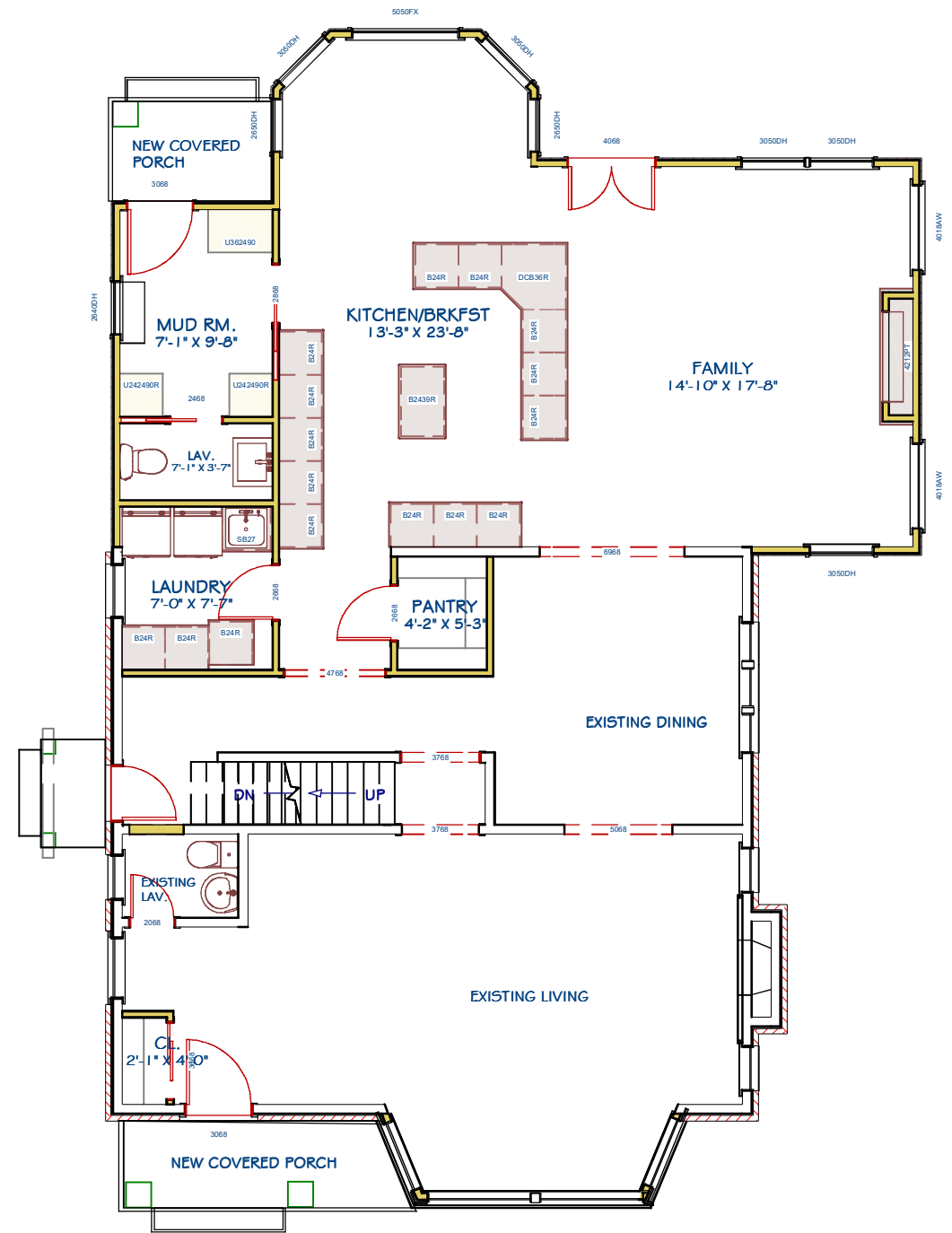
ISSUE DATE  
 06.21.24: FOR  
 LAKEWOOD ARB

SHEET NO.

1




SECOND FLOOR PLAN 5  
 1/8" = 1'-0"



FIRST FLOOR PLAN 5  
 1/8" = 1'-0"

REV.

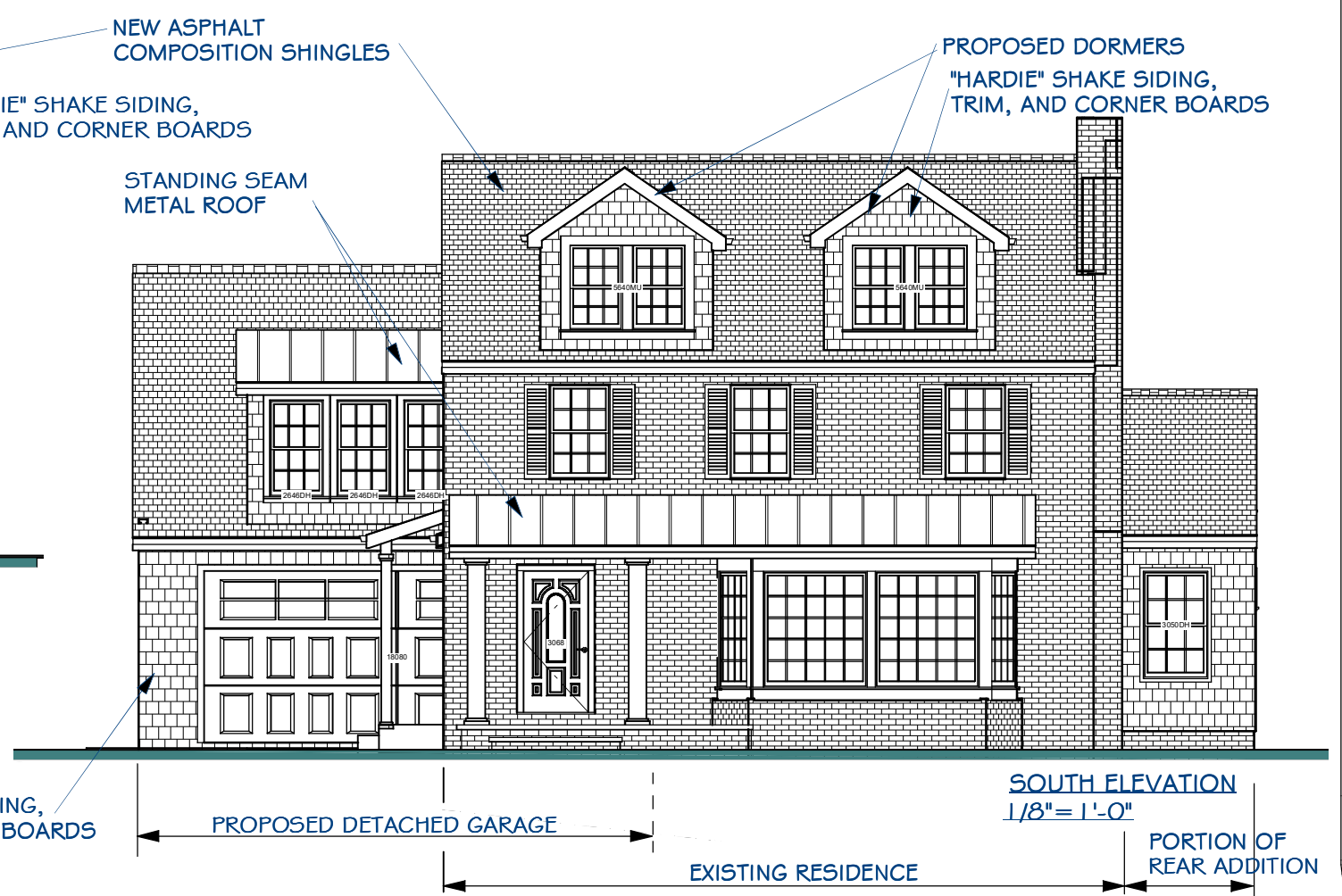
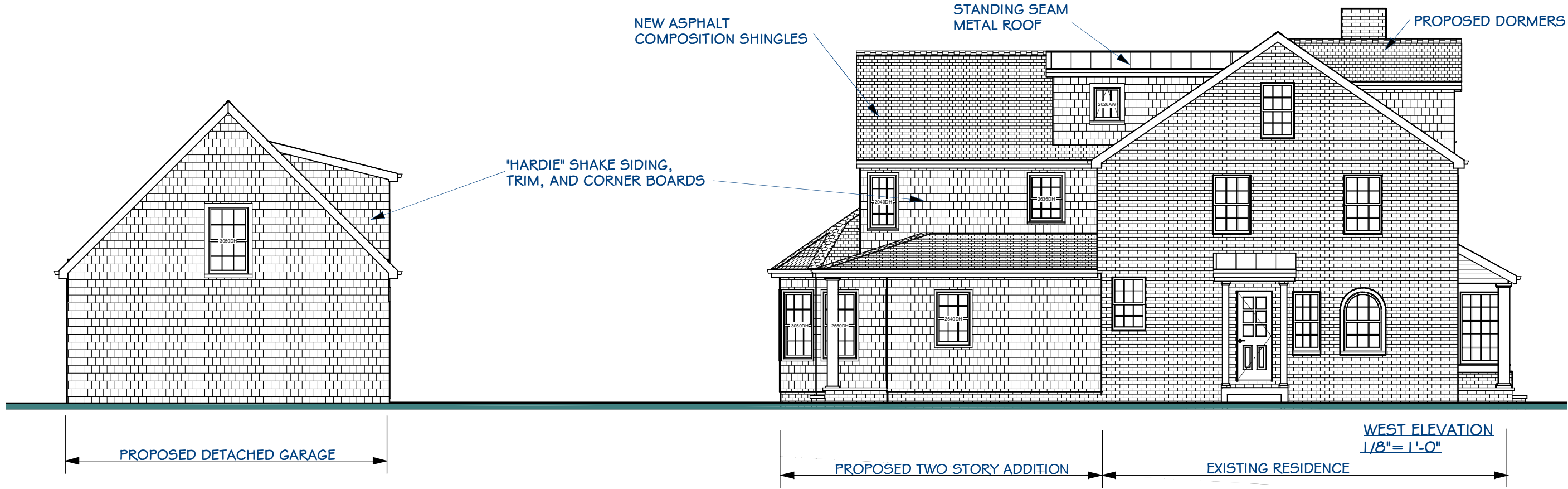
DESIGN: DANIEL MARGULIES COMPANY INC.  
 1210 CHASE AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: 440.356.0888  
 EMAIL: damiel@dmc.coxmail.com



ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR., LAKEWOOD, OHIO


ISSUE DATE  
 06.21.24: FOR  
 LAKEWOOD ARB

SHEET NO.  
**2**



REV.

DESIGN: DANIEL MARGULIES COMPANY INC.  
 1210 CHASE AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: 440.356.0888  
 EMAIL: damel@dmccoxmail.com



ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR., LAKEWOOD, OHIO

ISSUE DATE  
 06.21.24: FOR  
 LAKEWOOD ARB

SHEET NO.  
**3**



PERSPECTIVE VIEWING SOUTHWEST  
N.T.S.



PERSPECTIVE VIEWING NORTHEAST  
N.T.S.

DESIGN: DANIEL MARGULIES COMPANY INC.

1210 CHASE AVENUE

LAKEWOOD, OHIO 44107

TEL: 440.356.0888

EMAIL: daniel@dmc.ohiocoxmail.com



ADDITION AND RENOVATION for:

**THE MEREDITH RESIDENCE**

17620 RIVERSIDE DR., LAKEWOOD, OHIO

ISSUE DATE  
06.21.24: FOR  
LAKEWOOD ARB

SHEET NO.

4

REV.



EXISTING PHOTO VIEWING SOUTHWEST



EXISTING PHOTO VIEWING SOUTHEAST



EXISTING PHOTO VIEWING NORTHWEST



EXISTING PHOTO VIEWING NORTHEAST

REV.

DESIGN: DANIEL MARGULIES COMPANY INC.  
1210 CHASE AVENUE  
LAKEWOOD, OHIO 44107  
TEL: 440.356.0888  
EMAIL: daniel@dmc.ohiocoxmail.com



ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
17620 RIVERSIDE DR., LAKEWOOD, OHIO

ISSUE DATE  
06.21.24: FOR  
LAKEWOOD ARB

SHEET NO.

5



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-68-24**

**Permit No.: BBS24-000078**

**Applicant Name: Elizabeth Davis, Old World Classics LLC**

**Project Address: 1115 Wilbert Rd.**

**Project Name: n/a**

**Project: Applicant proposes an addition to an existing home.**




June 24<sup>th</sup>, 2024


City of Lakewood, Ohio  
12650 Detroit Ave.  
Cleveland, OH 44107

RE: Persteiner Home  
1115 Wilbert Road  
Lakewood, OH 44107

To whom it may concern,  
Please accept this letter as our approval to allow Old World Custom Homes (care of Lisa Davis and/or Jason Amato) to apply for and pick up all permits required for the construction of an addition at the above referenced address.

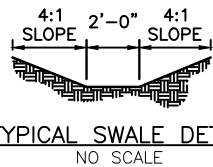
Thank you,

  
Thomas Pernsteiner (Jun 24, 2024 11:43 EDT)  
\_\_\_\_\_  
Thomas Pernsteiner

  
Kathleen Pernsteiner (Jun 24, 2024 12:36 EDT)  
\_\_\_\_\_  
Kathleen Pernsteiner

**LEGEND**

- CAPPED REBAR TO BE SET
- COO CURVE DATA
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- ⊗ EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- 00.00 NEW FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED GRADE ELEVATION  
00.0 EXISTING FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED TOP CONCRETE GRADE ELEVATION
- C.O. NEW LATERAL CLEAN OUT
- \* STABILIZED CONSTRUCTION ENTRANCE
- ➔ FLOOD ROUTE
- NEW TEMPORARY EROSION CONTROL (SILT SOXX)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- DEMOLITION AREA
- 780 NEW FINISHED GRADE CONTOURS
- 775 EXISTING GRADE CONTOURS
- 784 EXISTING SANITARY SEWER
- SAN EXISTING SANITARY LATERAL
- LAT EXISTING SANITARY LATERAL
- LAT NEW SANITARY LATERAL
- ST EXISTING STORM SEWER
- RD EXISTING STORM LATERAL
- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- WS EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- E NEW UTILITY SERVICE

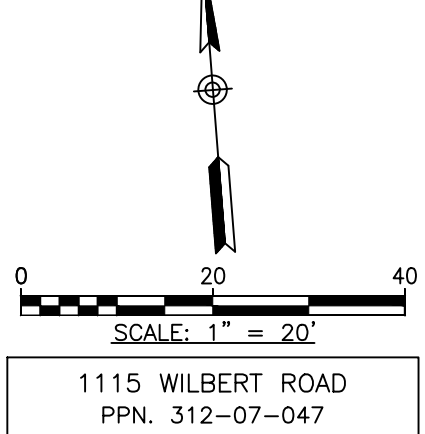
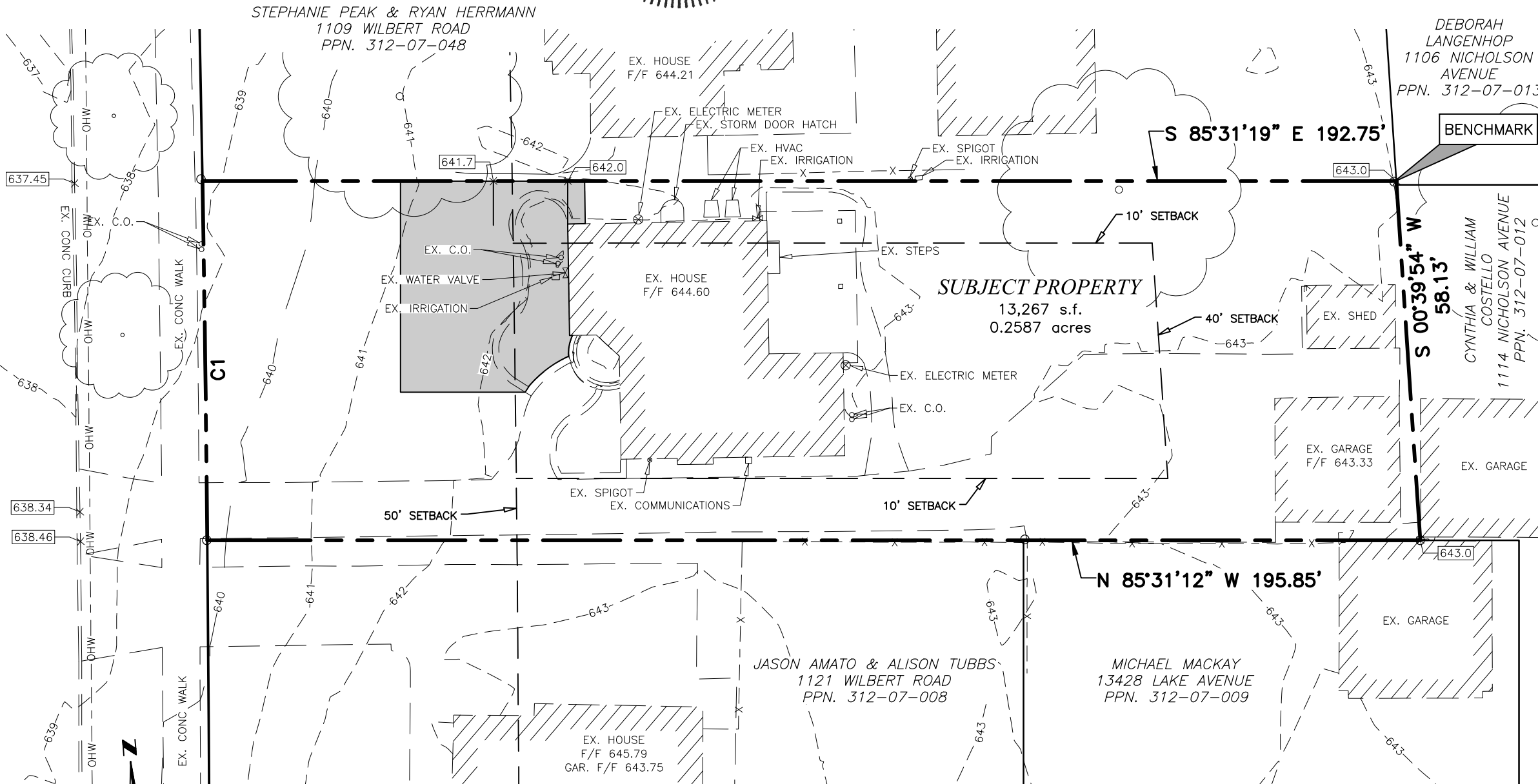


REVISIONS:

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	58.00'	8035.00'	0°24'49"	29.00'	58.00'	N 03°42'55" E

- CITY OF LAKEWOOD NOTES:**
- PREMIUM JOINTS SHALL BE USED FOR SANITARY AND STORM WORK
  - BUILDER/LANDSCAPER SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE HOUSE
  - GRADING BEYOND THE PROPERTY LINES IS PROHIBITED UNLESS WRITTEN PERMISSION IS GRANTED TO THE CONTRACTOR BY THE AFFECTED PROPERTY OWNER(S)
  - CONTRACTOR SHALL VERIFY SANITARY AND STORM HOOKUPS AND INVERTS PRIOR TO BASEMENT EXCAVATION
  - CONCRETE DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAKEWOOD CODIFIED ORDINANCES. STAMP CONCRETE DRIVEWAY AND SIDEWALK WITH THE FOLLOWING SYMBOLS FOR LOCATIONS OF CLEANOUTS AND VALVES:  
STORM - +; SANITARY - Δ; WATER - W
  - THE CONTRACTOR IS REQUIRED TO SCHEDULE AN INSPECTION FOR PERFORMING A DYE TEST TO PROVE THAT THE SANITARY AND STORM SEWER CONNECTIONS ARE PROPERLY CONNECTED. TESTING PROCEDURES SHALL BE PER THE CITY ENGINEER OR BUILDING COMMISSIONER REQUIREMENTS. APPROVAL IS REQUIRED BEFORE 2ND BUILDING PERMIT IS ISSUED
  - IN THE RIGHT OF WAY, 1) USE THE APPROPRIATE LAKEWOOD STANDARD DRAWINGS AND SPECIFICATIONS AND 2) CONTACT JOE SCHALLER (440)537-8945
  - STREET OPENINGS (IF REQUIRED) SHALL BE STEEL PLATED AND PAVEMENT RESTORED WITHIN 7 DAYS OF COMPLETION. TEMPORARY STONE IS NOT PERMITTED
  - CONTACT LAKEWOOD WATER/WASTEWATER DIVISION (216) 529-1867 BEFORE CONNECTING TO THE WATER CURB STOP
  - INSTALL THE CITY OF LAKEWOOD (NEPTUNE T-10 METER) AUTOMATIC READER
  - CLEANOUTS CAPS SHALL BE E-Z SET LOCATING PLUG CAPS
  - PRIOR TO OCCUPANCY, THE BUILDING PERMIT HOLDER SHALL PROVIDE THE BUILDING COMMISSIONER A LETTER FROM THE PROFESSIONAL SURVEYOR AFFIRMING THAT THE SITE HAS BEEN GRADED PER THE TOPO PLAN

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR. NW  
 NORTH CANTON, OHIO 44720  
 ANDREW EGGEMAN  
 330-494-0228



- SWPPP NOTES:**
- USE SILT SOX INSTEAD OF SILT FENCE AND IN THE RIGHT OF WAY USE ADS FLEX STORM INLET PROTECTION ONLY FOR THE NEAREST CATCH BASINS THAT DRAIN FROM THE SITE.
  - ALL BMP'S SHALL BE IN PLACE PRIOR TO CONSTRUCTION OR DEMOLITION.
  - BUILDING PERMIT HOLDER IS RESPONSIBLE FROM THE BEGINNING OF CONSTRUCTION TO COMPLETION FOR THE FOLLOWING: 1) INFORMING ALL CONTRACTORS OF THESE REQUIREMENTS, 2) ENSURING COMPLIANCE WITH THIS PLAN, 3) ENSURING MAINTENANCE OF BMP'S, AND 4)
- PENALTIES/FINES IF NONCOMPLIANCE IS DETERMINED IN ACCORDANCE WITH CODIFIED SHORD 1138.**
- 4. GENERAL SEQUENCE IS:**  
**BUILDING PERMIT NO. 1** - 1) INSTALL EROSION AND SEDIMENT CONTROLS (BMP'S), 2) INSTALL UNDERGROUND UTILITIES, 3) EXCAVATE BASEMENT AND FOOTINGS, 4) POUR FOUNDATION, 5) CONSTRUCT FOUNDATION WALLS, 6) CONSTRUCT OR POUR FIRST FLOOR SLAB, 7) BACKFILL FOUNDATION, 8) ROUGH GRADE, 9) CLEAN SITE OF DEBRIS, 10) TEMPORARY GRASS SEEDING, AND 11) SCHEDULE AND PASS ALL REQUIRED INSPECTIONS WHEN REQUIRED.
- BUILDING PERMIT NO. 2** - 1) MOBILIZE REMAINING CONSTRUCTION MATERIALS, 2) FRAMING, 3) INTERIOR EXTERIOR WORK, 4) POUR DRIVEWAYS/SIDEWALKS, 5) FINE GRADE LOT, (ALL BMP'S MUST BE IN PLACE AND MAINTAINED FOR FINAL GRADE INSPECTION), AND 6) SCHEDULE AND PASS ALL INSPECTIONS WHEN REQUIRED. 5. CONCRETE TRUCK WASHOUT AREA IDENTIFIED. FOR SITES WITHOUT A DESIGNATED AREA, PROVIDE AN AREA ON THE BUILDING SITE FOR A VINYL-CON CONCRETE WASHOUT BAG (OR APPROVED EQUAL) 6. ALL WASTE AND DUMPSTER CONTAINERS SHALL BE COVERED AT THE END OF EACH WORK DAY.

**LOT BENCHMARK:**  
 5/8" CAPPED REBAR (HANTEL 5129)  
 LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 643.07

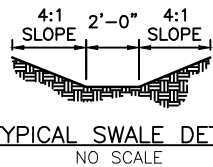
**PLOT PLAN PREPARED FOR**  
 OLD WORLD CUSTOM HOMES  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 565 White Pond Dr. Akron, OH 44320-1123  
 Phone 330-836-0228 Fax 330-836-5782

PAGE 1 OF 2  
 DATE: 6/26/2024  
 DRAWN BY: BAW  
 PROJECT No. 57096

**LEGEND**

- CAPPED REBAR TO BE SET
- COO CURVE DATA
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- ⊗ EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- 00.00 NEW FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED GRADE ELEVATION  
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- C.O. NEW LATERAL CLEAN OUT
- \* STABILIZED CONSTRUCTION ENTRANCE
- ➔ FLOOD ROUTE
- NEW TEMPORARY EROSION CONTROL (SILT SOXX)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- DEMOLITION AREA
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- 784 EXISTING SANITARY SEWER
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- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- WS EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- E NEW UTILITY SERVICE

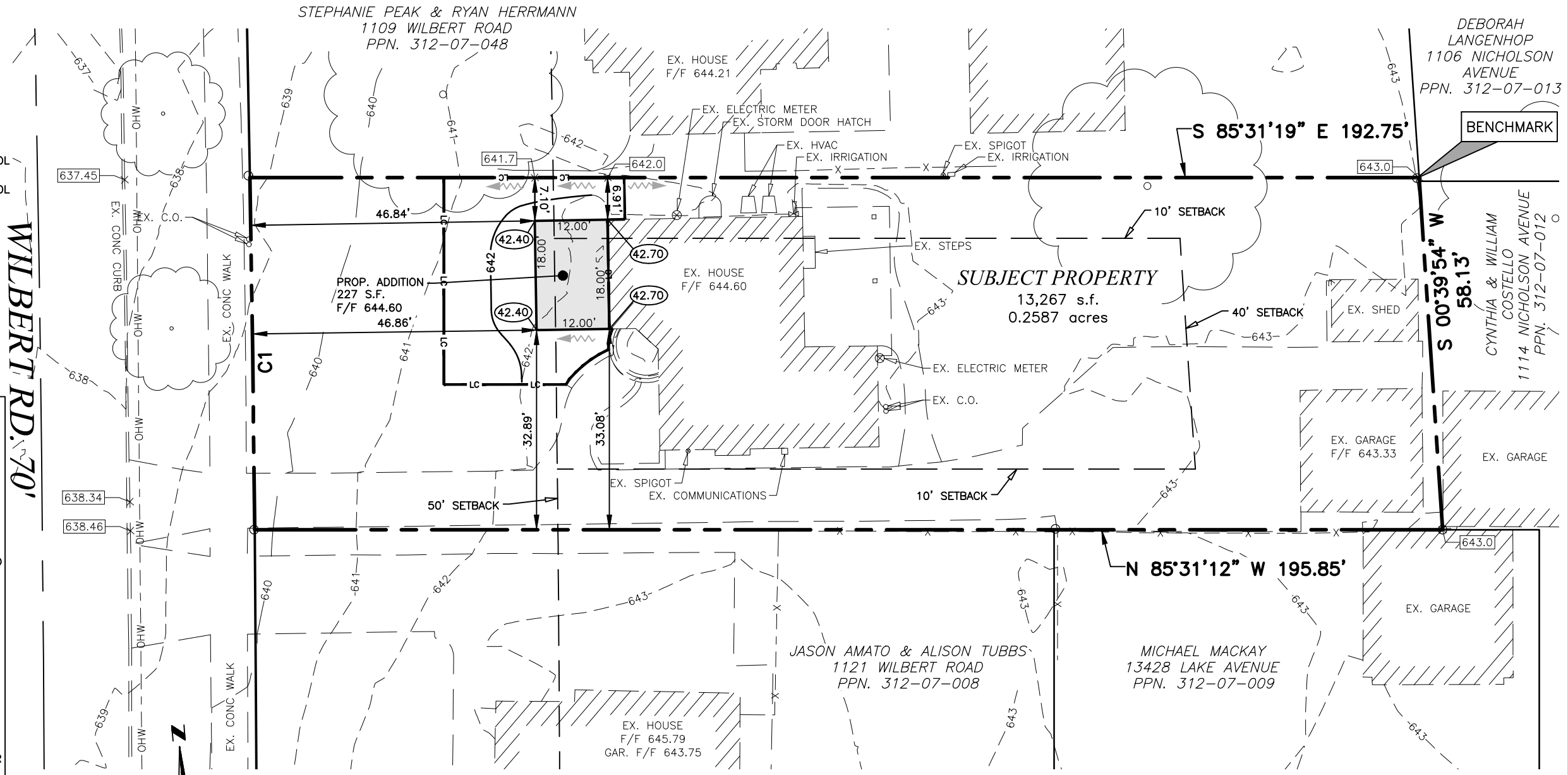


REVISIONS:

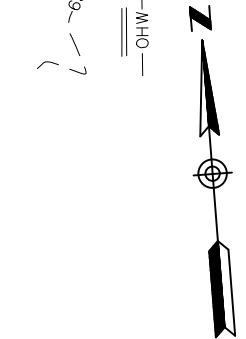
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	58.00'	8035.00'	0°24'49"	29.00'	58.00'	N 03°42'55" E

- PLOT PLAN NOTES:**
1. THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN.
  2. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION.
  4. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER SURVEY DATED MARCH 2023 AND UTILITY RECORDS.
  5. EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED MARCH 2023.
  6. FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
  7. FOUNDATION DRAIN SUMP PUMP IS REQUIRED UNLESS HOMEOWNER DETERMINES OTHERWISE DURING CONSTRUCTION.
  8. 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
  9. MOWABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
  10. TEMPORARY CONSTRUCTION DRIVE TO BE MINIMUM 30' LONG WITH 8" LAYER OF #1 AND #2 AGGREGATE OVER GEOTEXTILE FABRIC AND IN SAME LOCATION AS THE PERMANENT DRIVEWAY.
  11. TEMPORARY CONCRETE WASHOUT BASIN TO BE LOCATED ON OPPOSITE SIDE OF LOT FROM CONSTRUCTION DRIVE OR BY HOMEOWNER DURING CONSTRUCTION TRAILER.
  12. CONTRACTOR MUST CHECK THE BENCHMARK ELEVATION WITH THE TOP OF CURB ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
  13. IF CURB CUT REQUIRED, MAINTAIN 1" BOTTOM LIP AT DRIVEWAY.
  14. ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR. NW  
 NORTH CANTON, OHIO 44720  
 ANDREW EGEMAN  
 330-494-0228



WILBERT RD. 70'



SCALE: 1" = 20'

1115 WILBERT ROAD  
 PPN. 312-07-047

ZONING: R1M  
 FRONT SETBACK - 50'  
 REAR SETBACK - 40'  
 SIDE SETBACK - 10'  
 MINIMUM SUM OF BOTH SIDES = 20'  
 LOT COVERAGE = 15%

**LOT BENCHMARK:**  
 5/8" CAPPED REBAR (HANTEL 5129)  
 LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 643.07

LIMITS OF DISTURBANCE = 0.021 ACRES  
 (920 S.F.)

PLOT PLAN PREPARED FOR  
 OLD WORLD CUSTOM HOMES  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 565 White Pond Dr. Akron, OH 44320-1123  
 Phone 330-836-0228 Fax 330-836-5782

PAGE 2 OF 2  
 DATE: 6/26/2024  
 DRAWN BY: BAW  
 PROJECT No. 57096

# THE PERNSTEINER RESIDENCE

1115 WILBERT RD., LAKEWOOD, OH 44107

## DRAWING SCHEDULE

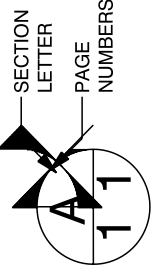
COVER SHEET	1
BASEMENT	2
FIRST FLOOR	3
SECOND FLOOR	4
FRONT ELEVATION	5
RIGHT ELEVATION	6
LEFT ELEVATION	7
ROOF PLAN	8
SECTIONS	9
GENERAL NOTES	10

The Pernsteiner Residence

1115 Wilbert Rd.  
Lakewood OH 44107

DRAWN BY:  
SCALE: As Noted  
DATE: 6/19/2024

PAGE: **1**  
COVER SHEET

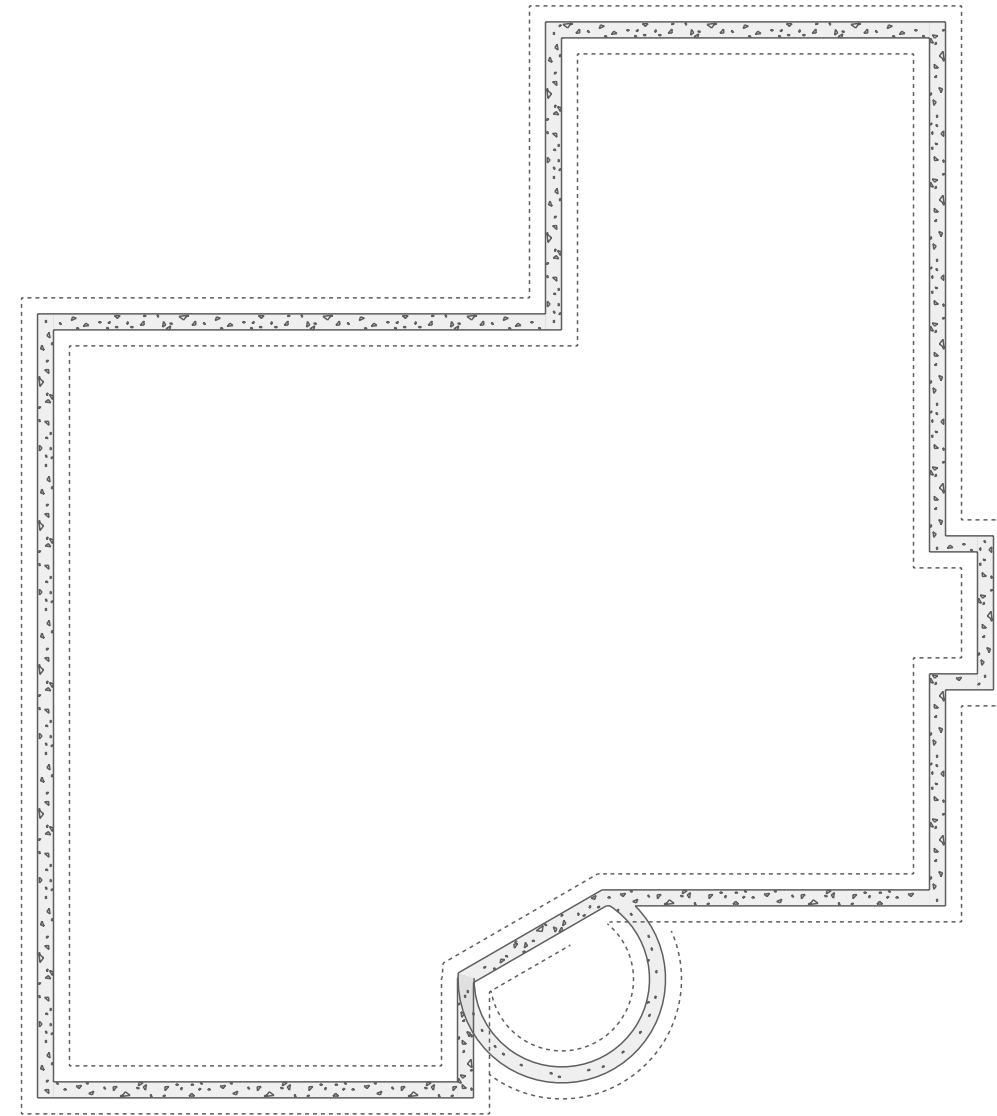
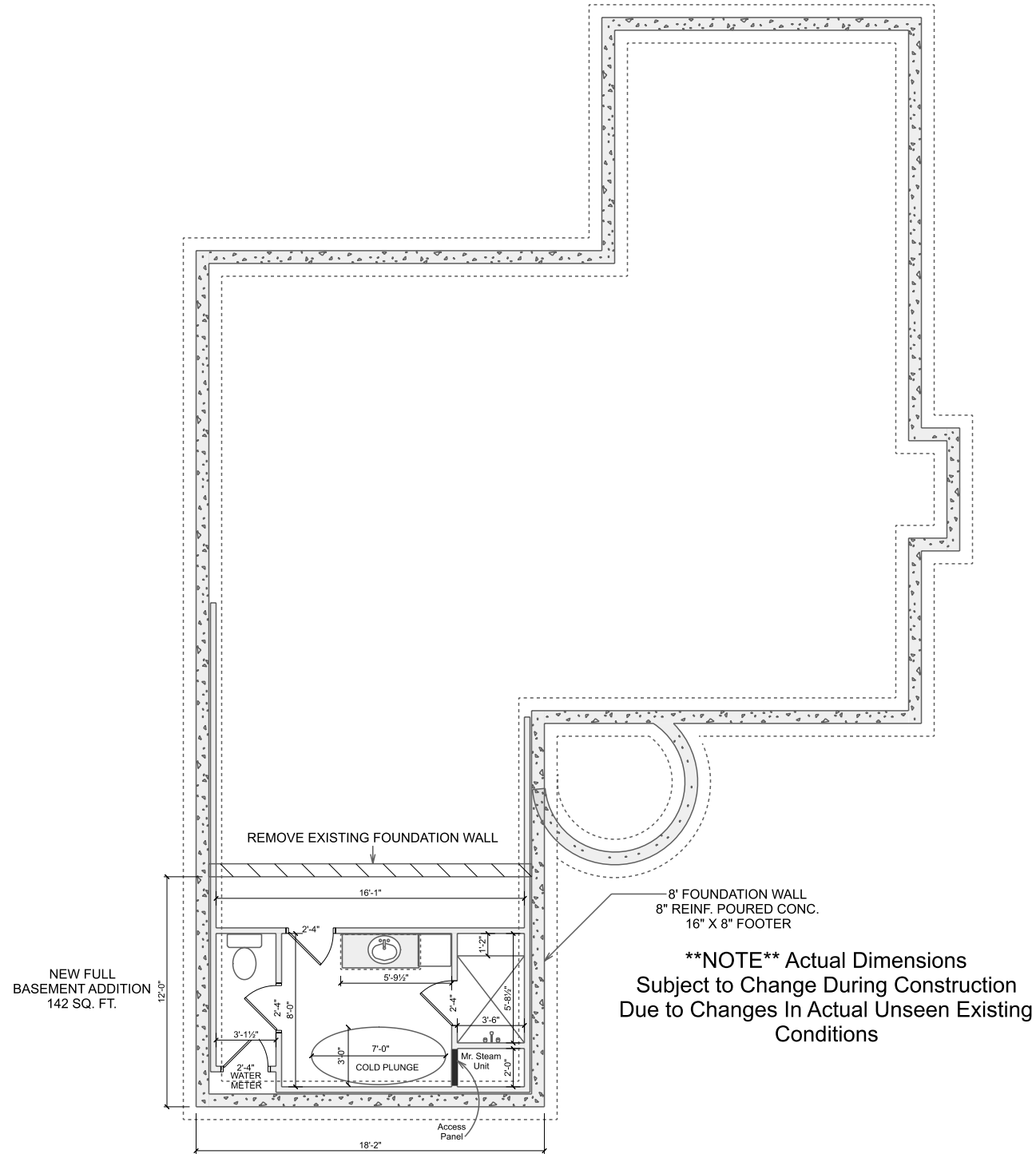


**Old World**  
CUSTOM RENOVATIONS

**Old World Custom Renovations**  
7056 Mears Gate Dr. NW  
North Canton, OH 44720  
330.494.0228  
www.oldworldclassics.com

NEW ADDITION CONCEPT

EXISTING CONDITIONS



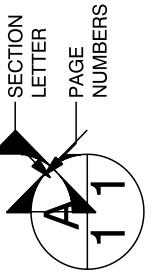
**BASEMENT**  
SCALE: 1/8" = 1'-0"

The Pernsteiner Residence

1115 Wilbert Rd.  
Lakewood OH 44107

DRAWN BY:  
SCALE: 1/8" = 1'-0"  
DATE: 6/19/2024

PAGE:  
**2**  
BASEMENT



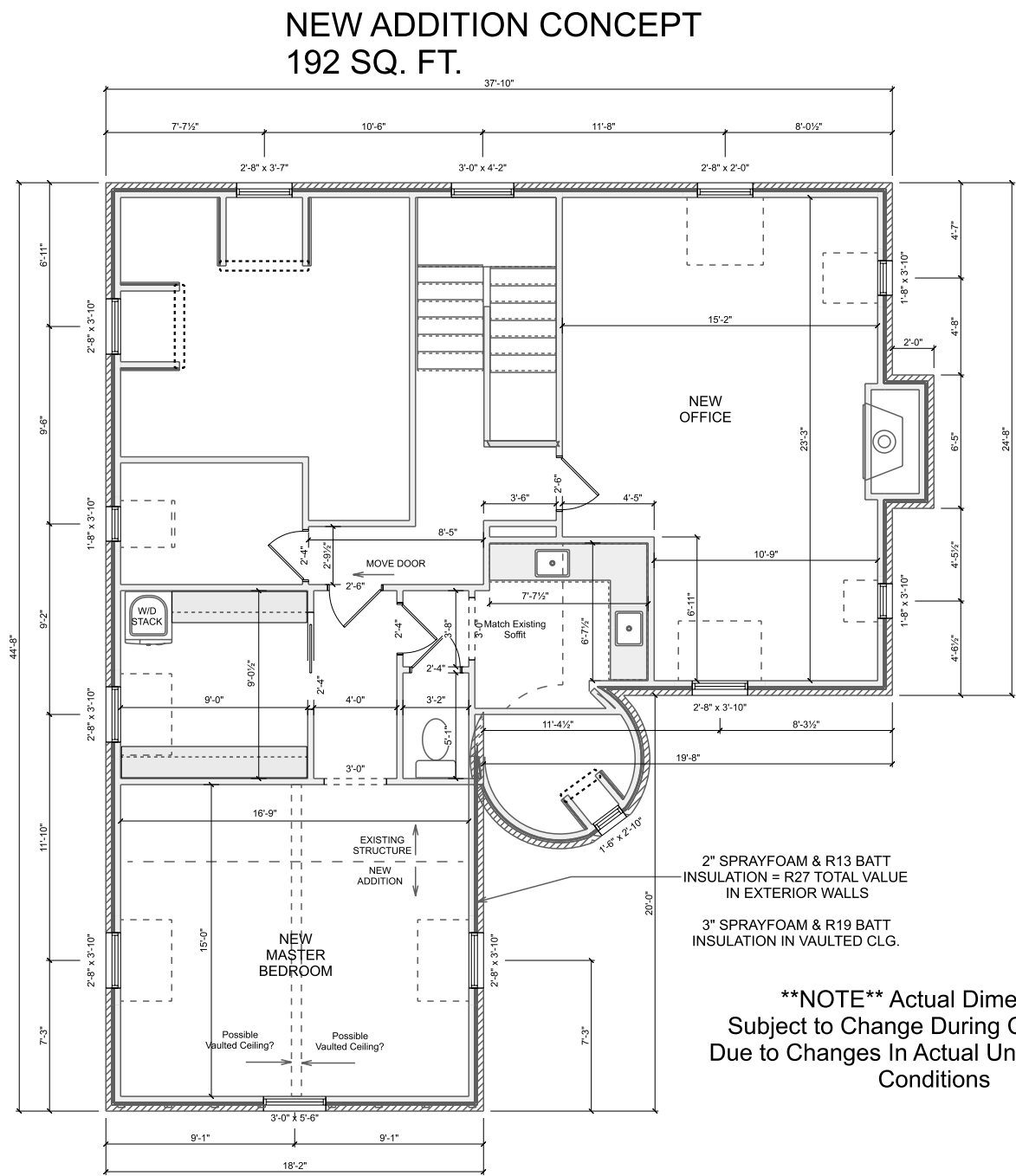
**Old World**  
CUSTOM RENOVATIONS

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North Canton, OH 44720  
330.494.0228  
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# SECOND FLOOR

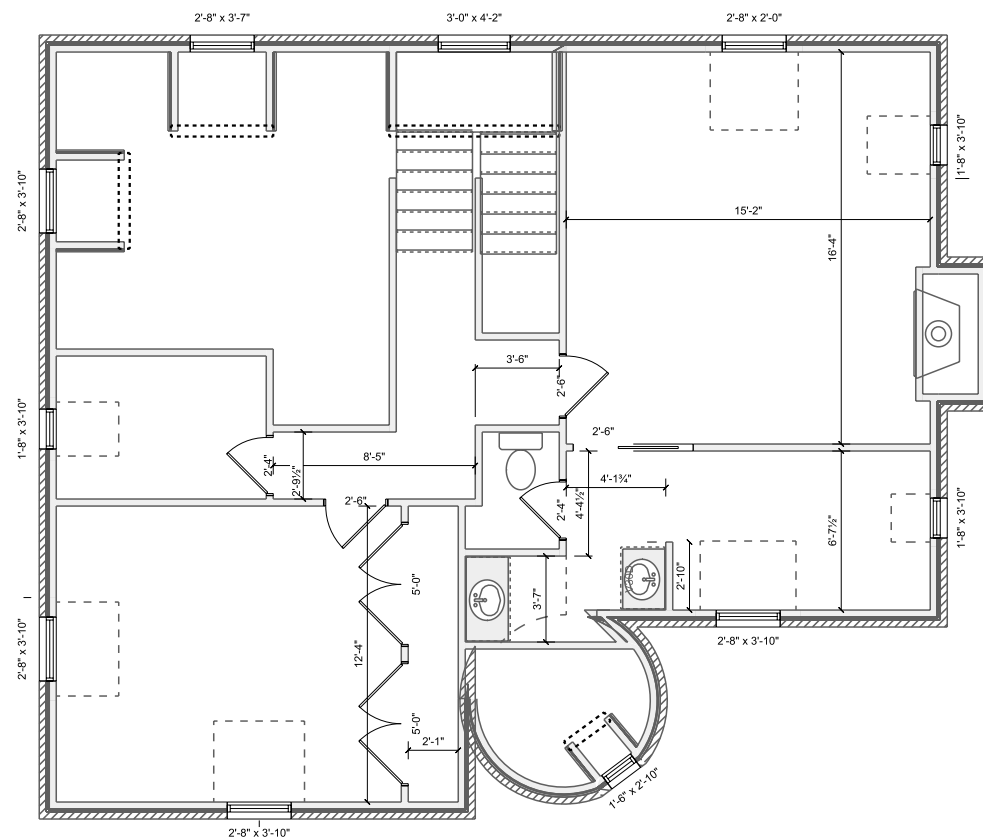
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2" SPRAYFOAM & R13 BATT INSULATION = R27 TOTAL VALUE IN EXTERIOR WALLS  
 3" SPRAYFOAM & R19 BATT INSULATION IN VAULTED CLG.

**\*\*NOTE\*\*** Actual Dimensions Subject to Change During Construction Due to Changes In Actual Unseen Existing Conditions

## EXISTING CONDITIONS

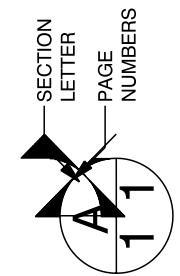


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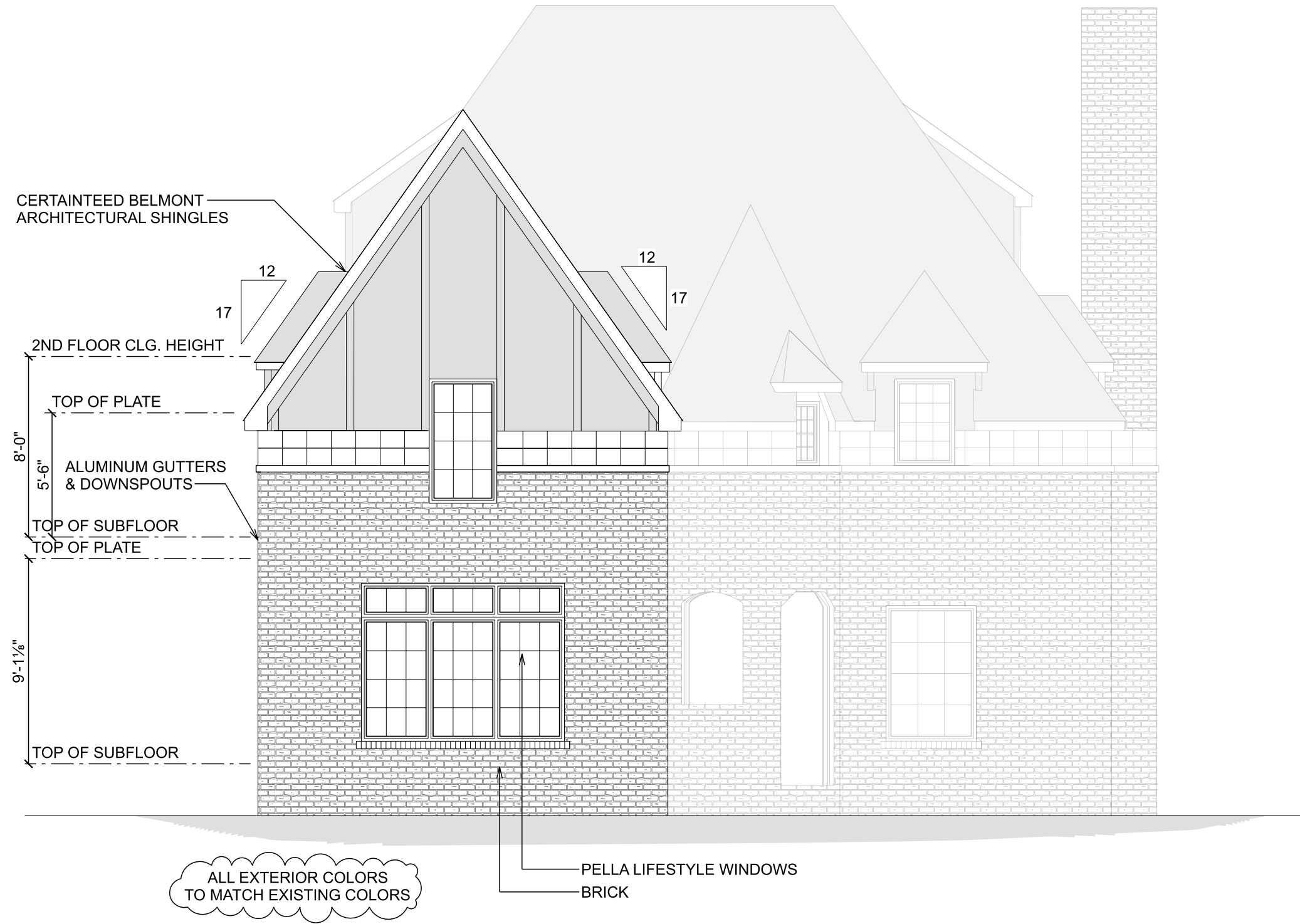
## The Pernsteiner Residence

1115 Wilbert Rd.  
 Lakewood OH 44107

DRAWN BY:   
 SCALE: 1/8" = 1'-0"  
 DATE: 6/19/2024



PAGE: **4**  
 SECOND FLOOR



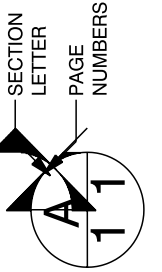
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**The Pernsteiner Residence**

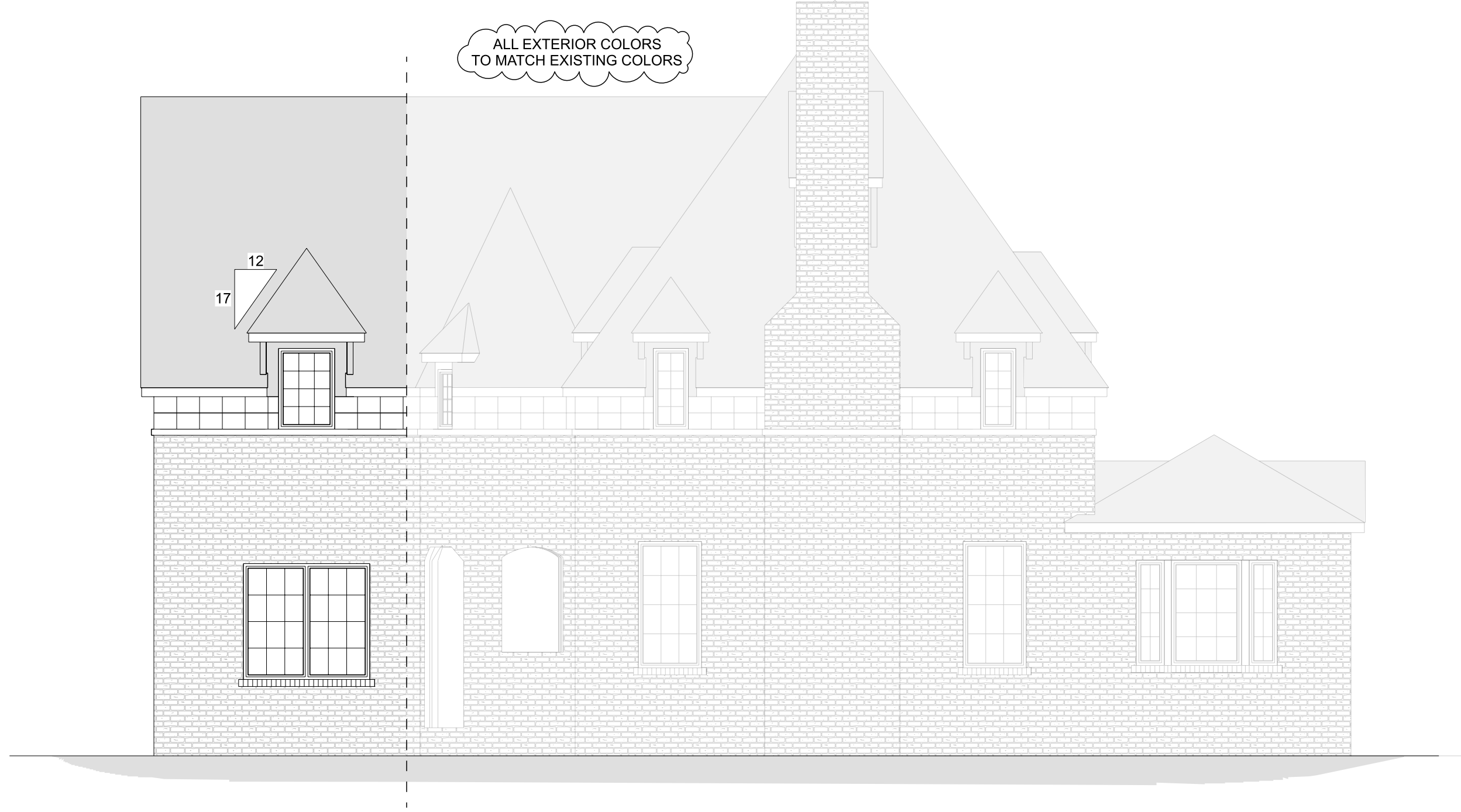
1115 Wilbert Rd.  
Lakewood OH 44107

DRAWN BY:  
SCALE: 3/16" = 1'-0"  
DATE: 6/19/2024

PAGE: **5**  
FRONT ELEVATION



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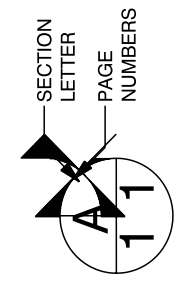


**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**The Pernsteiner Residence**

1115 Wilbert Rd.  
 Lakewood OH 44107

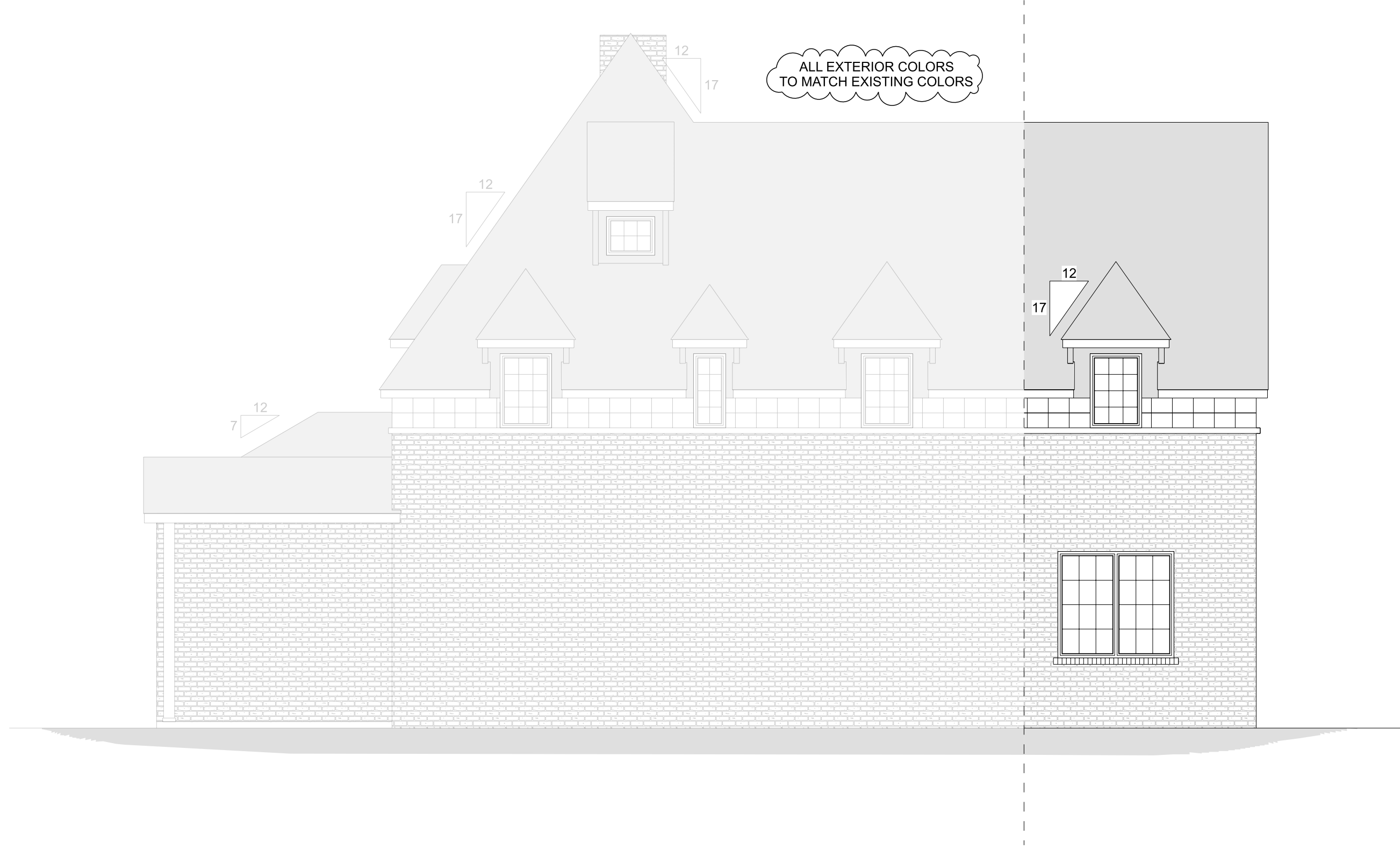
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 SCALE: 3/16" = 1'-0"  
 DATE: 6/19/2024 RIGHT ELEVATION



**Old World Custom Renovations**  
 330.494.0228  
 www.oldworldclassics.com  
 7056 Mears Gate Dr. NW  
 North Canton, OH 44720

# LEFT ELEVATION

SCALE: 3/16" = 1'-0"



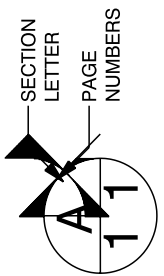
ALL EXTERIOR COLORS  
TO MATCH EXISTING COLORS



**Old World Custom Renovations**  
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North Canton, OH 44720  
330.494.0228  
www.oldworldclassics.com

## The Pernsteiner Residence

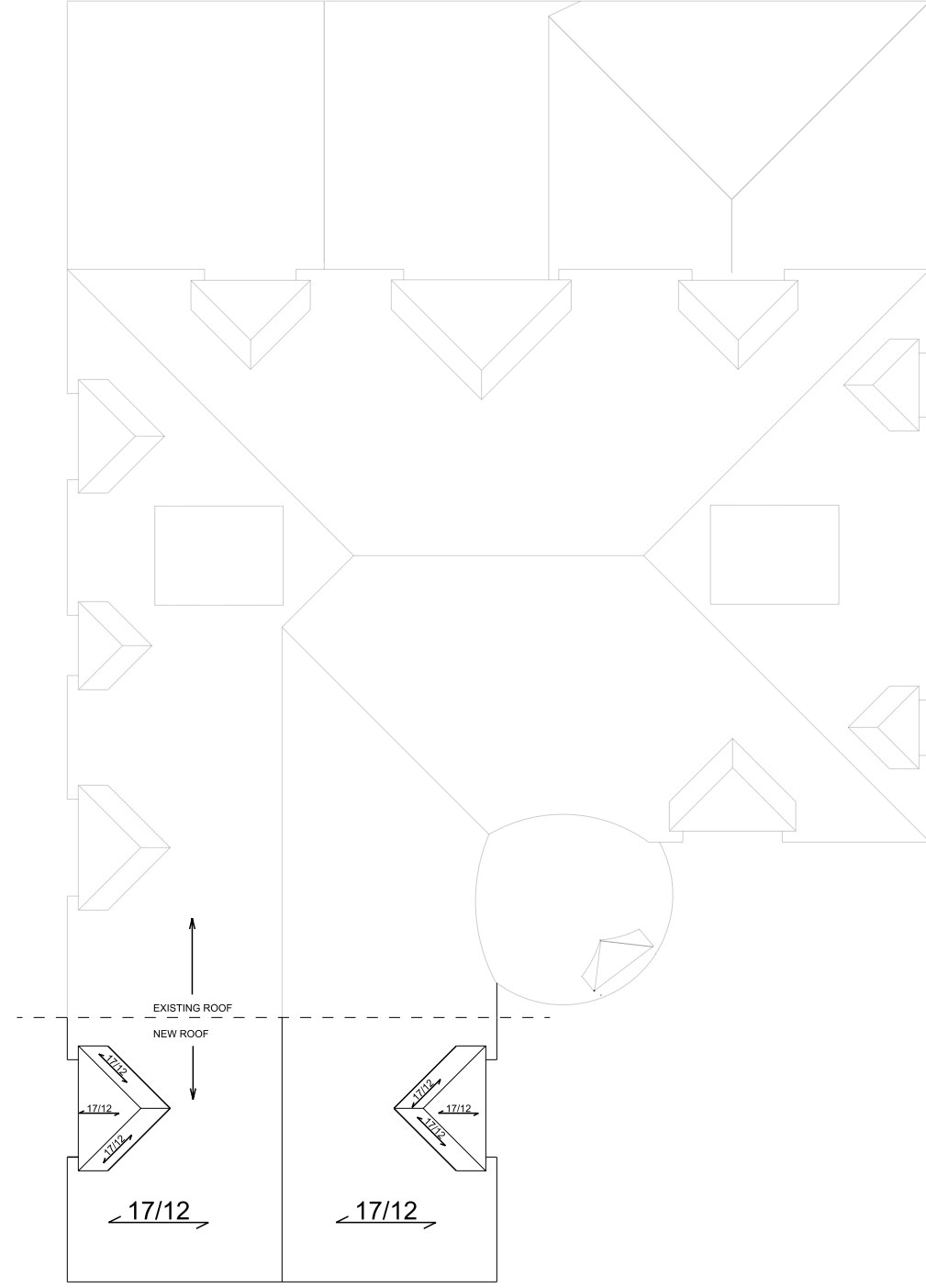
1115 Wilbert Rd.  
Lakewood OH 44107



DRAWN BY:  
SCALE: 3/16" = 1'-0"  
DATE: 6/19/2024

PAGE: **7**

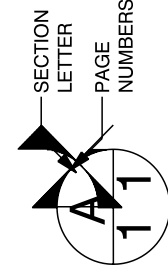
LEFT ELEVATION



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**Old World Custom Renovations**  
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North Canton, OH 44720  
330.494.0228  
www.oldworldclassics.com



**The Pernsteiner Residence**

1115 Wilbert Rd.  
Lakewood OH 44107

DRAWN BY:

SCALE: 1/8" = 1'-0"

DATE: 6/19/2024

PAGE:

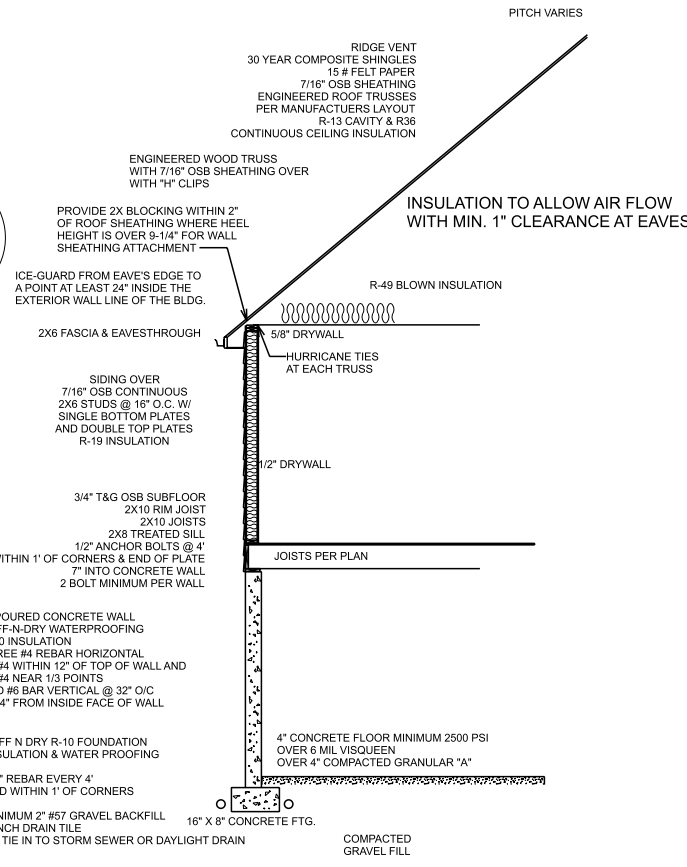
**8**

ROOF PLAN

RIDGE BOARD SHALL NOT BE LESS THAN 1" IN THICKNESS AND NOT LESS THAN THE CUT END OF THE RAFTER. HIP AND VALLEY RAFTERS SHALL NOT BE LESS THAN 2" IN THICKNESS. HIP RAFTERS SHALL NOT BE LESS THAN THE CUT END OF THE RAFTER. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO DISTRIBUTE THE LOADS PER RCO802.3.

ROOF SHEATHING SHALL BE SUPPORTED BY BLOCKING OR EDGE CLIPS WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER.

PER 2019 RCO, EACH END OF THE ROOF TRUSSES ARE TO HAVE AN APPROVED POSITIVE CONNECTION TO ALL HEADERS AND OR TOP PLATES (TRUSS CLIPS).



TYPICAL WALL SECTION

ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4) AND 505.1

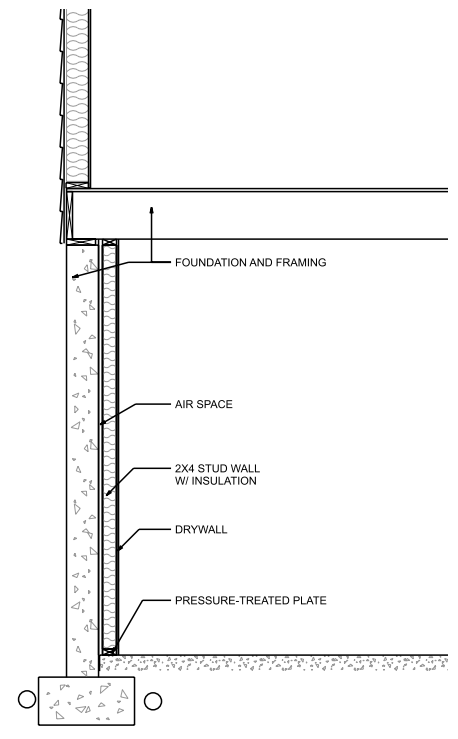
1. ALL TRUSS DRAWINGS TO BE ON SITE AND APPROVED PRIOR TO INSTALLATION
2. FIRE BLOCKING TO BE COMPLETED IN COMPLIANCE WITH R602.8
3. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
4. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R905.2.7.2

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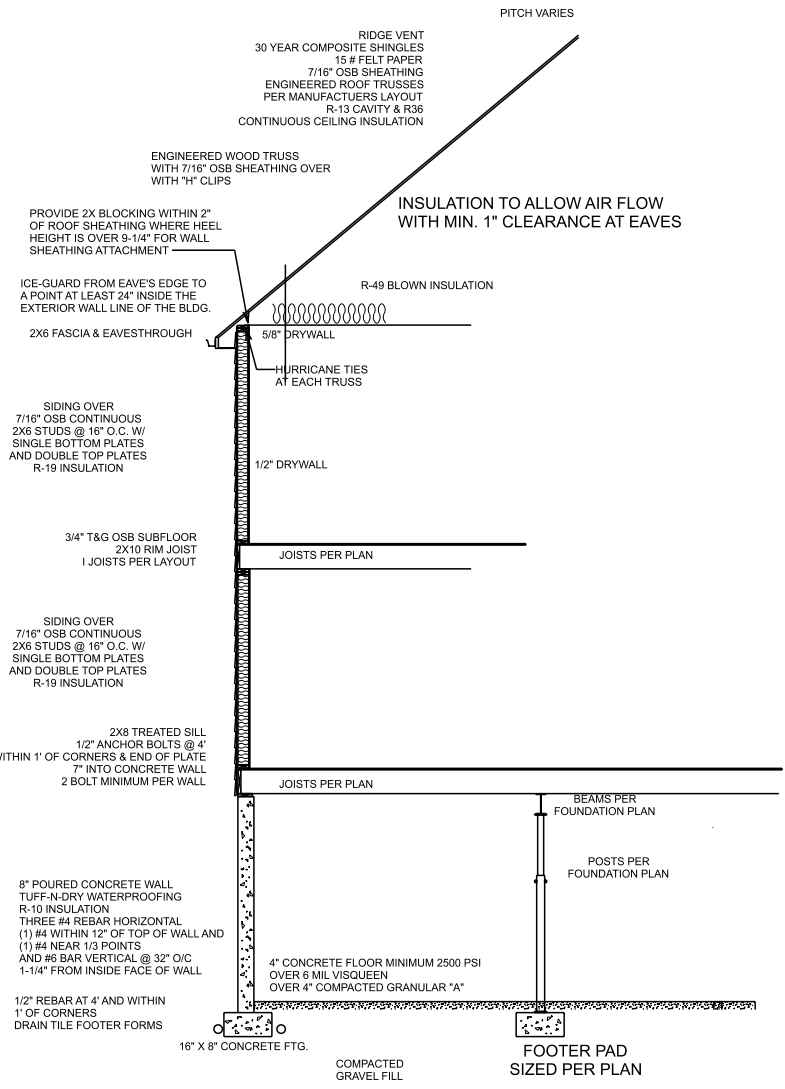
WINDOW NOTES

1. ANY GLASS IN A HAZARDOUS AREA WILL BE TEMPERED (GLAZED) PER R308.4
2. ALL BEDROOMS WILL HAVE 1 EMERGENCY & RESCUE OPENINGS PER R310.1 - 310.1.4



# FINISHED BASEMENT DETAIL

SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION @ 2 STORY

# SECTION - 2X6 WALLS

SCALE: 1/8" = 1'-0"

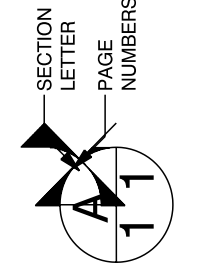
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SECTIONS



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**GENERAL CONSTRUCTION NOTES**

**MISCELLANEOUS:**

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAIL DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

**LIVE LOADS:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS. STRUCTURE SHALL BE DESIGNED TO RESIST MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS PER RCO. 301.5

**CONCRETE:**

ALL CONCRETE SHALL COMPLY WITH ACI 318-08: "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318-03: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL EXTERIOR CONCRETE SHALL BE AIR-TRAINED PER RCO SECTION 402.2.

**LUMBER:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES. PER RCO 502.1

TYP. SPF #2 OR BETTER Fb.....875 PSI

WALL STUDS SHALL BE A MINIMUM OF 2X6'S @ 16" O.C. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDES OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER PER RCO 601.3  
ALL EXTERIOR WALLS TO HAVE WATER RESISTANT BARRIER PER RCO 703.2  
ALL WALL COVERINGS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH TABLES 301.2(2) AND 301.2(3) PER RCO 703.1.2.

REFER TO THE TYPICAL WALL SECTION FOR SUBFLOOR AND ROOF SHEATHING THICKNESS AND MATERIAL TYPES.

**BUILDING THERMAL ENVELOPE:**

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION PER RCO. 1102.4.1. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSIONS AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

- ALL JOINTS, SEAMS, AND PENETRATIONS
- SITE-BUILT WINDOWS, DOORS, AND SKYLIGHTS
- OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMINGS
- UTILITY PROTECTIONS
- DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
- KNEE WALLS
- WALLS & CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES
- BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
- ATTIC ACCESS OPENINGS
- OTHER SOURCES OF INFILTRATION

**GENERAL CODE REQUIREMENTS**

REFERENCE SECTIONS 1061.3 AND CHAPTER 44 OF THE RESIDENTIAL CODE OF OHIO

**ROOFS:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE POLY OF #15 FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4/12 OR LESS PITCH REFER TO RCO SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

**MECHANICALS:**

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE RESIDENTIAL CODE OF OHIO. THESE APPLIANCE HAVE DIRECT VENTED COMBUSTION AIR.

**SMOKE & CARBON MONOXIDE DETECTORS:**

ALL SMOKE & CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO. 314.3 AND 315.1  
ON EACH LEVEL SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPERATE OR DUAL TECHNOLOGY SMOKE ALARMS MAY BE USED. THE SMOKE ALARM OUTSIDE THE GUEST SUITE, MASTER SUITE, AND BEDROOM #2 & #3 SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. A FIRE ALARM SYSTEM (SMOKE DETECTORS) INSTALLED PER RCO 314.7 ISN'T REQUIRED TO INCLUDE BOTH TECHNOLOGIES PER RCO 314.1.2

**FIRESTOPPING:**

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AR SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTABLE MATERIALS.

**INSULATION:**

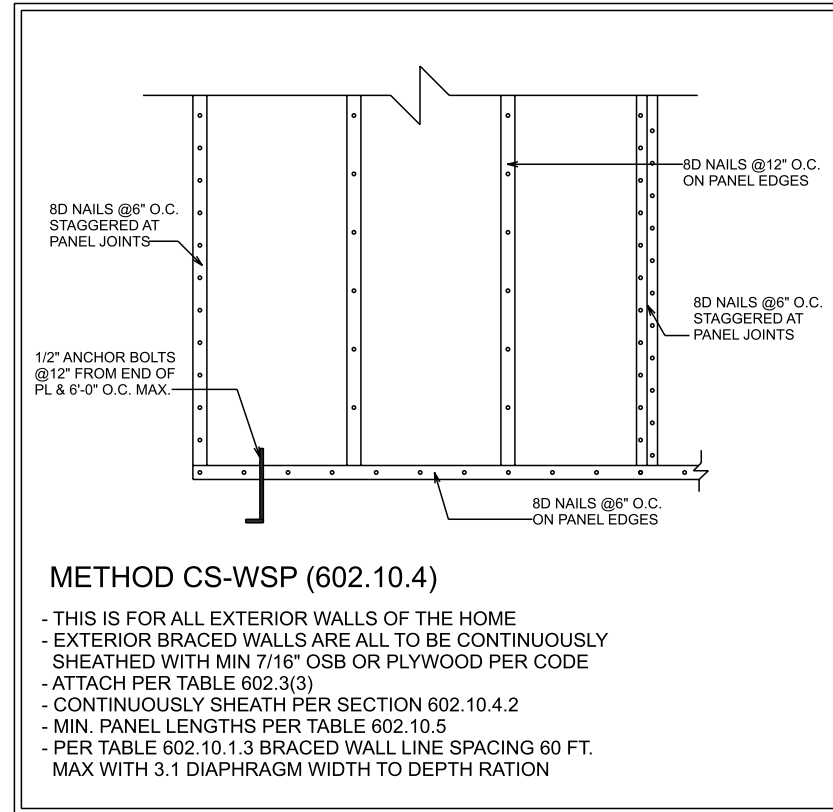
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTIONS FOR R-VALUES AND LOCATIONS.

**SHEATHING:**

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION 602.10 NAILED W/ 8D NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

**FIREPLACES:**

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.



**METHOD CS-WSP (602.10.4)**

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME
- EXTERIOR BRACED WALLS ARE ALL TO BE CONTINUOUSLY SHEATHED WITH MIN 7/16" OSB OR PLYWOOD PER CODE
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATION

**BRACED WALL PANELS (NOT TO SCALE)**

**STAIR REQUIREMENTS:**

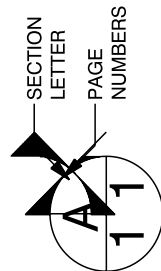
- MIN. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
- MAXIMUM RISER HEIGHT.....8-1/4"
- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MAXIMUM NOSING PROJECTION.....1"
- MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
- MINIMUM/MAXIMUM HANDRAIL HEIGHT.....34" / 38"
- MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
- MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
- MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
- MAXIMUM HAND GRIP WIDTH.....2-1/4"
- MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1-1/2"

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