



City of Lakewood
Board of Building Standards • Architectural Board of
Review • Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE

ZOOM LINK: <https://us06web.zoom.us/j/87342514021?pwd=cMkOjeyHppJ9kpPs0aw5SPNYmtirth.1>

Meeting ID: 873 4251 4021
Passcode: 253909
APRIL 2, 2026
4:00PM

REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
APRIL 9, 2026
5:30 P.M.

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MARCH 12, 2026 MEETING
3. OPENING REMARKS

OLD BUSINESS

SIGN REVIEW

- | | | |
|------------------------|-----|---|
| 4. Docket No. 03-21-26 | (C) | 13381 Madison Ave.
Cleveland Curiosities |
| () Approve | | Shawn Warren |
| () Deny | | Erie Design Co, Inc. |
| () Defer | | 16504 Detroit Ave.
Lakewood, OH 44107 |

Applicant proposes new signage

ARCHITECTURAL BOARD OF REVIEW

5. Docket No. 02-17-26 (R) 1654 Waterbury Rd.

() Approve Bridget Gouker
() Deny Erie Design Co, Inc.
() Defer 16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes construction of a new single family home.

NEW BUSINESS

COMMUNICATION

6. Docket No. 09-80-24 (C) (R) 14501-14519 Detroit Ave,
Downtown Development

CASTO Communities
Kolby Turnock VP
250 Civic Center, STE 500
Columbus, OH 43215

Applicant proposes a comprehensive sign plan.
*This is for discussion only; no ruling will be made, design feedback only.

RETURN FOR MODIFICATIONS

7. Docket No. 11-102-25 (R) 1321 Bunts Rd.

() Approve Brian Limkemann
() Deny House to Home Cleveland, LLC
() Defer 34909 Timberview Dr.
Avon, OH 44011

Applicant proposes alterations to previously approved rear addition, covered patio, and new garage, BBS25-000113.

NEW BUSINESS

SIGN REVIEW

8. Docket No. 04-30-26 (C) 12703 Madison Ave.
Golden Mae Salon
- () Approve
() Deny
() Defer
- Preston Blankeship
Special Vinyl's Unit
17108 Lorain Ave..
Cleveland, OH 44111
- Applicant proposes new vinyl window signage.
9. Docket No. 04-31-26 (C) 13000 Athens Ave.
Game Show Duels
- () Approve
() Deny
() Defer
- Jill Brandt
Brandt Architecture.
19440 Riverwood Ave.
Rocky River, OH 44116
- Applicant proposes new signage.
10. Docket No. 04-32-26 (C) 15027 Madison Ave.
Birdietown
- () Approve
() Deny
() Defer
- Tim Frazee
Birdietown
12501 Madison Ave.
Lakewood, OH 44107
- Applicant proposes new signage and window vinyl.
11. Docket No. 04-33-26 (C) 15016 Madison Ave.
LKWD Painting
- () Approve
() Deny
() Defer
- Jason Epperson
LKWD Painting & Contracting LLC
1526 Roycroft Ave.
Lakewood, OH 44107
- Applicant proposes new signage.
12. Docket No. 04-34-26 (C) 14532 Detroit Ave.
Spiritual Journey
- () Approve
() Deny
() Defer
- Chanel Ely
Spiritual Journey
12976 Clifton Blvd.
Lakewood, OH 44107
- Applicant proposes new signage.

13. Docket No. 04-35-26 (C) 15701 Madison Ave.
The Blue Café
- () Approve
() Deny
() Defer
- Applicant proposes new signage.
14. Docket No. 04-36-26 (C) 1384 Bonnieview Ave.
The Velvet Tail
- () Approve
() Deny
() Defer
- Applicant proposes new signage.
15. Docket No. 04-37-26 (C) 14234 Madison Ave.
CandyDish Confections
- () Approve
() Deny
() Defer
- Applicant proposes new signage.
16. Docket No. 04-38-26 (C) 1590 Coutant Ave.
FASTSIGNS
- () Approve
() Deny
() Defer
- Applicant proposes new awning sign.
17. Docket No. 04-39-26 (C) 16426 Madison Ave.
Brewella's
- () Approve
() Deny
() Defer
- Applicant proposes relocation of previous signage.

ARCHITECTURAL BOARD OF REVIEW

18. Docket No. 04-40-26

(C)

14321 Detroit Ave.
Horizon Education Center

- Approve
- Deny
- Defer

Nick Musarra
North Coast Design Build
4205 E. Lake Rd.
Sheffield Lake, OH 44054

Applicant proposes pocket park improvements.

ADJOURN

"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.gov."



City of Lakewood
Board of Building Standards •
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Application Cover Page

Docket No.: 03-21-26

Permit No.: BBS26-000010

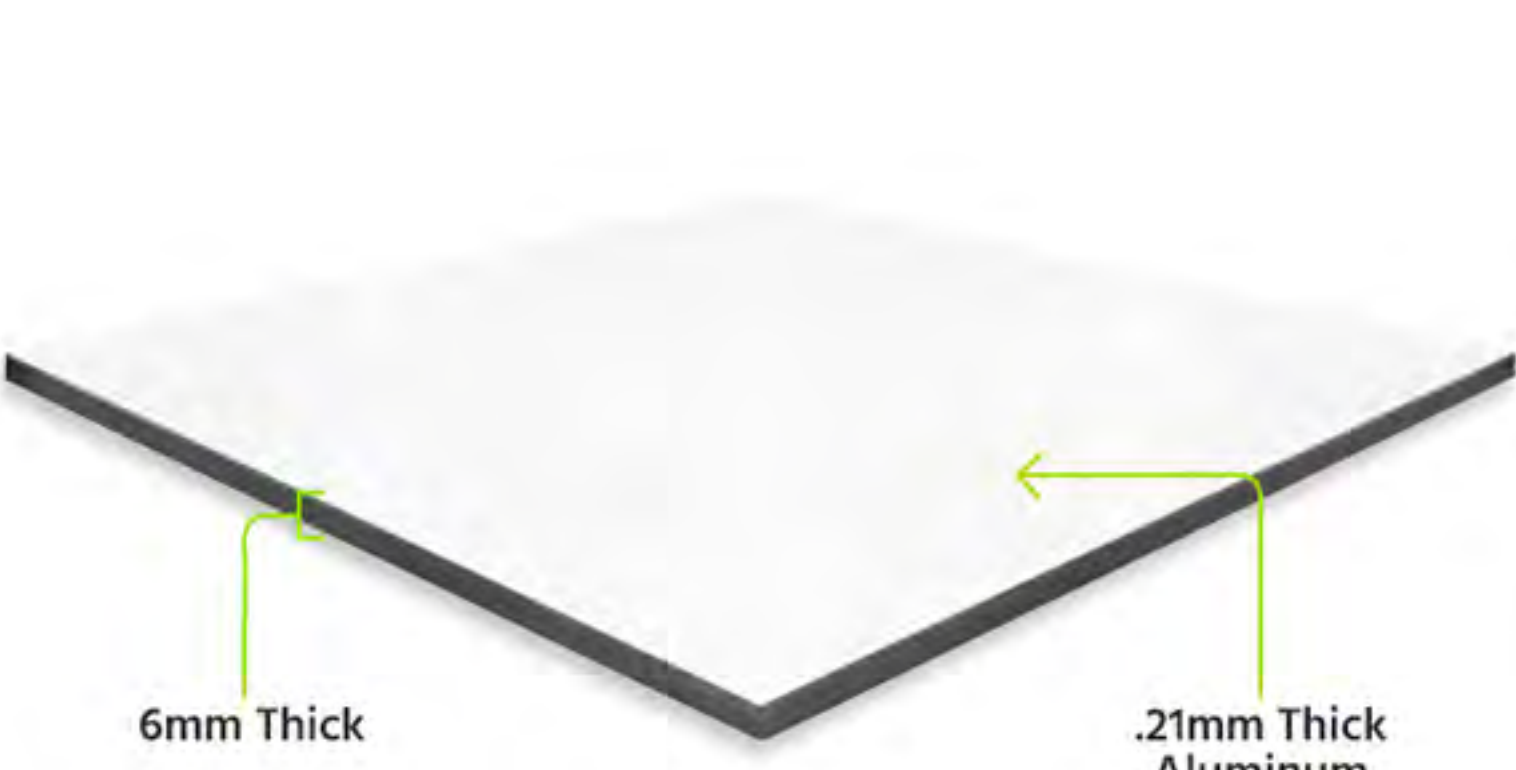
Applicant Name: Shawn Warren, Erie Design Co. Inc

Project Address: 13381 Madison Ave.

Project Name: Cleveland Curiosities

Project: Applicant proposes new signage.



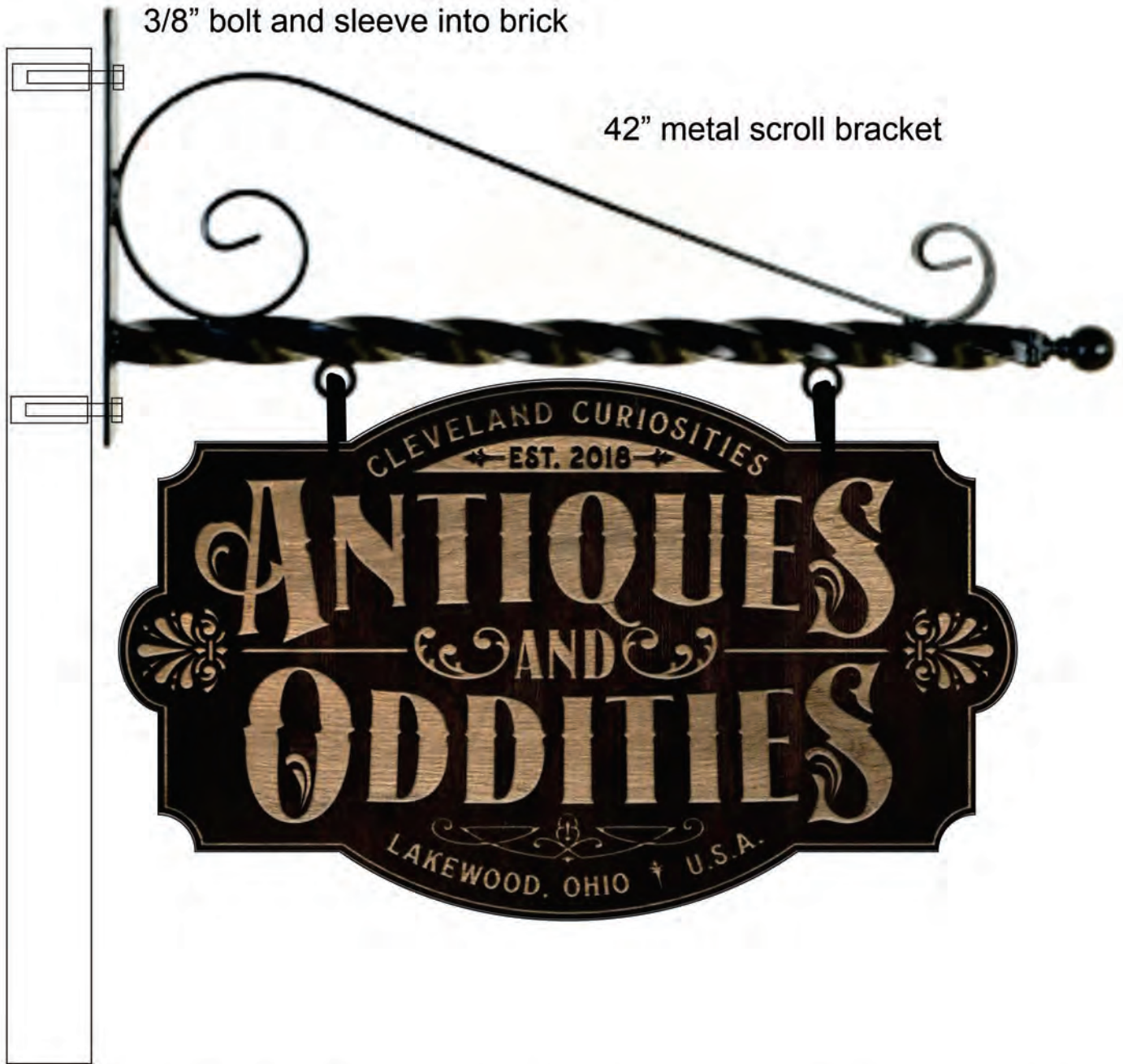


6mm Thick

.21mm Thick
Aluminum

3/8" bolt and sleeve into brick

42" metal scroll bracket



Scroll sign 38" x 23.5" color print 2 sides on 1/4" Maxx Metal
12.4 total sq ft both sides

ERIE
deSign
Signs, Banners & Graphics
216-227-0043
www.eriadesign.com

CLIENT: Cleveland Curiosities		JOB #:	DATE:
ADDRESS: 13381 Madison Ave		SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:		CHANGES MADE:	
		CLIENT SIGNATURE OF APPROVAL DATE:	



PROPERTY AS IS NOW
13381 Madison Ave



Current location / NEW LOCATION

NEW PROPERTY
13381 Madison Ave



Current location / NEW LOCATION

ERIE
design
Signs, Banners & Graphics
216-227-0043
www.eriadesign.com

CLIENT: Cleveland Curiosities		JOB #:	DATE:
ADDRESS: 13381 Madison Ave		SALESPERSON/ DESIGNER: DATE:	
REVISION HISTORY:			
DATE: Consent		CHANGES MADE:	
<small>Clement Kunkle - clevelandcuriosities@yahoo.com - to: orders.eriadesign.com You replied on Wed 2/11/2026 2:00 PM Start reply with: <input type="checkbox"/> Will do. Thanks! <input type="checkbox"/> Not in my repertoire. <input type="checkbox"/> Will do! Looks great, thank you very much Shawn! Let me know what else you might need from me.</small>		CLIENT SIGNATURE OF APPROVAL DATE:	



Current location / NEW LOCATION



Building as is

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriadesign.com

CLIENT: Cleveland Curiosities	JOB #: 	DATE:
ADDRESS: 13381 Madison Ave	SALESPERSON/ DESIGNER: _____ DATE: _____	
REVISION HISTORY: DATE: _____		CHANGES MADE:
		CLIENT SIGNATURE OF APPROVAL _____ DATE: _____



Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: **13381 Madison Ave** Suite/Unit # _____
or PERMANENT PARCEL NUMBER: **31518005**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical ***(complete reverse side)**

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number: _____

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
 Demolition Paving Storm Sewer Other (Please specify): Sign and window letters

*VALUATION: (cost of the work) \$ _____ PROJECT SIZE: (in square feet) 16 sq

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) _____ DRAIN _____ NO DRAIN _____

Re-install current scroll bracket sign from existing location windows 60" x 83" 34.6sq x 2 69.2 sq
48" x 60" 20 sq x 2 40 sq
Scroll sign 38" x 23.5" color print 2 sides on 1/4" Maxx Metal 12.4 total sq ft both sides door window 21" x 57" 8.3 sq x 2 16.6 sq
125.6 total sq ft
1 cut vinyl graphic logo & hours for door 16' x 16.5" 1.7 sq ft
2 cut vinyl graphic logos for windows 31" x 79" 17 sq each = 38 sq ft Total for all 3 graphics 39.7

Store Front 13' x 34' 442 sq Minus middle door to 2nd floor

PROPERTY OWNER NAME: **Clement Kunkle** Phone: **216-227-0257**

Business Name (if applicable) **Cleveland Curiosities** Email: **clevelandcuriosities@yahoo.com**

Mailing Address: **13381 Madison Ave** Ave City: **Lakewood** State: **Oh** Zip: **44107**

CONTRACTOR NAME: **Erie Design** Phone: **216-227-0043**

License/Reg. No.: **on file** Email: **orders@eriedesign.com**

Mailing Address: **16504 Detroit Ave** City: **Lakewood** State: **Oh** Zip: **44107**

ARCHITECT/ENGINEER: _____ Phone: _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

2-10-26

DATE

Anticipated Completion Date: _____



Current location / NEW LOCATION



13381 Madison Ave

Consent

CK

Clement Kunkle <clevelandcuriosities@yahoo.com>

To: orders eriedesign.com

You replied on Wed 2/11/2026 2:00 PM

Start reply with:

Looks great, thank you very much Shawn! Let me know what else you might need from me.



CLIENT:	Cleveland Curiosities	JOB #:		DATE:	
ADDRESS:	13381 Madison Ave	SALESPERSON/ DESIGNER:		DATE:	
REVISION HISTORY:	DATE:				CHANGES MADE:
				CLIENT SIGNATURE OF APPROVAL	DATE:



Existing Scroll sign 38" x 23.5"
 color print 2 sides on 1/4" Maxx Metal
 12.4 total sq ft both sides
 Moved to center of new location

1 cut vinyl graphic logo & hours
 for door 16" x 16.5" 1.7 sq ft
 door window 21" x 57" 8.3 sq x 2
 16.6 total

2 cut vinyl graphic logos for windows 31" x 79" 17 sq each = 38 sq ft Total 39.7
 *Black is window area windows 60" x 83" 34.6sq x 2 69.2 sq
 48" x 60" 20 sq x 2 40 sq
 door window 21" x 57" 8.3 sq x 2 16.6 sq
 125.6 total sq ft



Store Front 13' x 34' 442 sq
 Minus middle door to 2nd floor

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CLIENT: Cleveland Curiosities		JOB #:	DATE:
ADDRESS: 13381 Madison Ave		SALESPERSON/ DESIGNER: DATE:	
REVISION HISTORY: DATE:		CHANGES MADE:	
		CLIENT SIGNATURE OF APPROVAL DATE:	



Scroll sign 38" x 23.5" color print 2 sides on 1/4" Maxx Metal
12.4 total sq ft both sides

Store Front 13' x 34' 442 sq
Minus middle door to 2nd floor

1 cut vinyl graphic logo & hours
for door 16" x 16.5" 1.7 sq ft

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door window 21" x 57" 8.3 sq x 2
16.6 total



*Black is window area

windows 60" x 83" 34.6sq x 2 69.2 sq
48" x 60" 20 sq x 2 40 sq
door window 21" x 57" 8.3 sq x 2 16.6 sq
125.6 total sq ft

ERIE
deSign
Signs, Banners & Graphics
216-227-0043
www.eriedesign.com

CLIENT: Cleveland Curiosities	JOB #:	DATE:
ADDRESS: 13381 Madison Ave	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
440-334-0455	CLIENT SIGNATURE OF APPROVAL DATE:	



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
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P: (216) 529-6630
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planning@lakewoodoh.gov

Application Cover Page

Docket No.: 02-17-26

Permit No.: BBS26-000003

Applicant Name: Bridget Gouker

Project Address: 1654 Waterbury Rd.

Project Name: N/A

Project: Applicant proposes the construction of a new single family home.

2. *Handwritten signature*

1654 Waterbury Ave.

Bridget Gouker

Current property - empty lot



Property to the South



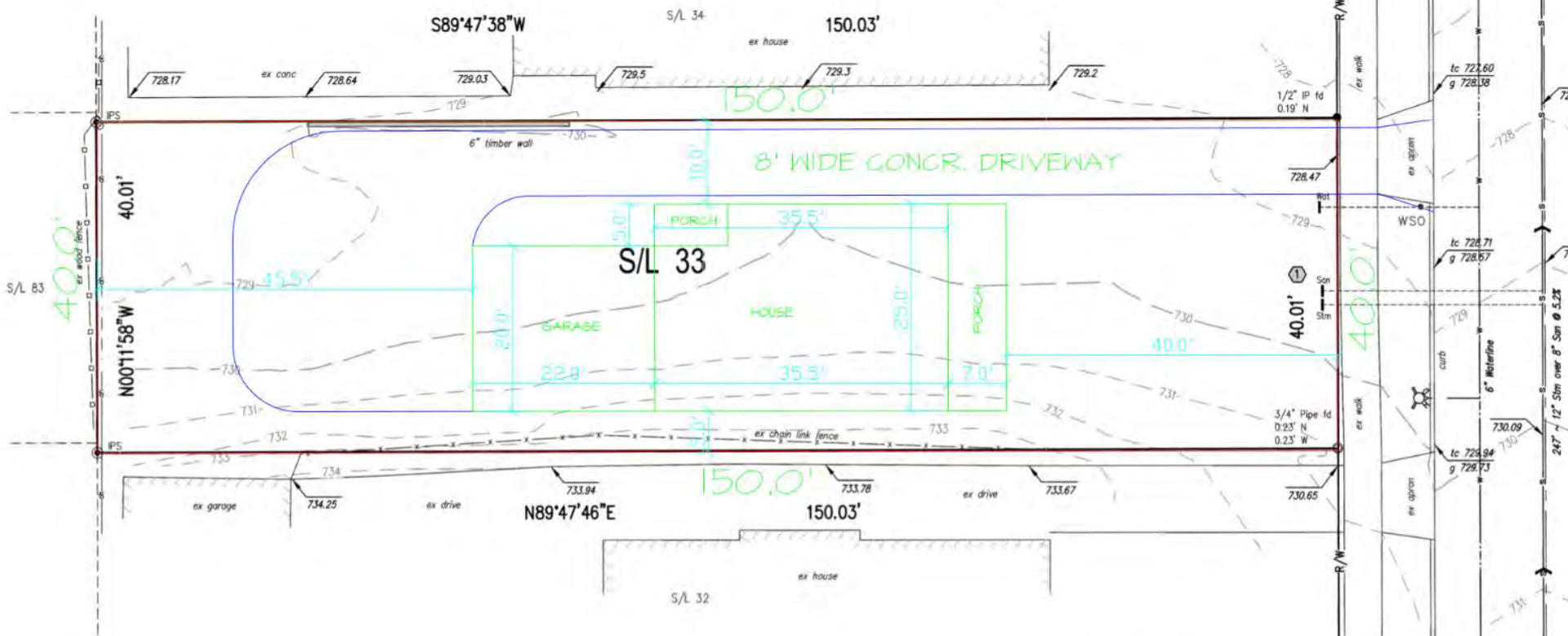
Property to the North



- San - Storm Stub
- o Cleanout
- WSO Water Shut-off
- Power Pole

Assumed Storm Connection
 Inv at Main - 922.1
 Inv at R/W - 922.4

Assumed Sanitary Connection
 Inv at Main - 920.7
 Inv at R/W - 921.0



Front



Charcoal (black) Timberline roof

White Board & Batten (vertical vinyl siding) for the top half of the house

black windows with Colonial Grills

White Woodsman Select (premium vinyl siding) for the bottom half off the house

Fiberglass door with windows, stained

Porch railings 42" high posts, 36" high railings
Black vinyl azek railings/posts

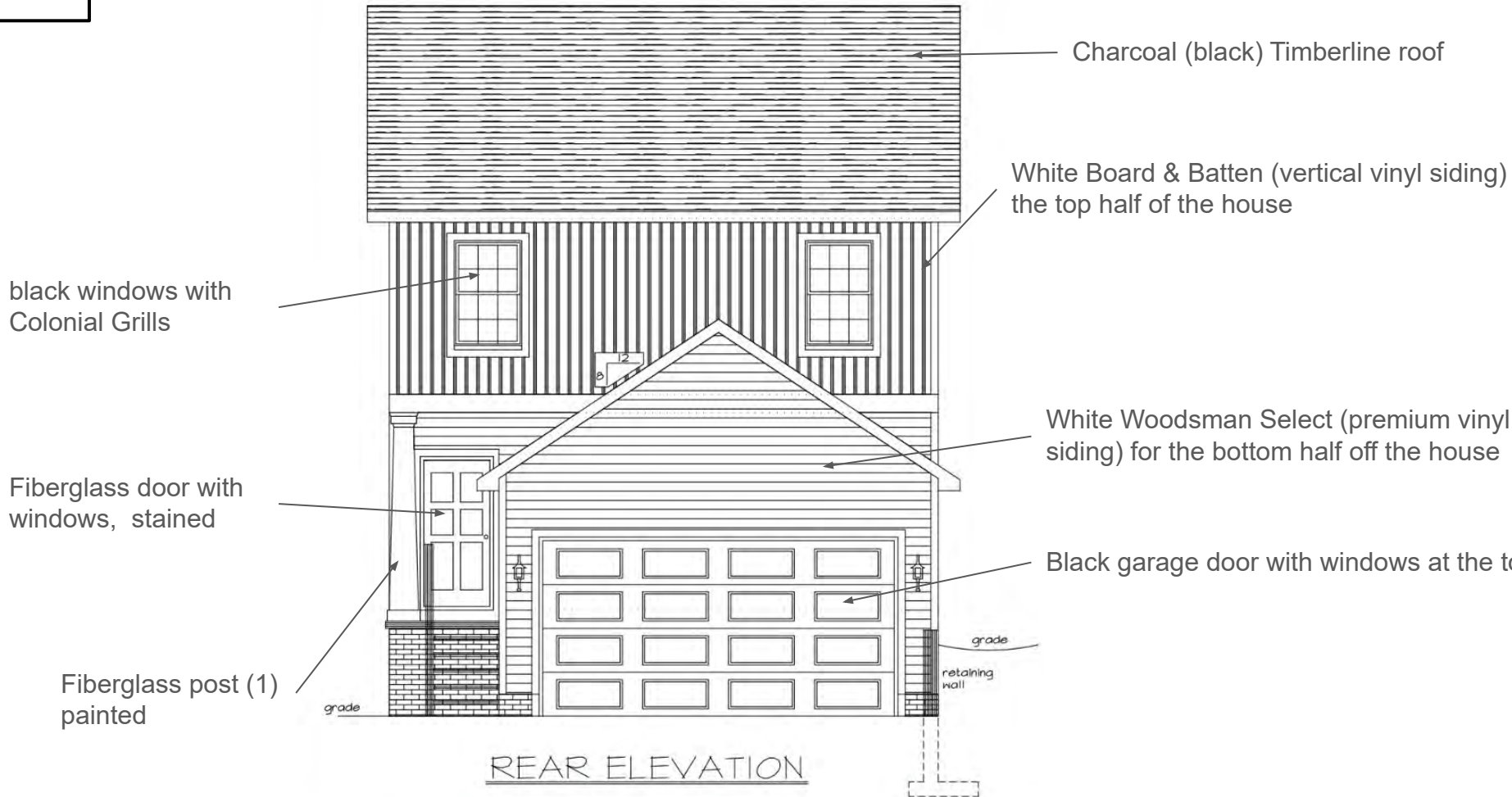
Fiberglass post (2) painted

Grey concrete with brick stamped pattern

FRONT ELEVATION

BRIDET GOUKER HOUSE
SCALE: 1/4" = 1'-0" ON 1/4" SHEET
WECKPRINT
DO NOT BUILD

Rear



Charcoal (black) Timberline roof

White Board & Batten (vertical vinyl siding) for the top half of the house

black windows with Colonial Grills

White Woodsman Select (premium vinyl siding) for the bottom half off the house

Fiberglass door with windows, stained

Black garage door with windows at the top

Fiberglass post (1) painted

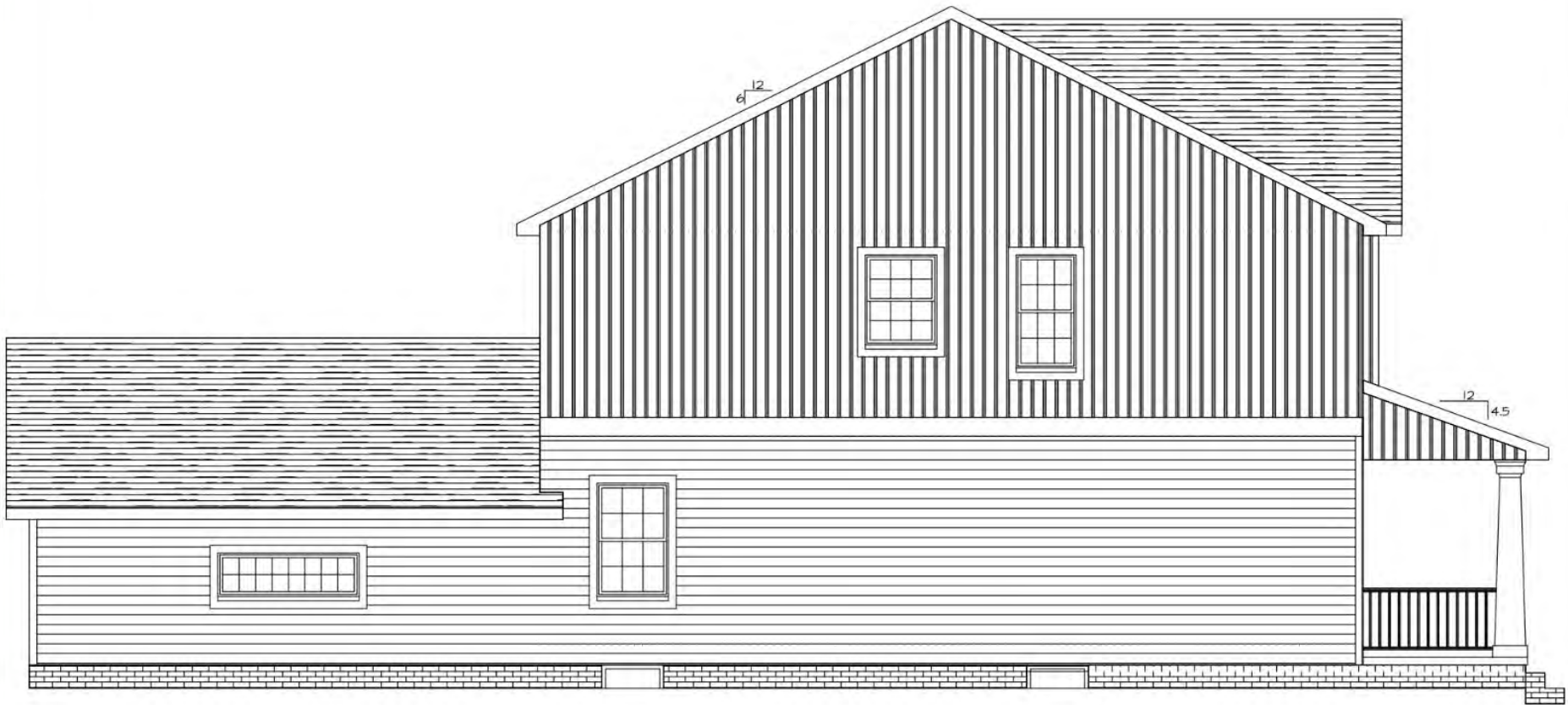
grade

retaining wall

REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

DISCLAIMER: WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE

BACKPRINT
NOT BUILD

DESIGN CONDITIONS

per RCO

- 1) 40 psf LL + 10 psf DL used for first floor joists.
- 2) 25 psf LL (snow) + 10 psf DL used for top chord of roof trusses.
10 psf LL + 10 psf DL used for bottom chord of roof trusses.
- 3) 20 psf LL + 10 psf DL used for ceiling joists.

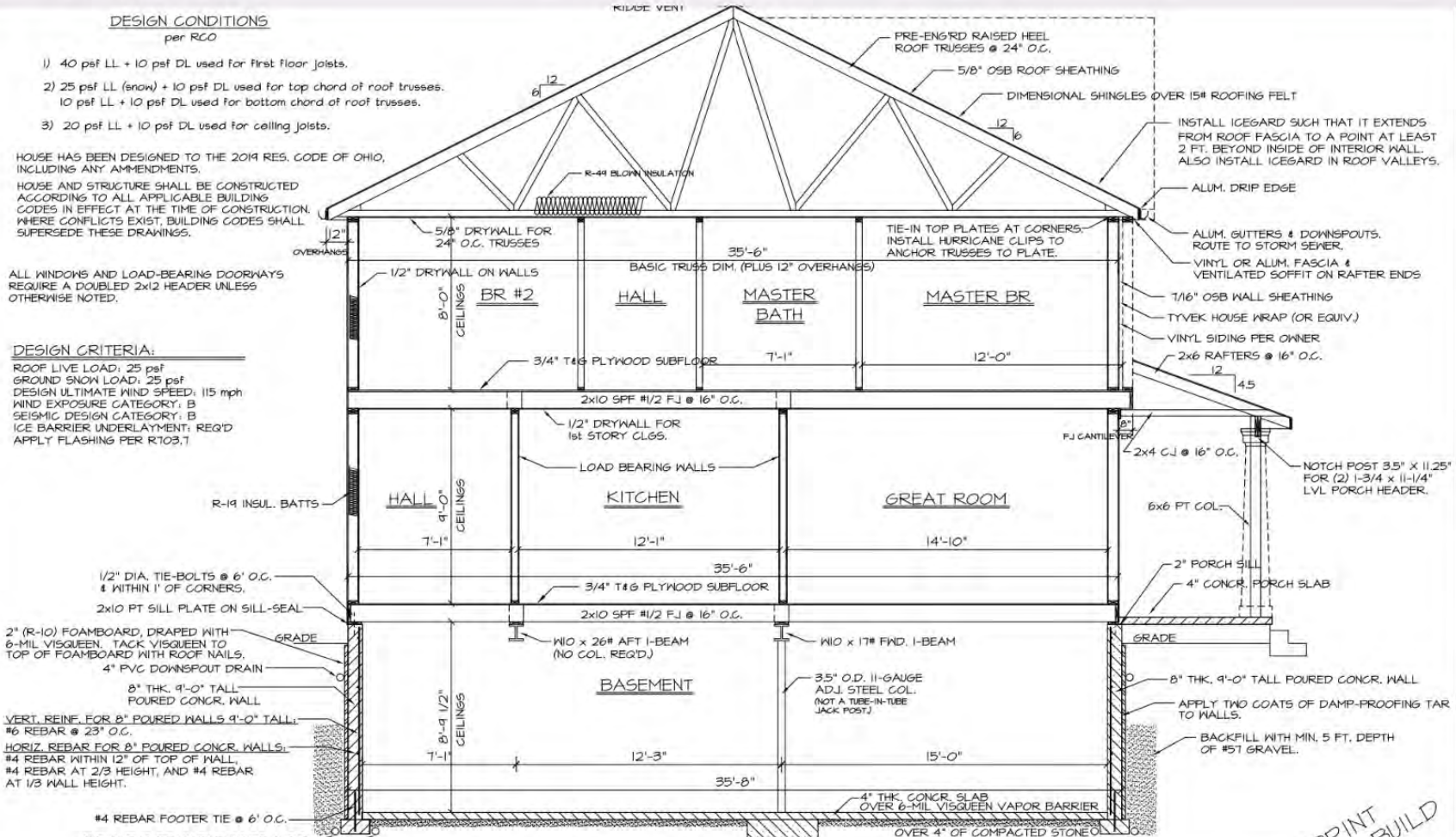
HOUSE HAS BEEN DESIGNED TO THE 2019 RES. CODE OF OHIO, INCLUDING ANY AMENDMENTS.

HOUSE AND STRUCTURE SHALL BE CONSTRUCTED ACCORDING TO ALL APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF CONSTRUCTION. WHERE CONFLICTS EXIST, BUILDING CODES SHALL SUPERSEDE THESE DRAWINGS.

ALL WINDOWS AND LOAD-BEARING DOORWAYS REQUIRE A DOUBLED 2x12 HEADER UNLESS OTHERWISE NOTED.

DESIGN CRITERIA:

ROOF LIVE LOAD: 25 psf
GROUND SNOW LOAD: 25 psf
DESIGN ULTIMATE WIND SPEED: 115 mph
WIND EXPOSURE CATEGORY: B
SEISMIC DESIGN CATEGORY: B
ICE BARRIER UNDERLAYMENT: REQ'D
APPLY FLASHING PER RT03.1



SECTION DRAWING

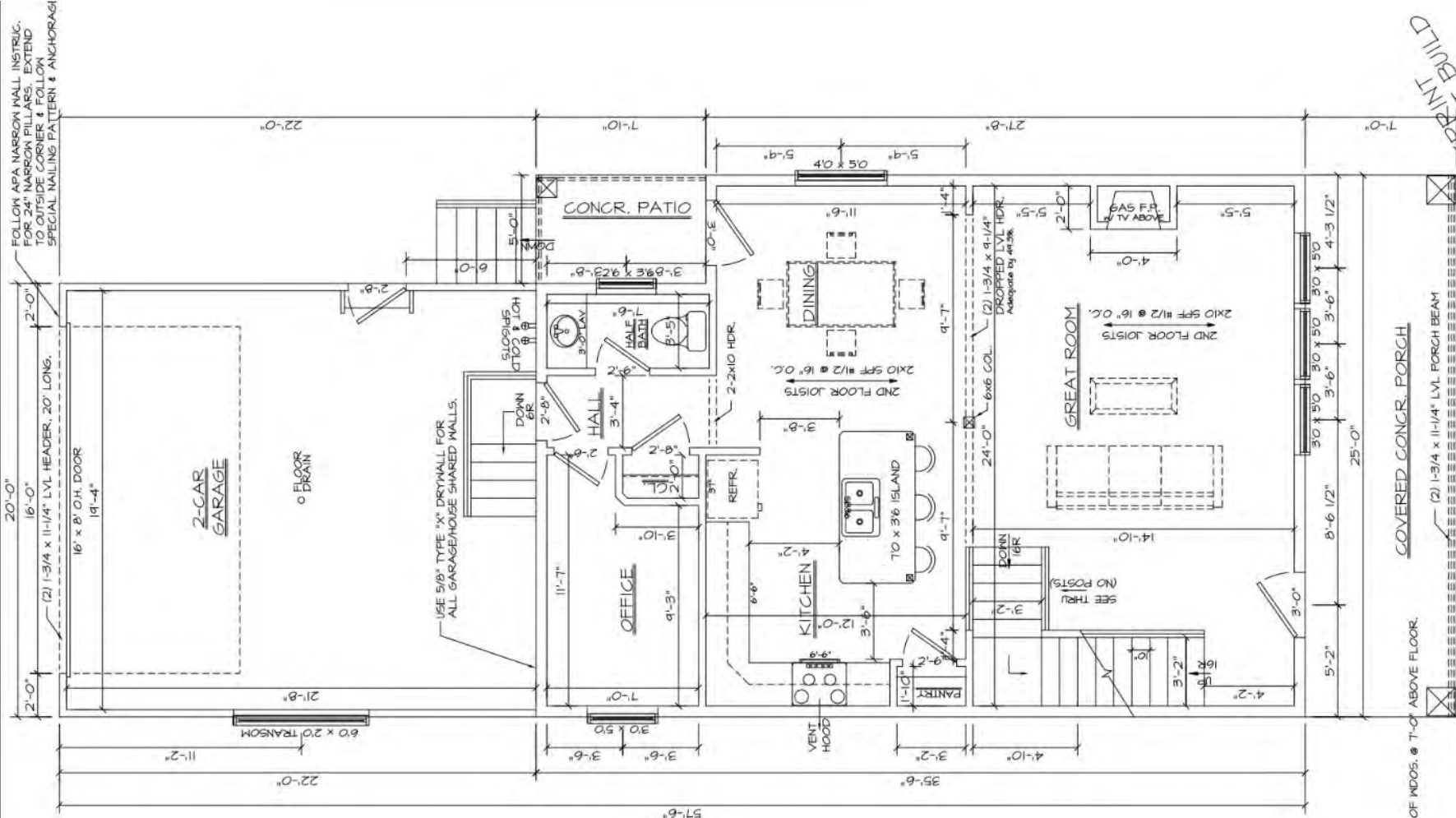
VIEWED FROM LEFT SIDE

BRIDGET GOLKER HOUSE
 FT6, W/ (3) #4 REBAR N-S
 & (3) #4 REBAR E-W
 LOCATED 2' ABOVE EARTH.

SCALE: 1/4" = 1'-0" ON THIS SHEET

1654 Waterbury Rd, Lakewood, OH
 Page 7
 Drawn by: Paul A. Throckmold, P.E. (640) 594-0764





FOLLOW APA NARROW WALL INSTRUC.
FOR 24" NARROW PILLARS. EXTEND
TO OUTSIDE CORNER & FOLLOW
SPECIAL NAILING PATTERN & ANCHORAGE

USE 5/8" TYPE "N" DRYWALL FOR
ALL GARAGE/HOUSE SHARED WALLS.

SET TOPS OF NDOS. @ 7'-0" ABOVE FLOOR.

COVERED CONCR. PORCH

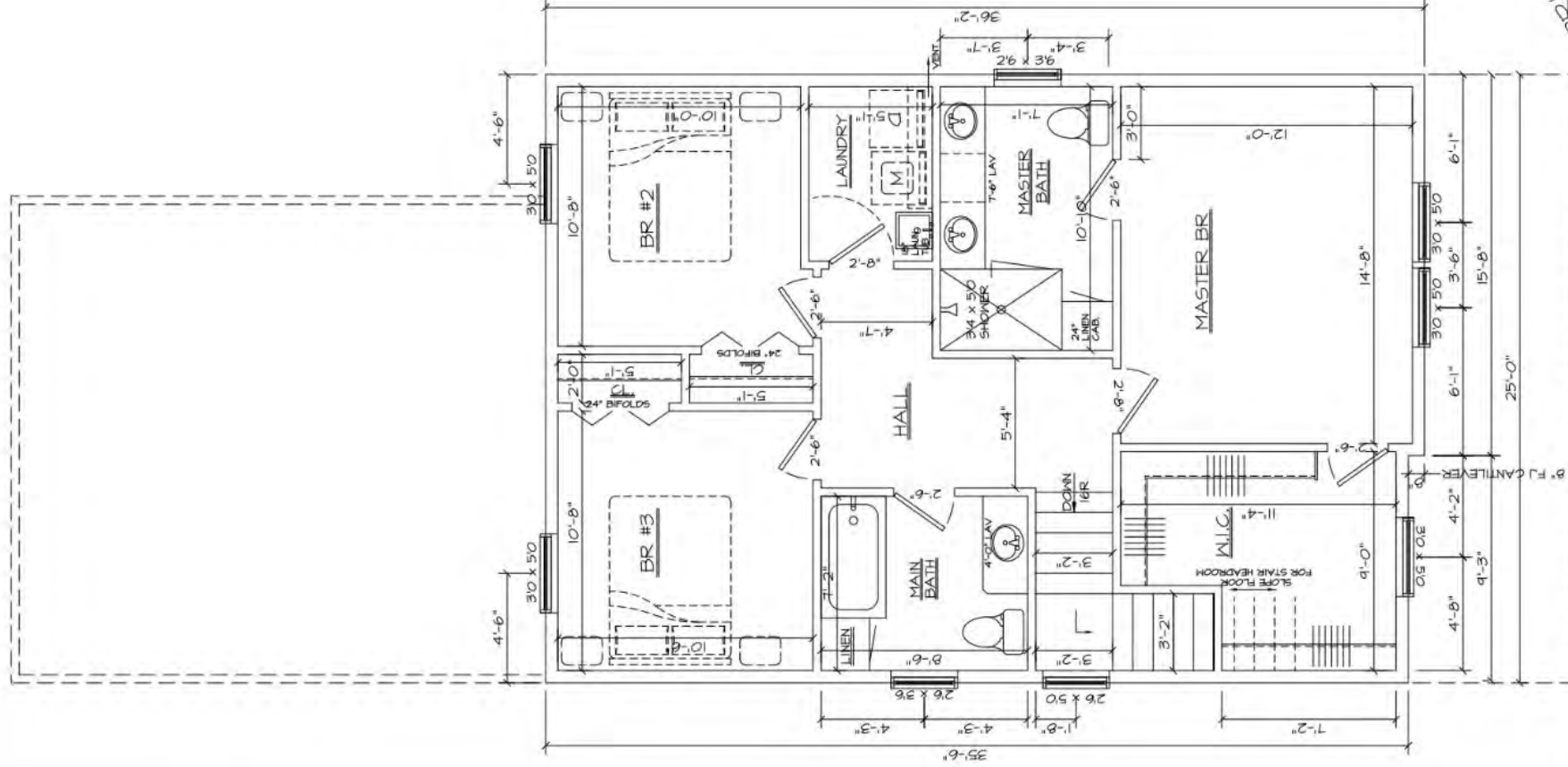
(2) 1-3/4 x 11-1/4" LVL PORCH BEAM

FIRST FLOOR PLAN

848 SQ. FT. 9'-0" CLGS.

PRINT BUILD

BRIDGET GOKKER HOUSE
1654 Waterbury Rd., Lakewood, CO
Page 5
Drawn by Paul A. Thompson P.E., AEC01594-02



SECOND FLOOR PLAN
898 SQ. FT. 8'-0" CLGS.





Charcoal (black)

Timberline roof



Black trim, black windows with Colonial Grills (as pictured)

White Board & Batten (vertical vinyl siding) for the top half of the house



White Woodsman Select (premium vinyl siding) for the bottom half off the house





© 2022 Google



CERTIFICATE OF CONFORMANCE

Premium Board & Batten

MATERIAL SPECIFICATIONS

All products meet or exceed the Standard Specification for Rigid PVC Siding (ASTM D-3679) and its referenced documents. An independent laboratory through unannounced inspection of all manufacturing facilities verifies the conformance to this specification. ASTM D-3679 is the specification used by building code authorities. Where not defined in ASTM D-3679, products also meet Norandex Stringent Quality Control Standards. Norandex Board and Batten shall be extruded flat and post-formed into shapes.

PHYSICAL DATA

Panel Thickness: .052" (+/- .001")
 Color: Uniformity is spectrophotometrically controlled.
 Texture: Embossed with a cedar grain pattern.
 Lock: Optically measured and controlled.
 Gloss: Uniform low gloss maintained with a 75° glossmeter.

PRODUCT TEST DATA

Heat Shrinkage:	<3% at 160°F
Impact Resistance Mean Failure Energy: Surface	> 60 in. lb.
Distortion:	None at 120°F
Length:	Within-1/4" specification
Warp/Camber:	<1/8"
Max Sustained Windload Test Pressure:	60.0 psf
Standard Windload Design Pressure Rating:	73.3 psf * (ASD)
Maximum Windspeed:	174 MPH* (ASD)
Coefficient of Linear Expansion (in/in/°F)	<4.5x10 ⁻⁵

* Windspeed calculations based on VSI, ASTM D3679-17, ASCE 7-16, 30 ft. high, Exposure B

FIRE RESISTANCE

All Norandex siding, soffit and accessories have a Class A flame spread classification per 2018 International Residential Code (IRC) and International Building Code (IBC).

ASTM E84:	ASTM D1929:
Flame Spread Index: ≤25	Self-Ignition Temperature: 860°F
Smoke Developed Index: >450	ASTM D635:
Fuel Contribution: 0	Classified: CC1 **

** Tested specimens did not burn at 25 mm mark. Material was shown to be self-extinguishing. Therefore no average time of burning or average extent of burning can be calculated. For more information obtain a brochure on the fire properties of siding by contacting the Vinyl Siding Institute at www.vinylsiding.org

All Noradnex siding has been tested per ASTM D5206 for resistance to negative wind load pressures when installed with nails positioned 12" on center.

RELEVANT CODES AND REGULATIONS COMPLIANCE

ASTM D-3679, Florida Building Code Approval - FL12500, CCRR-0184.

Profiles

7"
 10' long
 17 pieces/carton
 1 squares/carton

COLORS (16)

- White
- Sierra *
- Sandstone
- Mocha *
- Russet +
- Maverick Brown +
- Firebrick +
- Cactus
- Myrtle +
- Smoke *
- Granite *
- Seaport +
- Steel Blue +
- Deep Water +
- Graphite +
- Carbon +

* Premium Colors featuring ColorHold® capping resins, a UV-Stable acrylic polymer

+ Designer Collection Color



Board & Batten

VERTICAL VINYL SIDING



Designed
to Make
Your Home
Stand Out!

The Look of Wood, the Value of Vinyl

FEATURES AND BENEFITS



.052" panel thickness, 7" panel exposure and a cedar grain pattern.

A 1/2" panel projection provides rigidity and casts deep, appealing shadow lines.



The extra thick panel combined with a heavy-duty lock ensures a safe, secure installation.



COLORHOLD®
Lifetime Fade Protection

ColorHold® is a highly durable capstock that resists fading and discoloring and is backed by a limited lifetime transferable warranty*, including Lifetime Fade Protection. Specify the most brilliant and rich hues with absolute confidence.

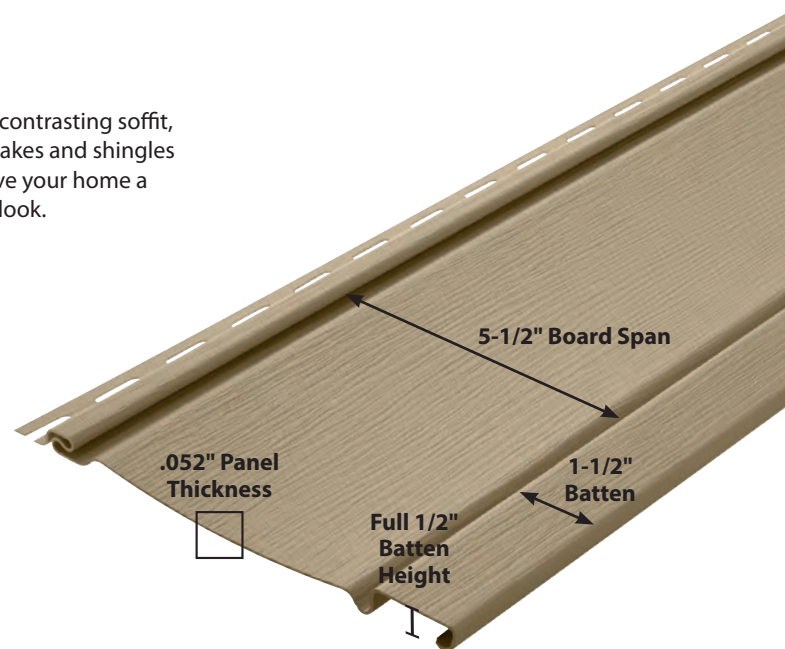
*Visit www.norandex.com to view warranty details.



Matching and contrasting soffit, accessories, shakes and shingles available to give your home a one-of-a-kind look.

7" PROFILE

The wide, flat board is accentuated with a narrow batten for an authentic Early American look.



CERTIFICATION PROGRAM
CONSULT THE VSI WEBSITE AT:
WWW.POLYMEREXTERIORS.ORG FOR A CURRENT LIST OF CERTIFIED PRODUCTS AND COLORS.

MAKE BOARD & BATTEN VERTICAL VINYL SIDING THE CHOICE FOR THE LIFE OF YOUR HOME.



Virtually maintenance free. Save time and money on upkeep costs.



Because it's solid vinyl, it won't blister, crack, flake, peel or rot like wood exteriors.



A sound investment that can help increase the resale value of your home.



22 BEAUTIFUL COLORS

White	Linen	Champagne	Sandstone
Cactus	Silver	Victorian Stone PREMIUM	Sierra PREMIUM
Mocha PREMIUM	Smoke PREMIUM	Granite PREMIUM	Harbor Fog PREMIUM
Russet DESIGNER	Maverick Brown DESIGNER	Firebrick DESIGNER	Myrtle DESIGNER
Vintage Grey DESIGNER	Seaport DESIGNER	Steel Blue DESIGNER	Deep Water DESIGNER
Graphite DESIGNER	Carbon Brown DESIGNER	Colors are mechanically reproduced. For color accuracy, please see actual product sample.	

DESIGNER COLLECTION

A beautiful collection of darker, richer colors with tremendous curb appeal, providing a real value for homeowners seeking a unique, darker finish that stands out and stands apart from others in the neighborhood.

Complement Your New Siding With Other Quality Exterior Products



The quality of your home matters to us, which is why we provide a range of high-quality products beyond just siding to enhance and safeguard your home. Whether you need entry doors, energy-efficient windows, soffit, trim or metals, you can be assured that you have chosen reliable, top-performing products to complete your home.



VINYL SIDING, SOFFIT & ACCESSORIES

1-800-528-0942

www.norandex.com

GAF Timberline HDZ[®]
High Definition[®] Lifetime[®] Shingles



Engineered to be first. Built to last.

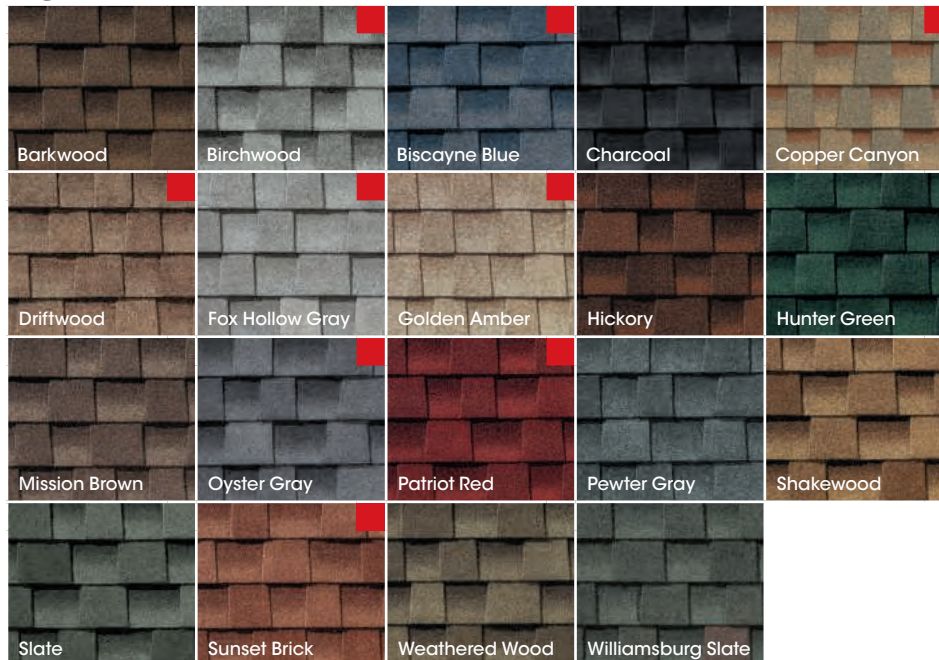
Our #1-selling shingle represents a legacy of relentless innovation — delivering the peak performance and dependability customers trust most.



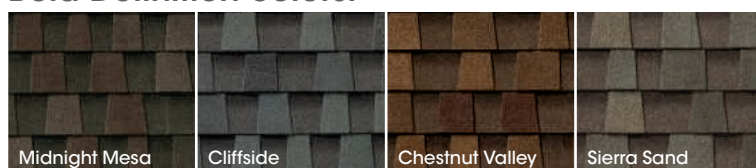
Benefits:

- Industry-leading innovation:** LayerLock® technology powers StrikeZone®, the industry's largest nailing zone. Paired with our legendary DuraGrip® sealant, these features ensure that the shingles stay in place, even under high wind conditions
- The industry's strongest wind warranty:** Timberline HDZ® shingles are eligible for the WindProven™ Limited Wind Warranty,¹ the industry's only wind warranty with no maximum wind-speed limitation, when installed with the required combination of GAF accessories
- GAF-exclusive algae fighting technology:** 25-Year StainGuard Plus™ Algae Protection Limited Warranty² powered by proprietary time-release algae-fighting technology
- Peace of mind:** Timberline HDZ® shingles come with Lifetime[†] coverage against manufacturing defects
- Impact rating:** Timberline HDZ® passes the UL 2218 impact-resistance test with a Class 3 rating and may be eligible for insurance discounts⁴
- For the best look:** Use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles

High Definition® colors:



Bold Definition colors:



Product details:

Product/System Specifics

- Fiberglass asphalt construction
- Dimensions (approx.):** 13 1/4" x 39 3/8" (337 mm x 1,000 mm)
- Exposure:** 5 5/8" (143 mm)
- Bundles/Square:** 3
- Pieces/Square:** 64
- Hip/Ridge:** TimberTex®; TimberCrest®
- Starter:** Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:

- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018 Type 1
- Meets ASTM D3462³
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Rated by the CRRC; Can be used to comply with Title 24 Cool Roof Requirements (some colors)

[†] Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

¹ 15-year WindProven™ Limited Wind Warranty covers GAF Shingles with LayerLock® Technology only and requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *WindProven™ Limited Wind Warranty*, see *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

³ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁴ UL 2218 Class 3 impact-resistance test performed under controlled laboratory conditions. Insurance discounts may not be available in your area. Where available, insurance discounts may vary. Contact your insurance provider for information.

⁵ Eligibility criteria, terms, and restrictions apply. Visit fortifiedhome.org for details. U.S. only.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Regional availability

We protect what matters most™



Woodsman Select

PREMIUM VINYL SIDING



The Warm, Natural Look of Rough-Sawn Cedar

The Look of Wood, the Value of Vinyl

FEATURES AND BENEFITS



.042" panel thickness with a low gloss natural cedar woodgrain pattern.

A 5/8" panel projection provides rigidity and casts deep, appealing shadow lines.



TitanBar™
REINFORCED NAIL HEM

A heavy-duty extended return leg snaps tightly into the TitanBar™ Reinforced Nail Hem, which is double the thickness of the siding panel under the nail head, for an installation that's solid and secure, protecting against panel blow off in adverse weather conditions.



XLOK™ TECHNOLOGY **NailRIGHT™**
SIDING INSTALLATION SYSTEM

XLoK™ Technology combines the TitanBar Reinforced Nail Hem and the NailRIGHT™ Siding Installation System, two innovations that help ensure the siding is securely interlocked and properly affixed to the wall.



COLORHOLD®
Lifetime Fade Protection

ColorHold® is a highly durable capstock that resists fading and discoloring and is backed by a limited lifetime transferable warranty*, including Lifetime Fade Protection. Specify the most brilliant and rich hues with absolute confidence.

*Visit www.norandex.com to view warranty details.



Matching and contrasting soffit, accessories, shakes and shingles available to give your home a one-of-a-kind look.



CERTIFICATION PROGRAM
CONSULT THE VSI WEBSITE AT:
WWW.POLYMEREXTERIORS.ORG FOR A CURRENT LIST OF CERTIFIED PRODUCTS AND COLORS.

MAKE WOODSMAN SELECT PREMIUM VINYL SIDING THE CHOICE FOR THE LIFE OF YOUR HOME.



Virtually maintenance free.
Save time and money on
upkeep costs.



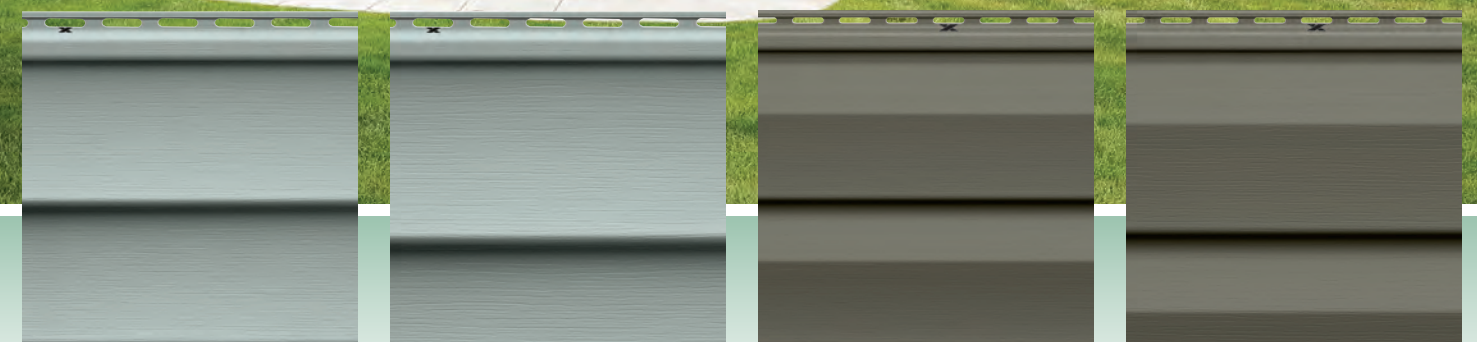
Because it's solid vinyl, it won't
blister, crack, flake, peel or rot
like wood exteriors.



A sound investment that can
help increase the resale value
of your home.



Woodsman Select Double 4" Clapboard - Granite



Double 4" Clapboard

Double 5" Clapboard

Double 4" Dutchlap

Double 5" Dutchlap

FOUR DISTINCTIVE PROFILES:

- Double 4" Clapboard
- Double 5" Clapboard
- Double 4" Dutchlap
- Double 5" Dutchlap



COLORHOLD®

Lifetime Fade Protection

ColorHold® is a highly durable capstock that resists fading and discoloring. Specify the most brilliant and rich hues with absolute confidence.

15-Year

Comparison of Fade



This is a visual representation of the actual fade that can be expected on vinyl siding and soffit.

Colors are mechanically reproduced.

Color Availability

23 BEAUTIFUL COLORS

White	Beige	Cream	Tan
Champagne	Sandstone	Cactus	Silver
Sierra PREMIUM	Tumbleweed PREMIUM	Mocha PREMIUM	Khaki PREMIUM
Fern PREMIUM	Olive PREMIUM	Smoke PREMIUM	Granite PREMIUM
Harbor Fog PREMIUM	Wedgewood PREMIUM	Russet DESIGNER	Maverick Brown DESIGNER
Seaport DESIGNER	Steel Blue DESIGNER	Graphite DESIGNER	

Colors are mechanically reproduced. For color accuracy, please see actual product sample.



NailRIGHT™
SIDING INSTALLATION SYSTEM

The "X" appears every 8" on the nailing hem as a guide to help determine location of hidden wall studs.

Your professional installation crew takes every possible precaution to make sure your new siding looks and performs its best.

They use the Norandex proprietary NailRIGHT™ Siding Installation System to help them locate and precisely nail into the framing studs. This is a very important detail because misapplied nails can cause siding to buckle, blow off in windy conditions, or be hazardous if they strike wiring or plumbing located between the studs.

NailRIGHT helps ensure an accurate and safe installation. It securely connects the siding to the wall for optimum performance. This means the beautiful siding you select will not only stand out, but will stay up, even in extreme weather conditions.

AVOID:



Hidden Dangers

Nails that miss their mark can be potentially hazardous to items, like wiring and plumbing, located in the cavities between studs.



Blow Off

NailRIGHT helps guide the installer to the studs for an installation that's strong and secure, resisting blow offs.



Unnecessary Nail Usage

NailRIGHT assures the proper amount of nails are used, saving your home from unnecessary hammer hits.



Complement Your New Siding With Other Quality Exterior Products



The quality of your home matters to us, which is why we provide a range of high-quality products beyond just siding to enhance and safeguard your home. Whether you need entry doors, energy-efficient windows, soffit, trim or metals, you can be assured that you have chosen reliable, top-performing products to complete your home.



VINYL SIDING, SOFFIT & ACCESSORIES

1-800-528-0942

www.norandex.com

Charcoal (black)
Timberline roof



Black trim, black windows with Colonial Grills (as pictured)



White Board & Batten
(vertical vinyl siding)
for the top half of the
house



White Woodsman
Select (premium
vinyl siding) for the
bottom half off the
house

CR
1/2



Plot Plan Made at the Instance of
Joe Gouker
 Lot 33
 Waterbury Heights Subdivision No. 1, Vol. 55, Pg. 18 C.C.M.R.
 Original Rockport Township Section Number 21
 City of Lakewood, County of Cuyahoga, State of Ohio
 Order No. 24-059 F.B. Data Collector
 Scale: 1" = 00' Date: 5-23-24

Contractor Notes:

- PRIOR TO FOOTER EXCAVATION All items below are to be reviewed and verified by the "Contractor" and/or "Owner". Any discrepancies found on the site plan or discrepancies between the site plan and architectural plans are to be brought to the attention of Hofmann-Metzker, Inc immediately to address any revisions that may be necessary.
- Verify bench mark with existing spot elevations/contours shown on the site plan
 - Verify type of connection - i.e. san or stm
 - Verify prorated connection elevations
 - Verify all house dimensions shown with the architectural drawings.
 - Verify all various house elevations with the architectural drawings.
 - If provided, verify all patio, porch, and landing elevations to determine the necessary risers/steps to reach proposed outside grade
 - Verify proposed site grading and become familiar with the overall drainage concept as designed
 - Follow soils engineer recommendations (if available) for footer installation. Surveyor assumes no responsibility for soil integrity and/or testing
 - Footers to be below natural grade per the Municipalities specifications.
 - Extend footers to a soil bearing capacity that meets the Municipalities specifications
 - Use Plot Plan approved by Municipality
 - Offset hub location for house staking to be determined in field.

Keynotes:

1. No Connection information provided by the City of Lakewood. Separate 6" Storm and Sanitary connection elevations and locations are assumed. Contractor to excavate and expose both laterals and verify elevation prior to footer excavation. Contractor to videotape existing laterals to the main and verify the integrity of the connections. Coordinate all work with the City of Lakewood Sewer and/or Engineering Department.

Iron Pin Monuments and stakes were found or set at all points indicated hereon. All distances and elevations are given in feet and decimal parts thereof. all of which I state to be correct.

HOFMANN-METZKER, INC.
 Registered Professional Surveyors
 24 Beech St - Berea, Ohio 44017
 (440) 234-7350 - (440) 234-5544
 Email rich@hm-surveying.com



By: _____
 Registered Surveyor #7477

Date _____

LEGEND

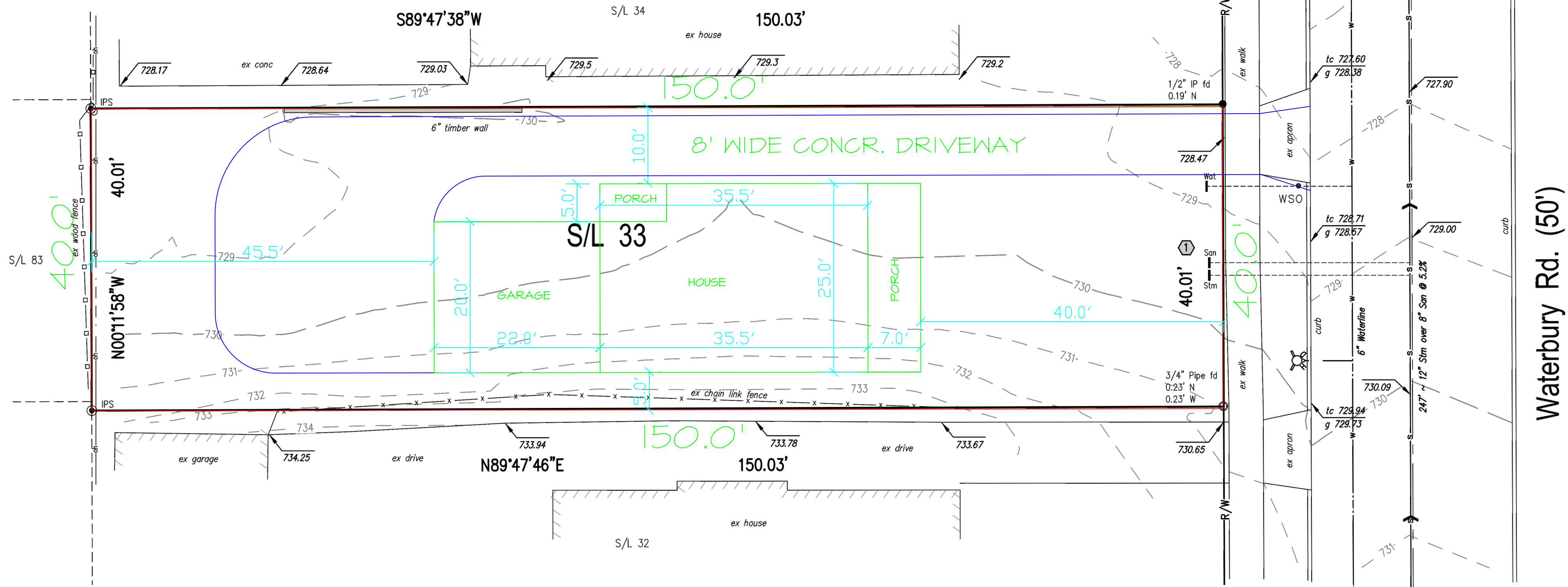
Construction Entrance	
Inlet Protection	
Silt Fence	SF
Swale	S
Runoff	
Elevations Proposed	XXX.XX
Elevations Existing	XXX.X
Water Connection	W
Sanitary Stub	San
Storm Stub	Stm
Cleanout	
Water Shut-off	
Power Pole	

Property Information

Owner: Bridget M Gouker
 Address: 1654 Waterbury Rd
 City/State: Lakewood, OH 44107
 Parcel No.: 315-06-145
 Deed: AFN 202308110459

Assumed Storm Connection
 Inv at Main - 922.1
 Inv at R/W - 922.4

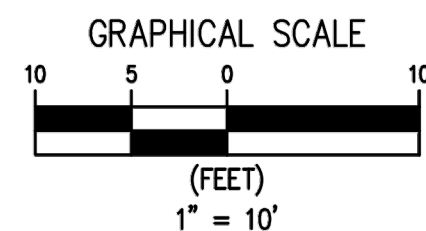
Assumed Sanitary Connection
 Inv at Main - 920.7
 Inv at R/W - 921.0



Various House Elevations

First Floor	x
Garage	x
Top Foundation	x
Basement	x
Top of Footer	x
Bottom of Footer	x

Benchmark: NGVD88
 BM1 - Top Hydrant at S/L 33
 Elevation 732.90



House added to site plan by Paul A. Trimarchi, P.E.

Scale: 1" = 10' on 18 x 24" sheet

Combo MH
 Rim 720.10
 12" Stm 711.9
 8" San 710.5±

Waterbury Rd. (50')

Combo MH
 Rim 732.43
 12" Stm 724.6
 8" San 723.2 assumed
 (San not visible)



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 09-80-24

Permit No.: BBS24-000096

Applicant Name: CASTO Communities, Kolby Turnock

Project Address: 14501-14519 Detroit Ave,

Project Name: Downtown Development

Project: Applicant proposes a comprehensive sign plan

Site Signage: Location

- Primary Site Monument Sign
- Primary Site Low Wall Mounted Sign
- Decorative Site Symbol Signage Wall Mounted





Lakewood Mixed-Use Development

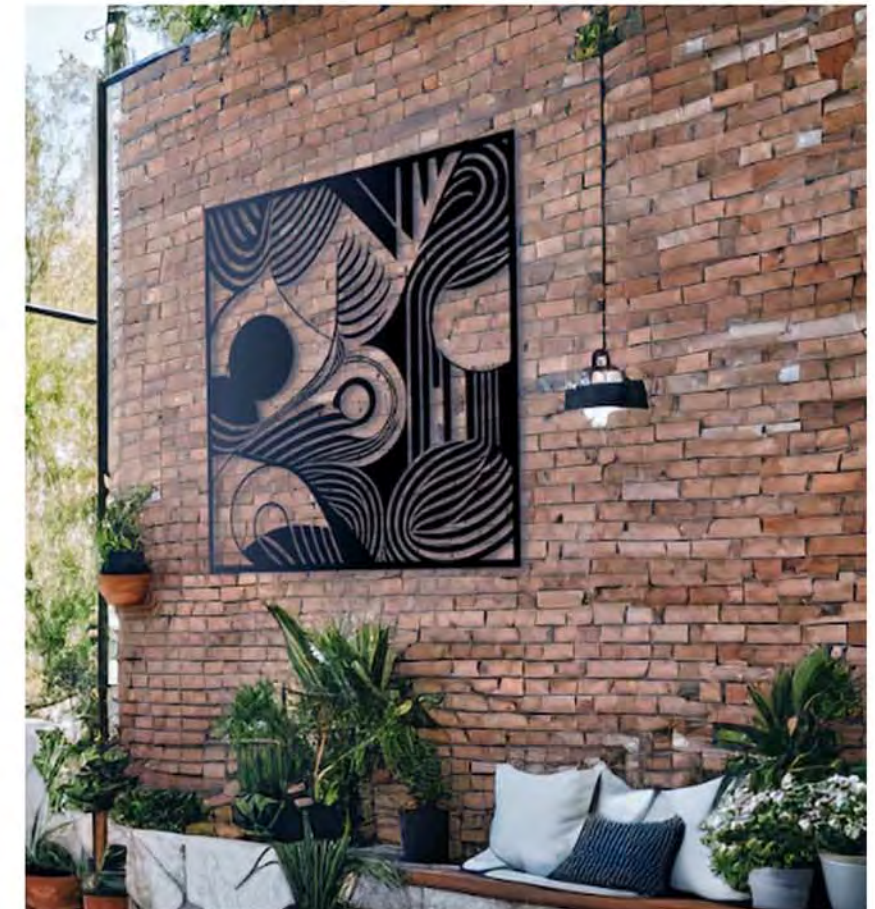
Lakewood, Ohio



DIMIT ARCHITECTS
architecture + interiors + urban design

Site Signage Types: Style

-  Primary Site Monument Sign
-  Primary Site Low Wall Mounted Sign
-  Decorative Site Symbol Signage Wall Mounted



Lakewood Mixed-Use Development

Lakewood, Ohio

CASTO

DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Locations

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
- Canopy Mounted Identity Sign - Face Mounted
- Blade/ Wall Mounted Sign - Major

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs
- Awning Signs - Alt. Wall Mounted Sign



North (Detroit) Elevation



West (Belle) Elevation

Lakewood Mixed-Use Development

Lakewood, Ohio



DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Locations

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
- Canopy Mounted Identity Sign - Face Mounted
- Blade/ Wall Mounted Sign - Major

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs
- Awning Signs - Alt. Wall Mounted Sign



South Elevation



East (Marlowe) Elevation

Lakewood Mixed-Use Development

Lakewood, Ohio



DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
- Canopy Mounted Identity Sign - Face Mounted
- Blade/ Wall Mounted Sign - Major

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs
- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

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DIMIT ARCHITECTS
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Sign Types: Style

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- Canopy Mounted Identity Sign - Face Mounted
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- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio



DIMIT ARCHITECTS
architecture + interiors + urban design

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- Canopy Mounted Identity Sign - Face Mounted
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- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio



DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
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- Canopy Mounted Identity Sign - Face Mounted
- Blade/ Wall Mounted Sign - Major

Secondary Signs:

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- Window Signs
- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

CAS TO

DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
- Canopy Mounted Identity Sign - Face Mounted
- Blade/ Wall Mounted Sign - Major

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs
- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

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DIMIT ARCHITECTS
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Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
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- Window Signs
- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

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DIMIT ARCHITECTS
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Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Above Canopy
- Canopy Mounted Identity Sign - Below Canopy
- Canopy Mounted Identity Sign - Face Mounted
- Blade/Wall Mounted Sign - Major

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs
- Awning Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

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Sign Types: Locations

Primary Signs:

- Canopy Mounted Identity Sign - Below Canopy
- Masonry Vinyl High-Tack Applied Sign

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs



Lakewood Mixed-Use Development

Lakewood, Ohio

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DIMIT ARCHITECTS
architecture + interiors + urban design

Sign Types: Style

Primary Signs:

- Canopy Mounted Identity Sign - Below Canopy
- Masonry Vinyl High-Tack Applied Sign

Secondary Signs:

- Blade/Wall Mounted Sign - Minor
- Window Signs



Lakewood Mixed-Use Development

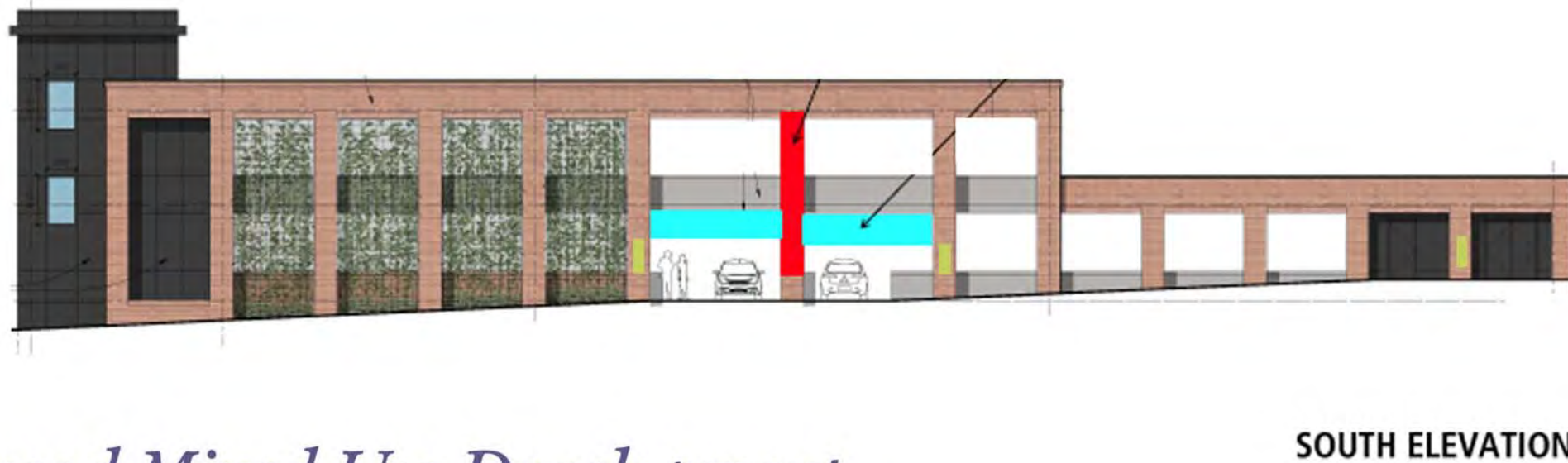
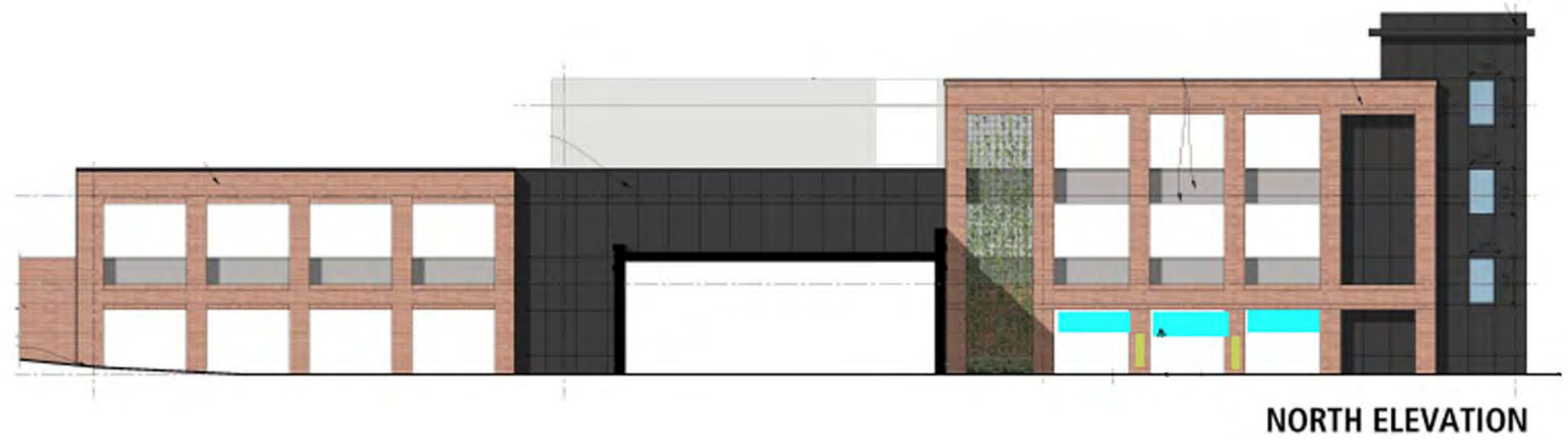
Lakewood, Ohio

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Sign Types: Locations

- Primary Garage Parking Signage
- Directional Signage
- Secondary Wall Mounted Signage



Lakewood Mixed-Use Development

Lakewood, Ohio

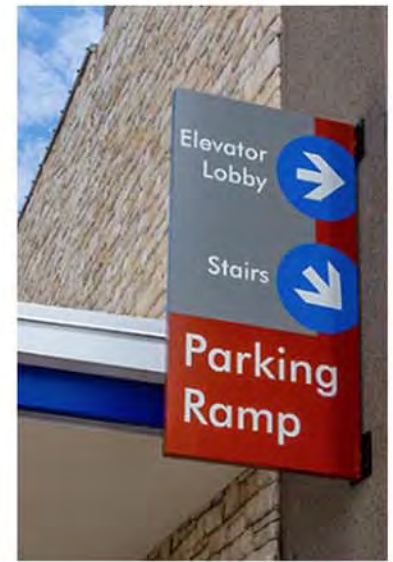
SOUTH ELEVATION

CASTO

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Sign Types: Style

- Primary Garage Parking Signage
- Directional Signage
- Secondary Wall Mounted Signage



Lakewood Mixed-Use Development

Lakewood, Ohio

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DIMIT ARCHITECTS
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Sign Types: Locations

- Building Blade Sign
- Building Below Canopy Sign
- Site Monument Sign



East Elevation



North Elevation

Lakewood Mixed-Use Development

Lakewood, Ohio

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Sign Types: Style

-  Building Blade Sign
-  Building Below Canopy Sign
-  Site Monument Sign



Lakewood Mixed-Use Development

Lakewood, Ohio

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City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 11-102-25

Permit No.: BBS25-000113

Applicant Name: Brian Limkemann, House to Homes Cleveland, LLC

Project Address: 1321 Bunts Rd.

Project Name: n/a

Project: Applicant proposes alterations to previously approved rear addition, covered patio, and a new garage.











Project Summary

This family needs more space, so we propose to add two 450 square foot floors of living area onto the house to create a large, modern kitchen and second floor primary suite.

The existing garage has reached the end of its useful life, so that will be replaced as well. New electric service will be run to the garage to handle a future EV charger.

Exterior finishes will match the existing fiber cement siding / paint color and roofing shingles as closely as possible.

RECEIVED

By Kelly McCafferty at 9:09 am, Feb 27, 2026

RB26-000062



RB26-000062
NONCONFORMANCE APPROVAL
PHASED APPROVAL
3/19/26
CHARLES HUBER, LAKEWOOD ACTING
RESIDENTIAL BUILDING OFFICIAL

REVISION TABLE	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
A1-01	Floor Plans - AS-BUILT
A1-02	Floor Plans
A1-03	Floor Plans Overlay
A2-01	Elevations
A4-01	Exterior Renderings
I-1	First Floor Renderings
I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westershs

1321 Bunts
Lakewood, OH
44107

NOTES

- Scale valid for Arch D (24"x36")
- Dimensions to be field-verified

DRAWING TITLE

Project Overview

DRAWING DATE

* DATE *

G-1

REVISION TABLE	REVISION NO.	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
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A1-01	Floor Plans - AS-BUILT
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I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westerhs
1321 Bunts
Lakewood, OH
44107

- NOTES
- Scale valid for Arch D (24"x36")
 - Dimensions to be field-verified

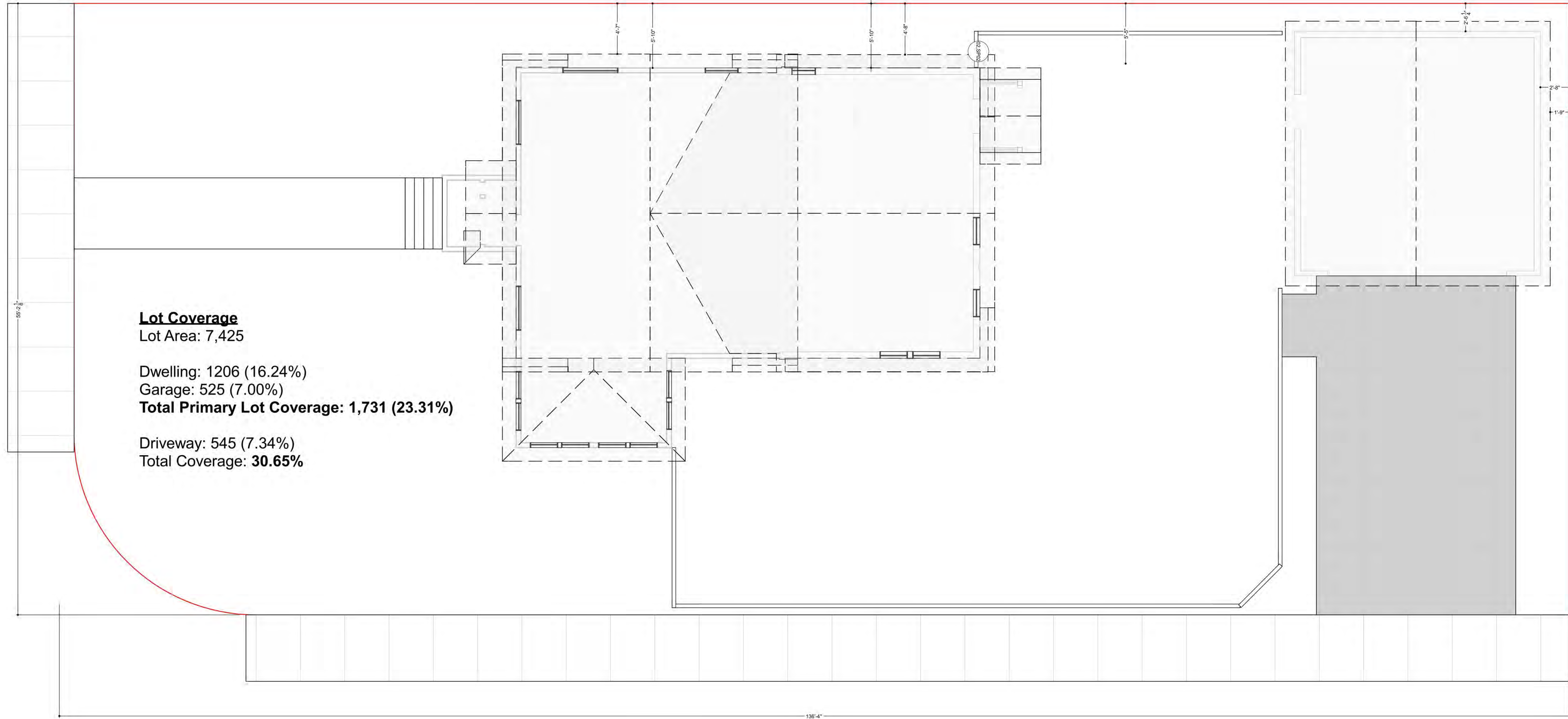
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Site Plan

DRAWING DATE

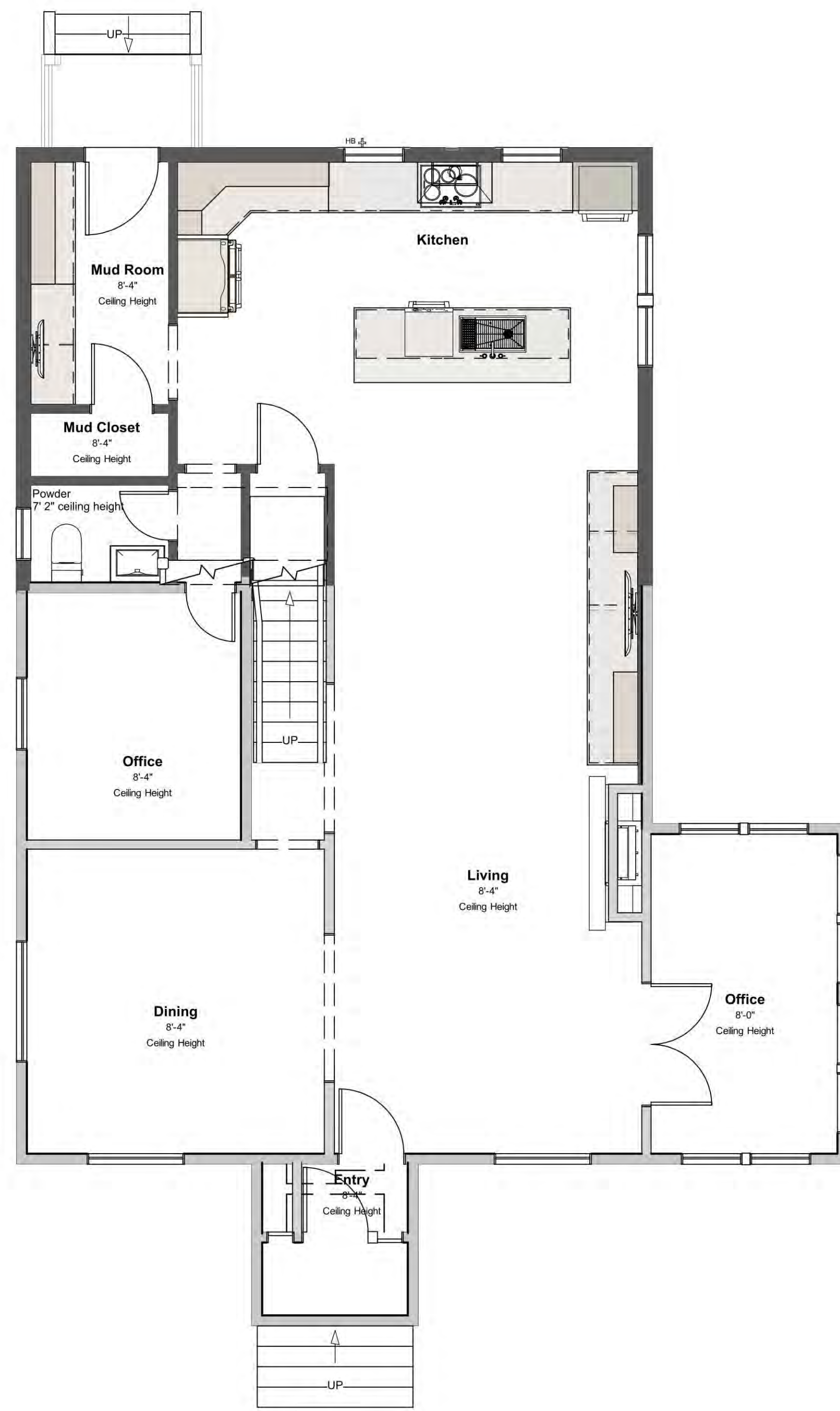
* DATE *

V-1

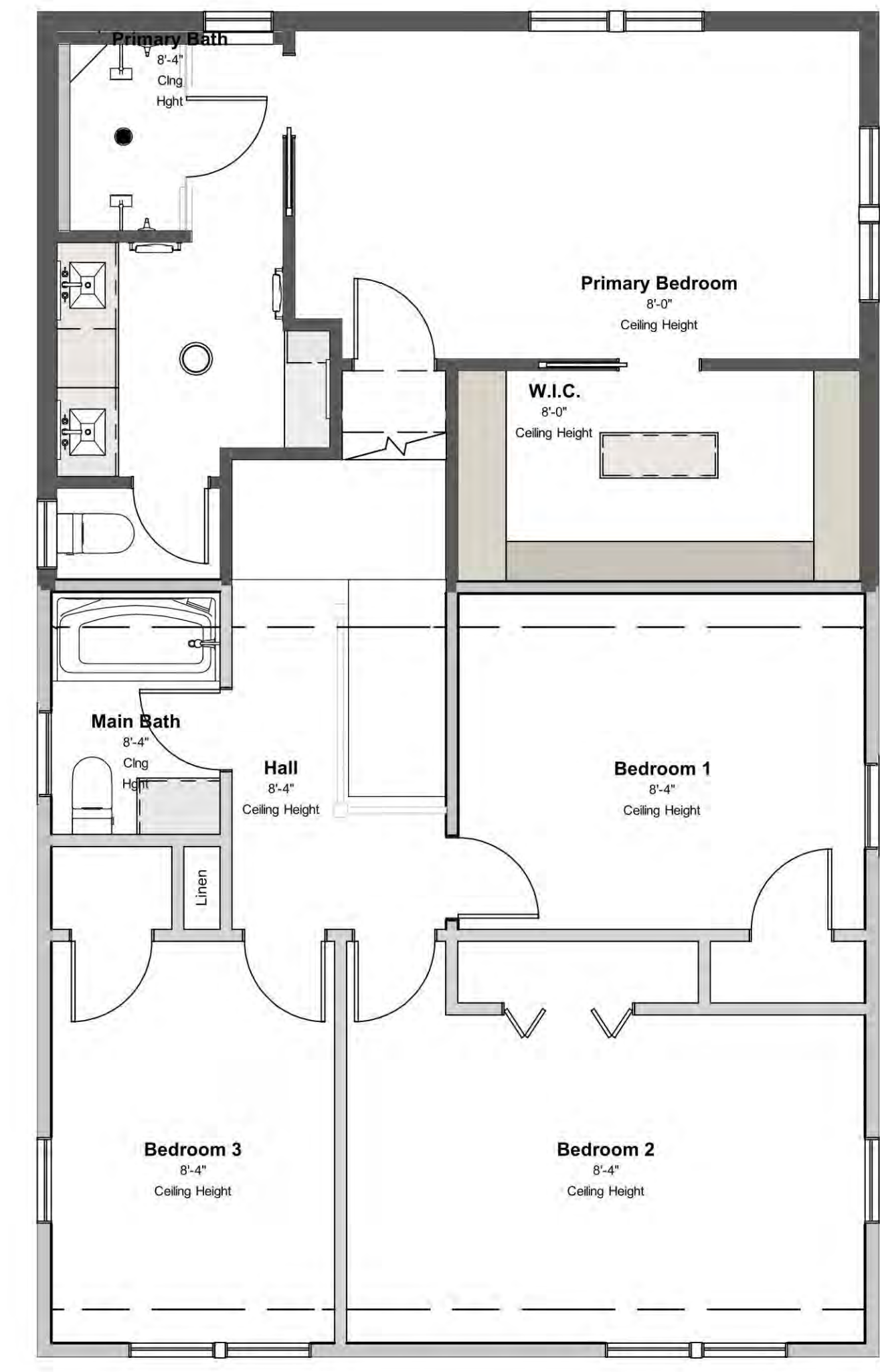


Site Plan Note Schedule	
	Existing fence will get shortened but location to remain the same

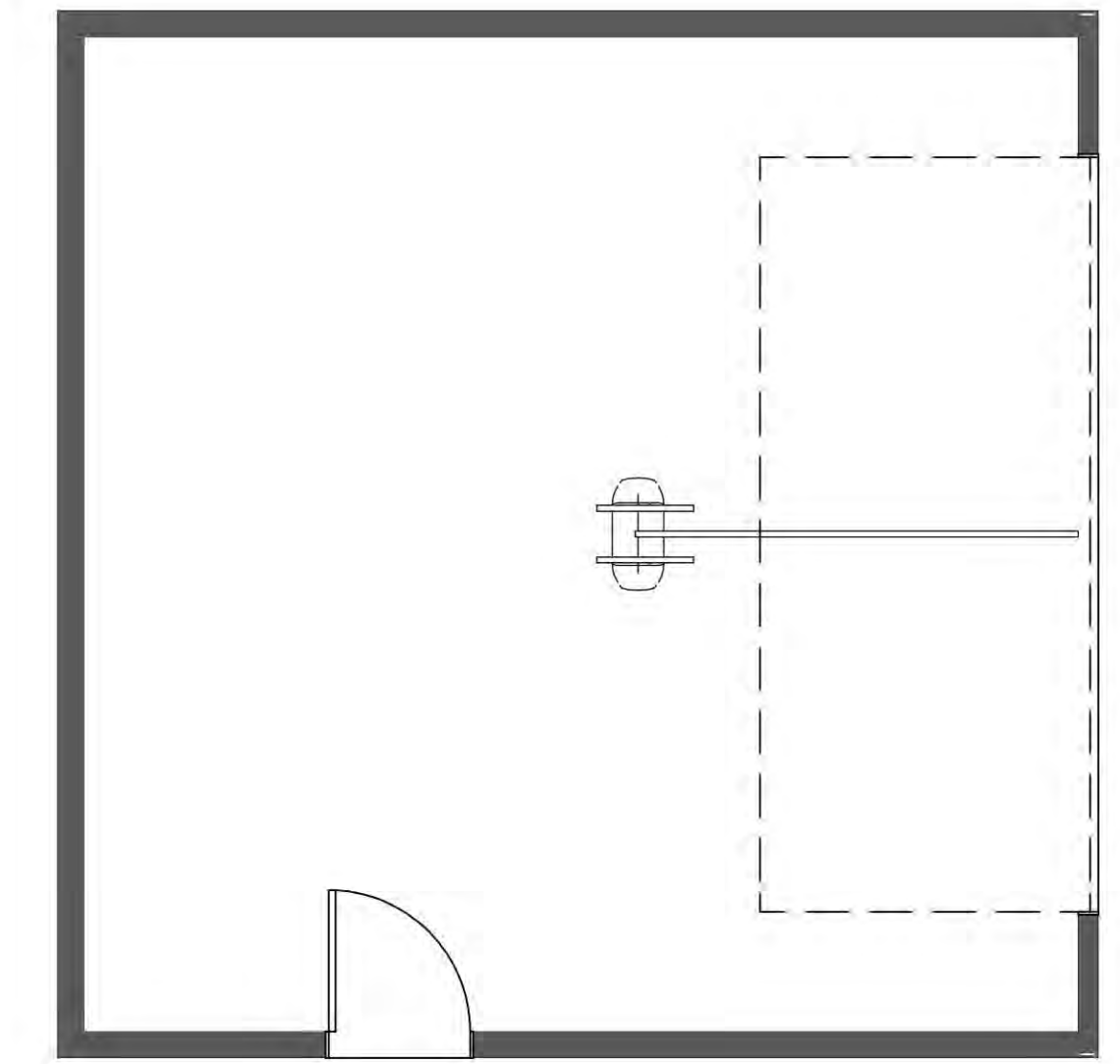
SITE PLAN
3/16 IN = 1 FT



FIRST FLOOR
1/4 IN = 1 FT



SECOND FLOOR
1/4 IN = 1 FT



GARAGE
1/4 IN = 1 FT



REVISION TABLE	DESCRIPTION	DATE

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G-1	Project Overview
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A1-03	Floor Plans Overlay
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A4-01	Exterior Renderings
I-1	First Floor Renderings
I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westerhs
1321 Bunts
Lakewood, OH
44107

- NOTES
- Scale valid for Arch D (24"x36")
 - Dimensions to be field-verified

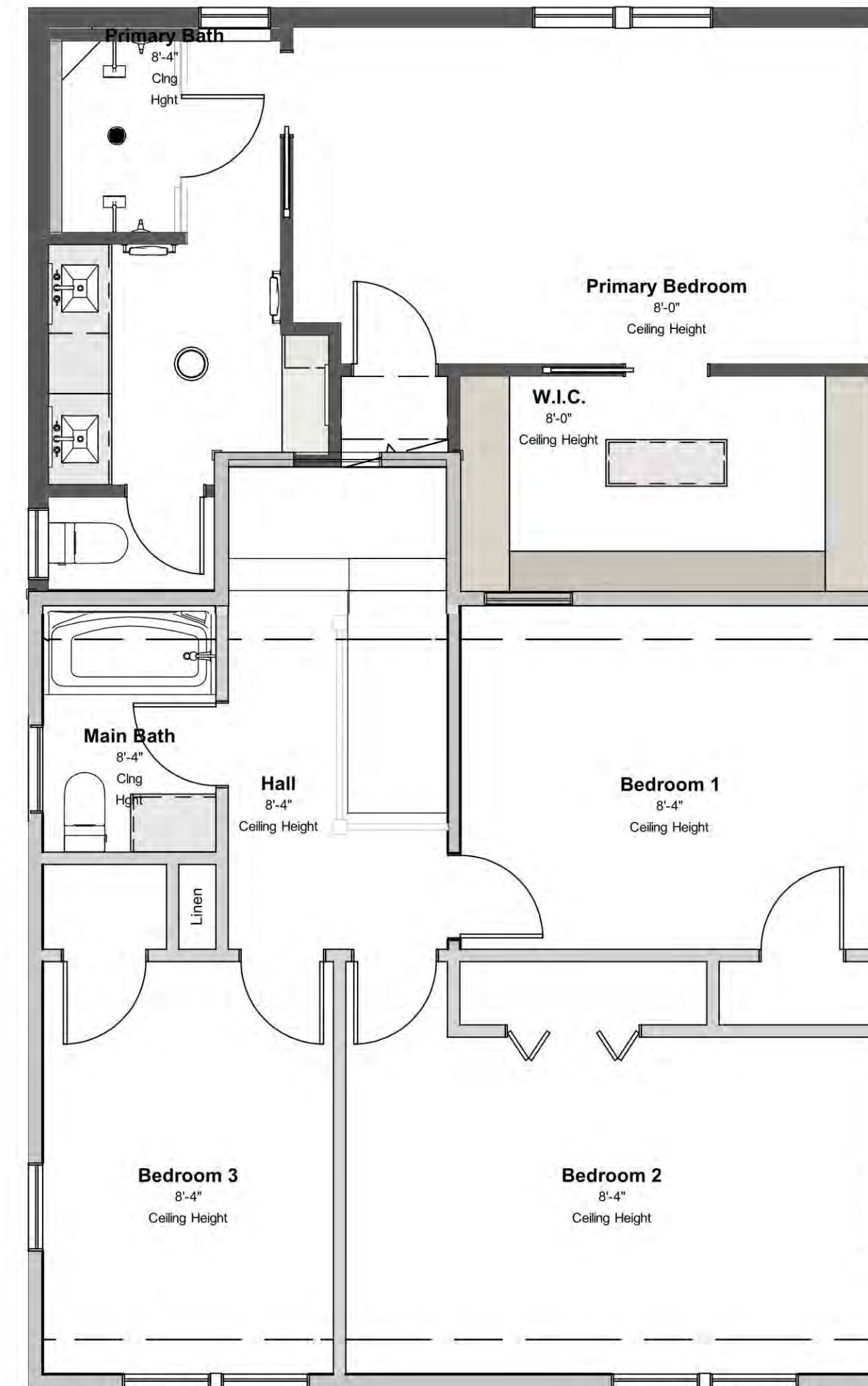
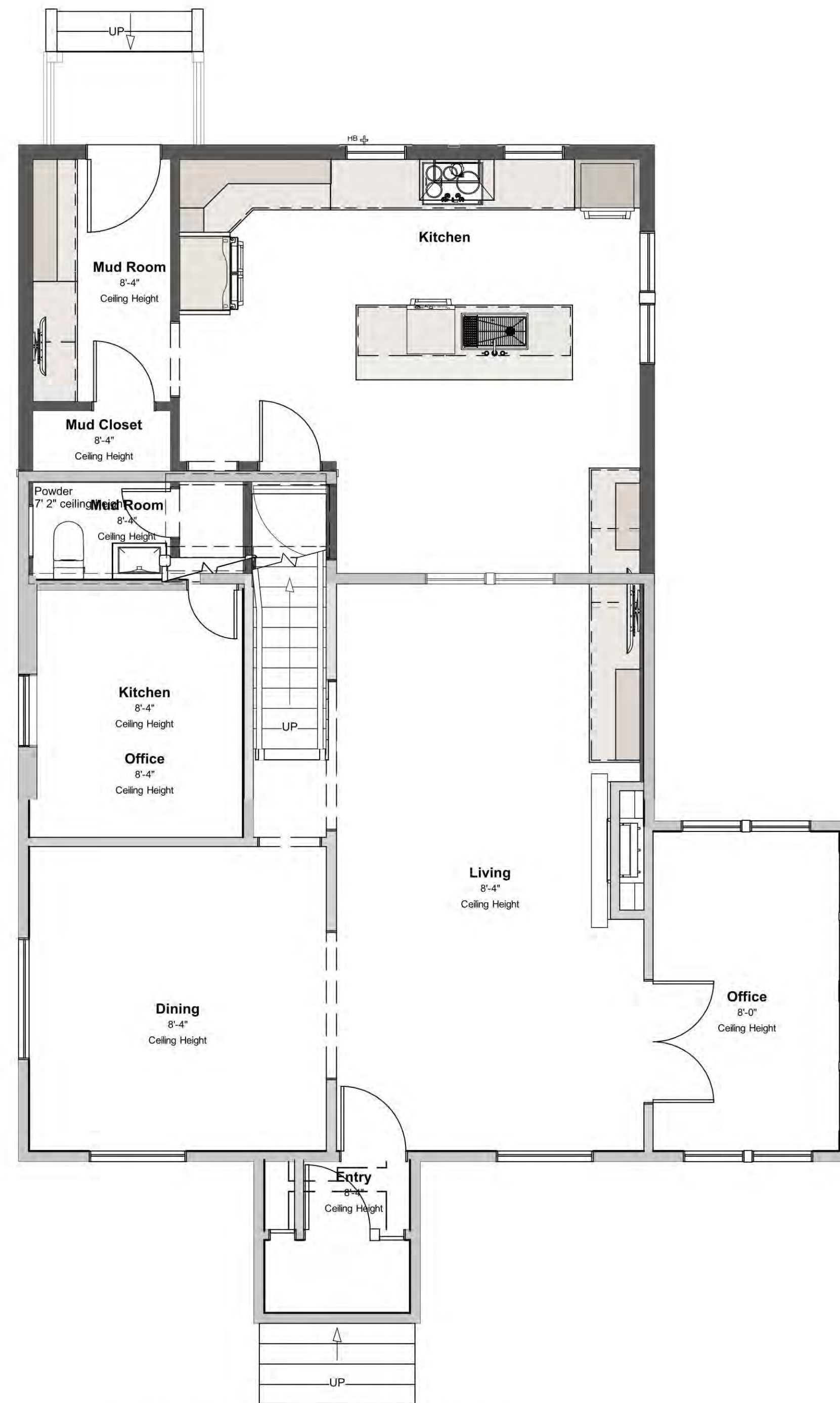
DRAWING TITLE

Floor Plans

DRAWING DATE

* DATE *

A1-02



REVISION TABLE	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
A1-01	Floor Plans - AS-BUILT
A1-02	Floor Plans
A1-03	Floor Plans Overlay
A2-01	Elevations
A4-01	Exterior Renderings
I-1	First Floor Renderings
I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westerhs

1321 Bunts
Lakewood, OH
44107

- NOTES
- Scale valid for Arch D (24"x36")
 - Dimensions to be field-verified

DRAWING TITLE

Floor Plans Overlay

DRAWING DATE

* DATE *

A1-03



C12 KITCHEN RENDERING

REVISION TABLE	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
A1-01	Floor Plans - AS-BUILT
A1-02	Floor Plans
A1-03	Floor Plans Overlay
A2-01	Elevations
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I-1	First Floor Renderings
I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westershs

1321 Bunts
Lakewood, OH
44107

- NOTES
- Scale valid for Arch D (24"x36")
 - Dimensions to be field-verified

DRAWING TITLE

First Floor
Renderings

DRAWING DATE

* DATE *

I-1



C13 PRIMARY BATH RENDERING

REVISION TABLE	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
A1-01	Floor Plans - AS-BUILT
A1-02	Floor Plans
A1-03	Floor Plans Overlay
A2-01	Elevations
A4-01	Exterior Renderings
I-1	First Floor Renderings
I-2	Second Floor Renderings
S1-01	Foundation Plan
S1-02	Framing Plan - House
S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westershs

1321 Bunts
Lakewood, OH
44107

- NOTES
- Scale valid for Arch D (24"x36")
 - Dimensions to be field-verified

DRAWING TITLE

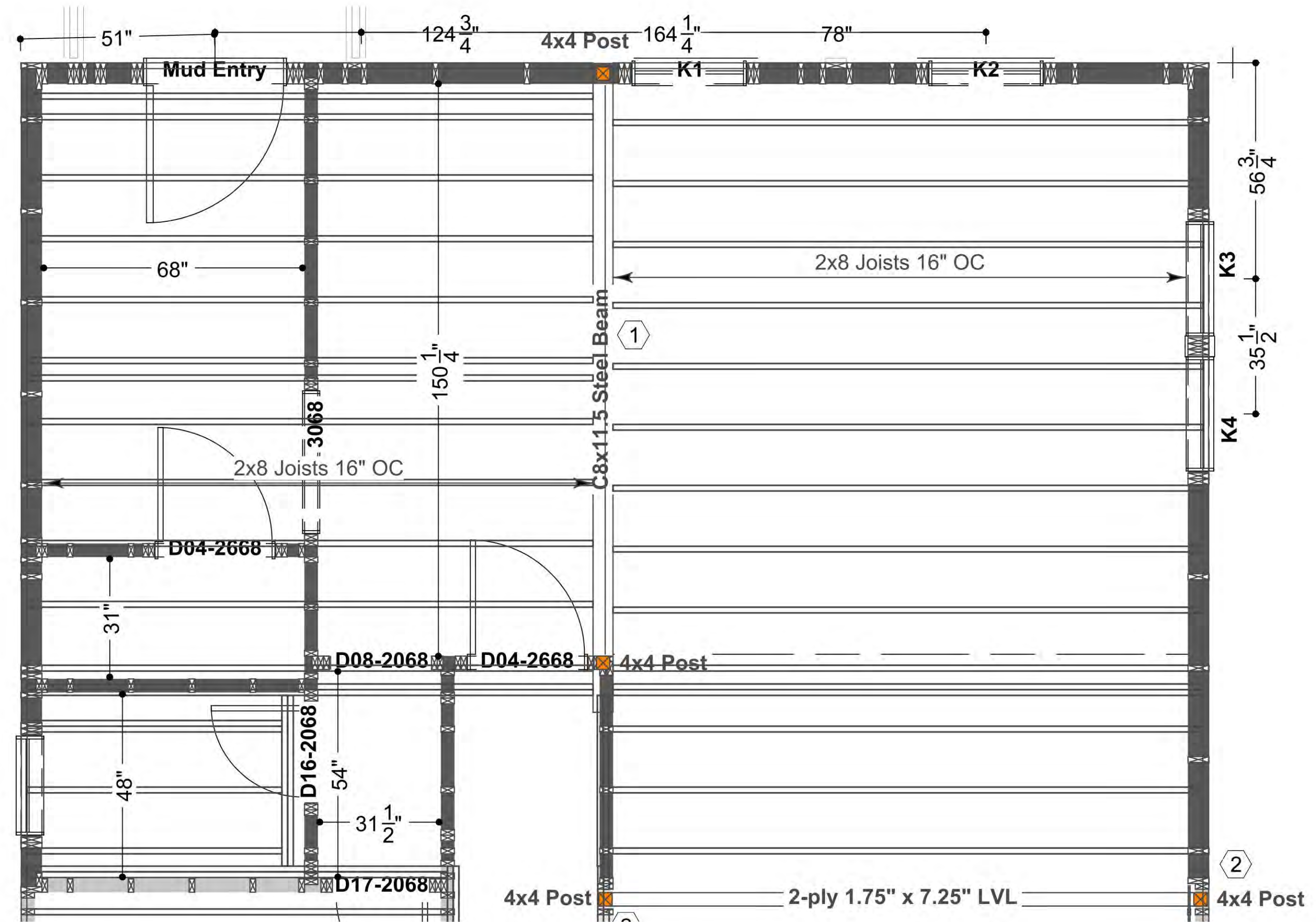
Second
Floor
Renderings

DRAWING DATE

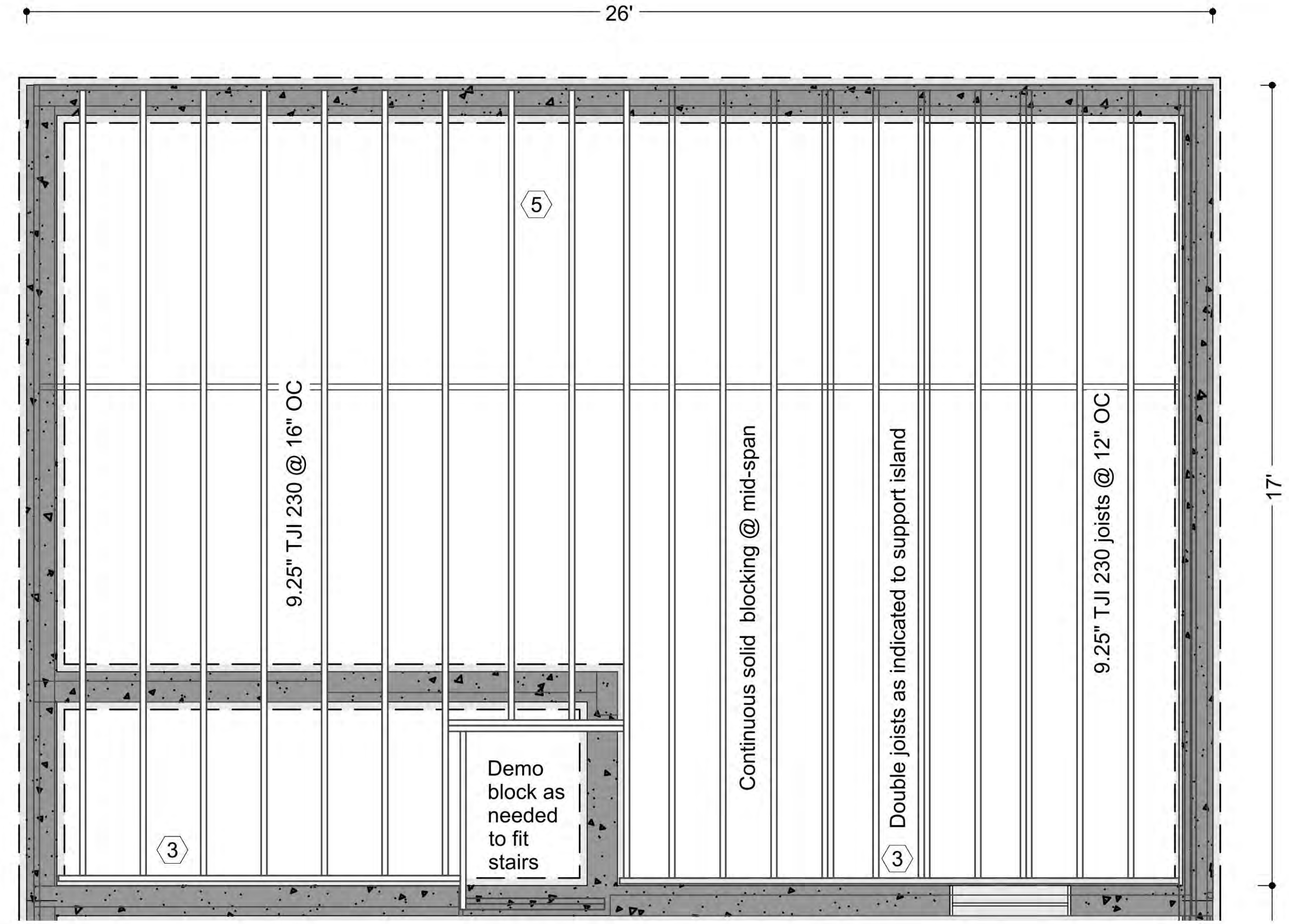
* DATE *

REVISION TABLE	DATE	REVISION BY	DESCRIPTION

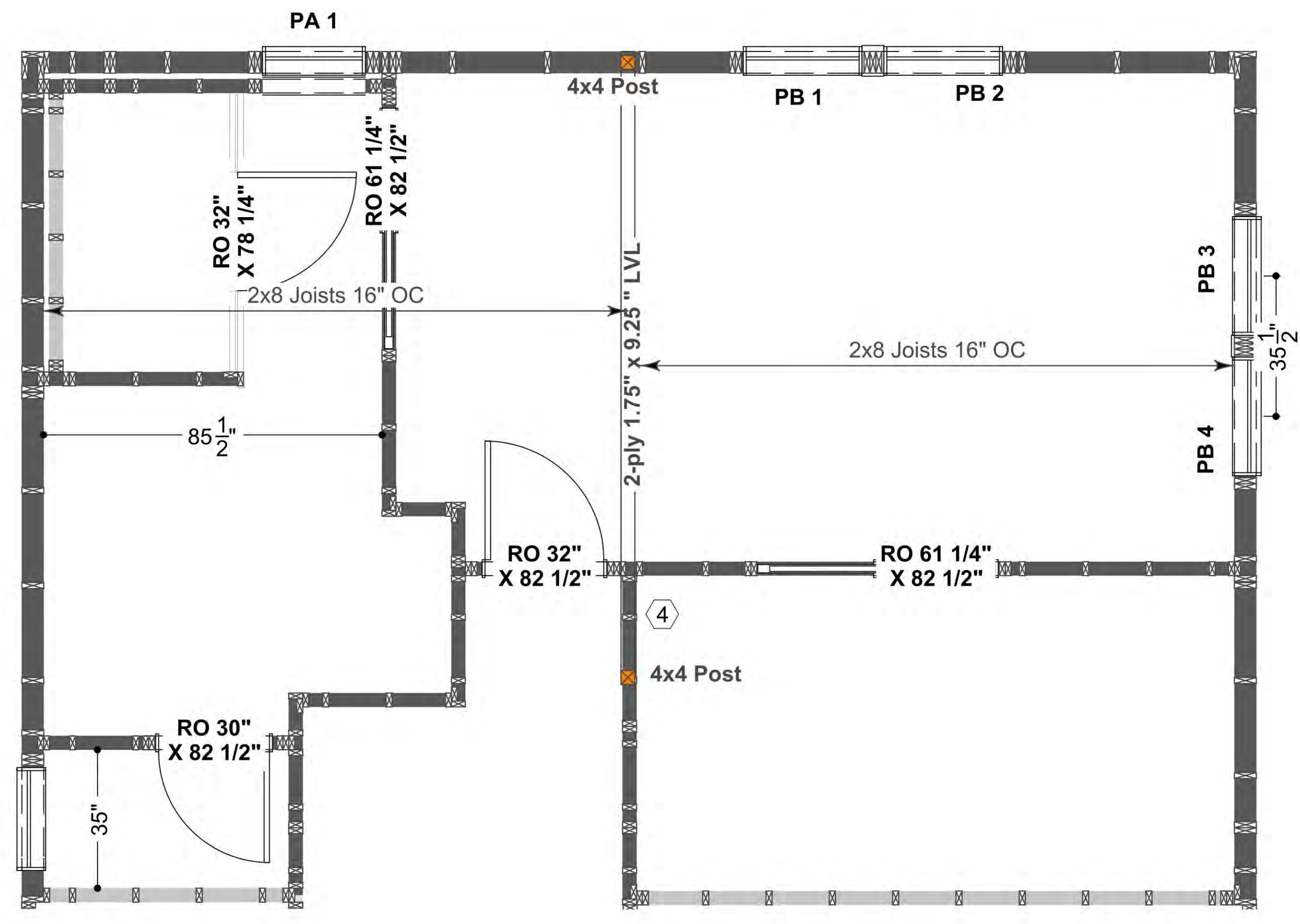
TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
A1-01	Floor Plans - AS-BUILT
A1-02	Floor Plans
A1-03	Floor Plans Overlay
A2-01	Elevations
A4-01	Exterior Renderings
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S1-03	Framing Plan - Other
SS-01	Schedules & Standards
E1-01	Electrical Plan



FRAMING - 1ST FLOOR
1/2 IN = 1 FT



FRAMING - BASEMENT
1/2 IN = 1 FT



FRAMING - FLOOR 2
1/2 IN = 1 FT

Framing Standards

- all floors sheathed with Advantech 3/4"
- walls framed with 2x6 at 24" OC and 3-stud corners, typical
- wall sheathing Zip R6 (except where indicated)
- roof sheathing Zip brown
- all posts to have solid load path / blocking to foundation below
- single 1.75" x 7.25" LVL headers above all openings
- double 1.75" x 7.25" LVL header above load-bearing openings
- hurricane ties to be Simpson Strong-Tie SDWC15600-KT or equivalent

Callout	Keynotes-Framing
①	- Beam to be drilled for 1/2" bolt every 12" each hole staggered 1.5" above or below centerline. - 2x6s to be laminated on either side and bolted through. "C" side will be ripped to fit inside steel - joists to be hung with Simpson LUS28 or equivalent
②	Simpson BC4 post cap or equivalent
③	Bolt 9.25" LVL ledger to existing rim joist using 3.5" ledger locks - one bolt every 12" in a staggered pattern - hang new joists using LUS210 or equivalent
④	Continuous LVL goes from back wall of house to this post
⑤	RCO Section 302.13 Exception 3 applies - Typ

KEYNOTES - FRAMING
1/4 IN = 1 FT

Digitally signed
by James Wright
DN: cn=James Wright,
o=Western Reserve Home
Inspection LLC,
ou,
email=inquiry@rhillc.com, c=US
Date: 2025.12.03
16:02:48 -05'00'



PROJECT INFORMATION

The Westerhs
1321 Bunts
Lakewood, OH
44107

NOTES
• Scale valid for Arch D (24"x36")
• Dimensions to be field-verified

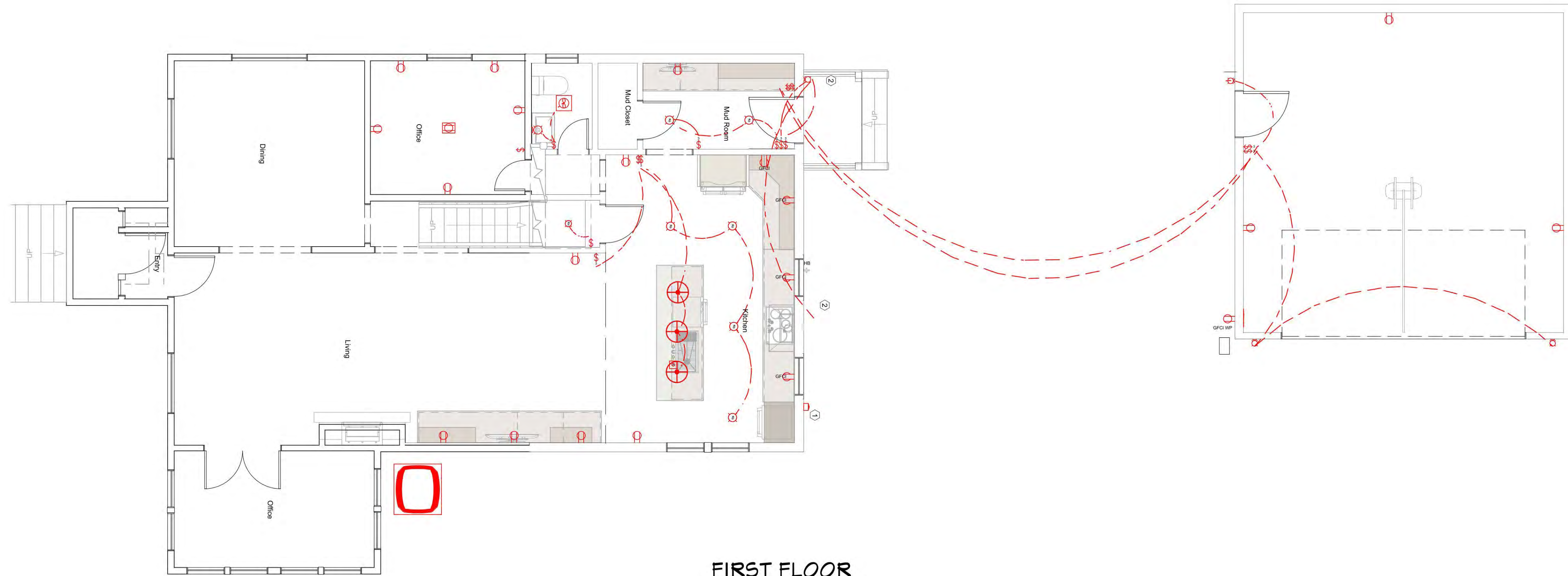
DRAWING TITLE

Framing Plan - House

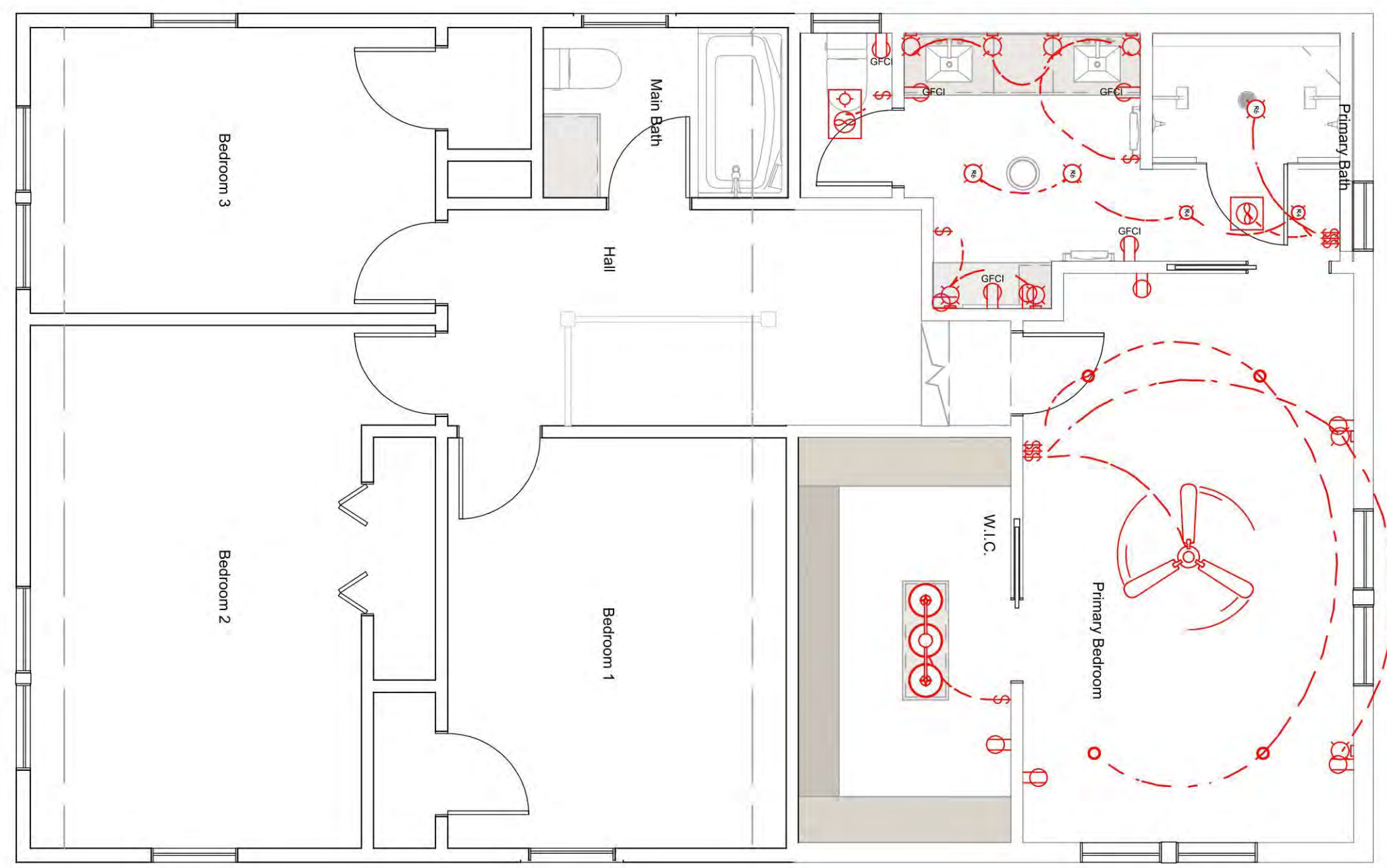
DRAWING DATE

* DATE *

S1-02



FIRST FLOOR
1/4 IN = 1 FT



SECOND FLOOR
1/4 IN = 1 FT

Callout	Keynotes-Electrical
1	Hot Tub Disconnect
2	Switched outlet in ceiling for lights

ELECTRICAL - MUST COMPLY WITH 2023 NEC

REVISION TABLE	DESCRIPTION	DATE

TABLE OF CONTENTS	
G-1	Project Overview
V-1	Site Plan
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SS-01	Schedules & Standards
E1-01	Electrical Plan

PROJECT INFORMATION

The Westershs

1321 Bunts
Lakewood, OH
44107

NOTES

- Scale valid for Arch D (24"x36")
- Dimensions to be field-verified

DRAWING TITLE

Electrical
Plan

DRAWING DATE

* DATE *

E1-01



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
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P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-30-26

Permit No.: BBS26-000020

Applicant Name: Preston Blankenship, Special Vinyl's Unit

Project Address: 12703 Madison Ave.

Project Name: Golden Mae Salon

Project: Applicant proposes new signage.

Handwritten signature in blue ink, appearing to read "R. B. L." or similar, written on a white background.

Tenant Permission for Sign Installation

Date: March 4, 2026

I, Cassandra Coleman-Kahn, tenant of the commercial space at **12703 Madison Ave, Lakewood, Ohio 44107**, give permission for my signage contractor to install exterior signage for **Golden Mae Salon** on the storefront sign area.

All installation will be done professionally and in accordance with local requirements.

Signature,

Cassandra Coleman-Kahn

Cassandra Coleman-Kahn



31"

67"

22"



82"

32"



82"

(22")

Height of Decal



COSMO PROF



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Sign Review Board

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Application Cover Page

Docket No.: 04-31-26

Permit No.: BBS26-000022

Applicant Name: Jill Brandt, Brandt Architects

Project Address: 13000 Athens Ave.

Project Name: Game Show Duels

Project: Applicant proposes new signage.

Jill & Brandon

Jill Brandt

From: Game show Duels <gameshowduels@gmail.com>
Sent: Thursday, March 12, 2026 2:05 PM
To: Jill Brandt
Subject: Application authorization

Jill Brandt has my authorization to submit the application pertaining to my sign, Lakewood, Ohio at 13000 Athens Ave. if anything else is needed or any further verification is needed please call me at 440-506-9941. Thank you.

NIMER ELDER

Sent from my iPhone

Rock BBQ



Mahall's



Barroco Lak

Madison Ave

Madison Ave

Lewis Dr

Chesterland Ave

Waterbury Rd

Clarence Ave

Halstead Ave

Dowd St

St Jileno

Madison Park

Thru

Quail St

Screw Factory Artists

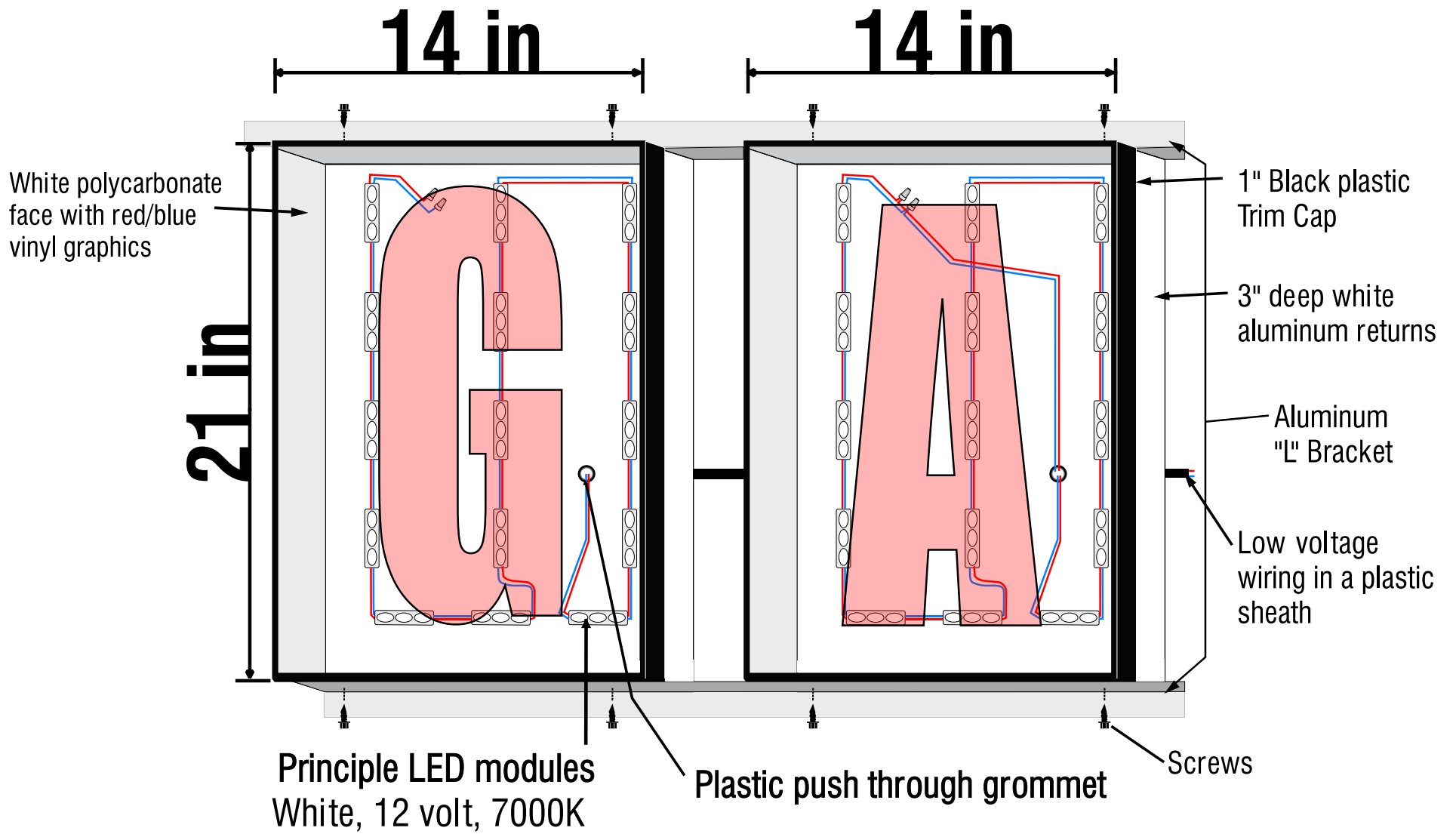
Lewis Dr

Chesterland Ave

Waterbury Rd

Clarence Ave

Plow



Game Show Duels

Cleveland, OH

GAME SHOW DUELS 13000 ATHENS SUITE 2100

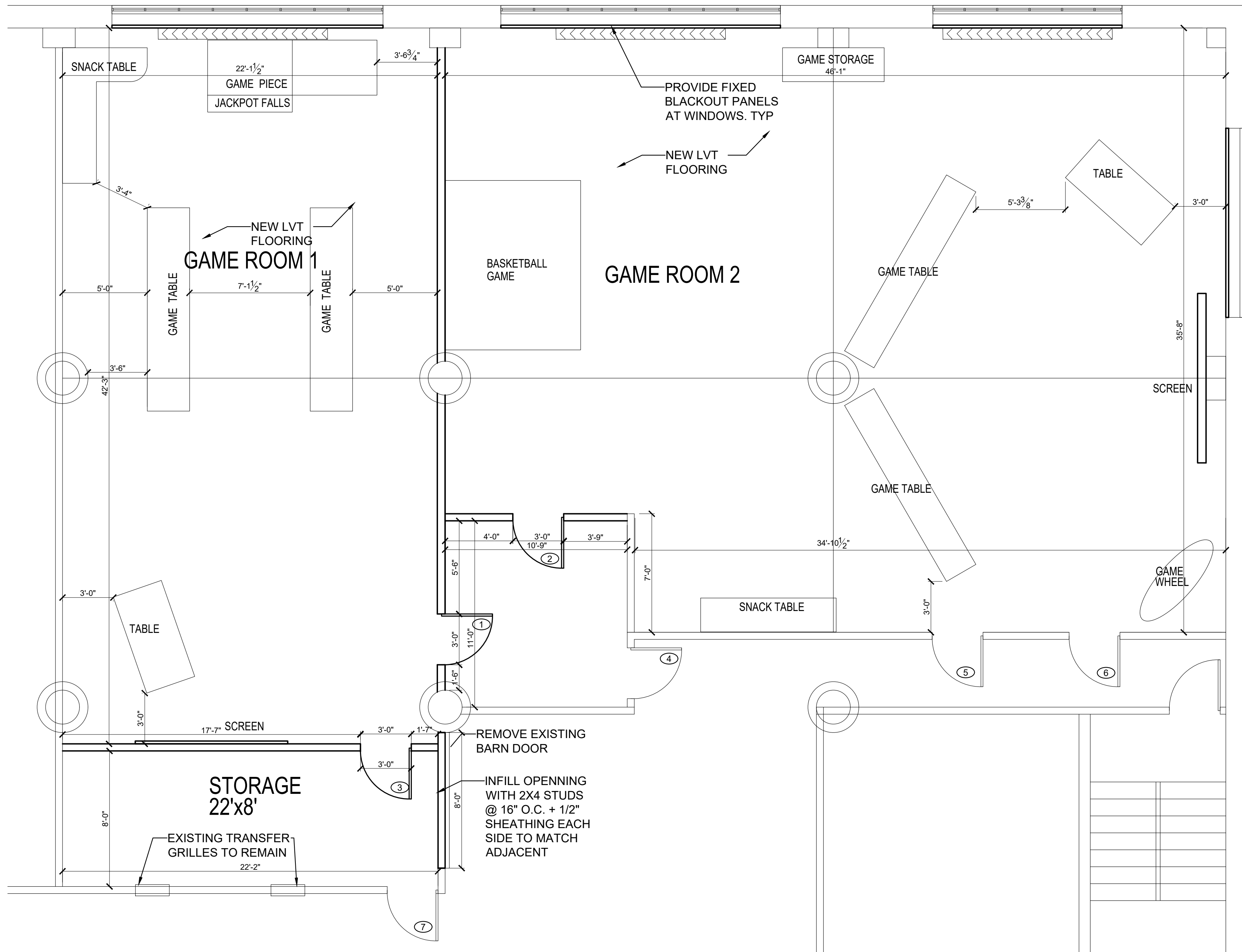
12/10/25	REVIEW
12/15/25	REVIEW
3/3/26	REVISIONS



Jill L. Brandt
OH #12657
EXP 12/31/27

GAME SHOW DUELS
13000 ATHENS
SUITE 2100
LAKEWOOD, OH 44107

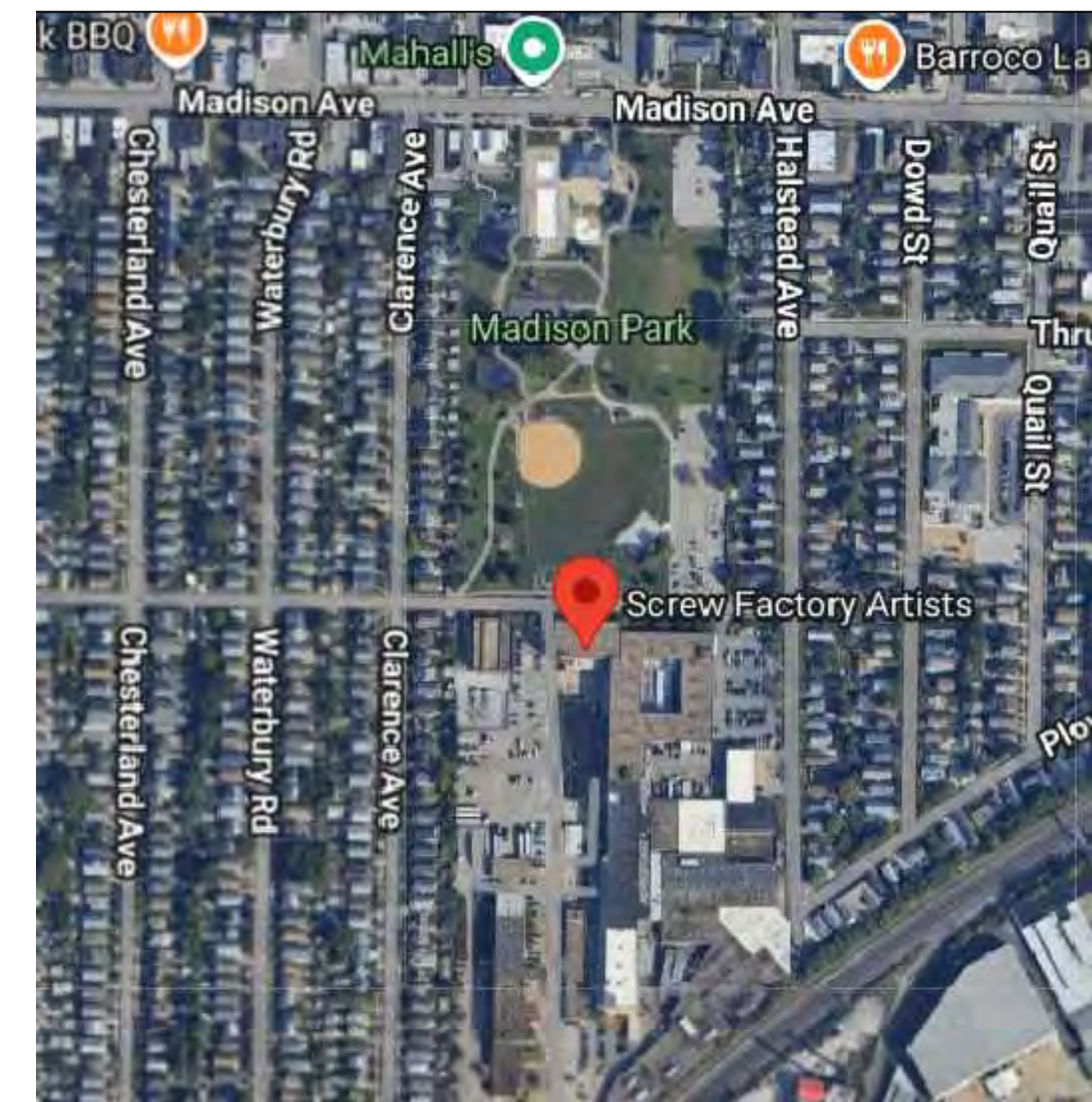
FLOOR PLAN
& DETAILS
A-1



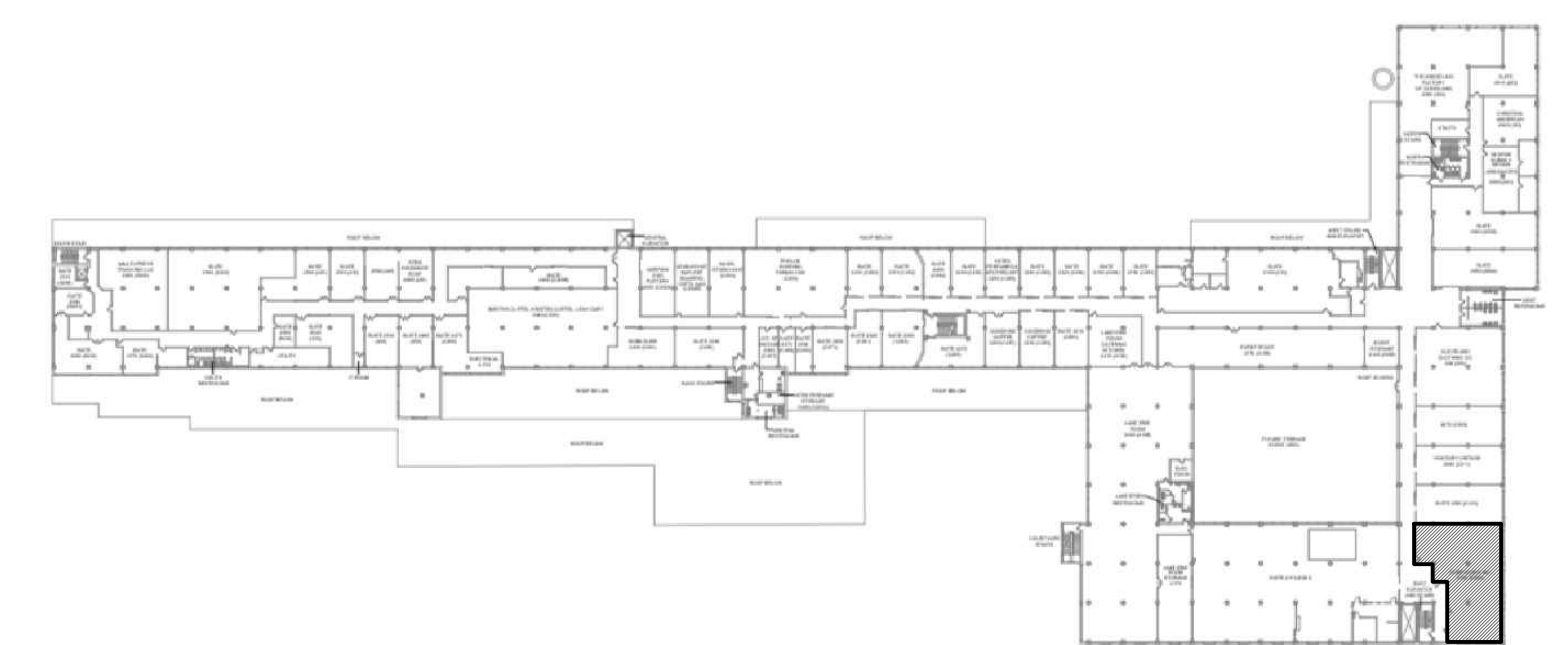
SCOPE OF WORK:
INTERIOR RENOVATION OF EXISTING
2,831 SF TENANT SPACE FOR VIRTUAL
GAME SHOWS.

GENERAL BUILDING INFORMATION
TENANT AREA: 2,831 SF
GAME ROOM 1 1,109 SF
GAME ROOM 2 1,413 SF
CONSTRUCTION TYPE: II B - UNSPRINKLERED
USE GROUP: A-3
OCCUPANT LOAD: ACTUAL
GAME ROOM 1 24
GAME ROOM 2 24
STAFF 1
TOTAL = 49
EXITS REQUIRED PER UNIT = 1
EXITS PROVIDED PER UNIT = 1
FIRE SEPARATION:
1 HR SEPARATION PROVIDED BETWEEN
TENANT SPACE
TOILET ROOMS REQUIRED = 2
TOILET ROOMS PROVIDED IN BUILDING
COMMON SPACE
PARKING PROVIDED IN BUILDING LOT

DRAWING INDEX
A-1 FLOOR PLAN & DETAILS
A-2 EXITING & ELECTRICAL PLANS



3 SITE PLAN
SCALE: 1" = 20'-0"



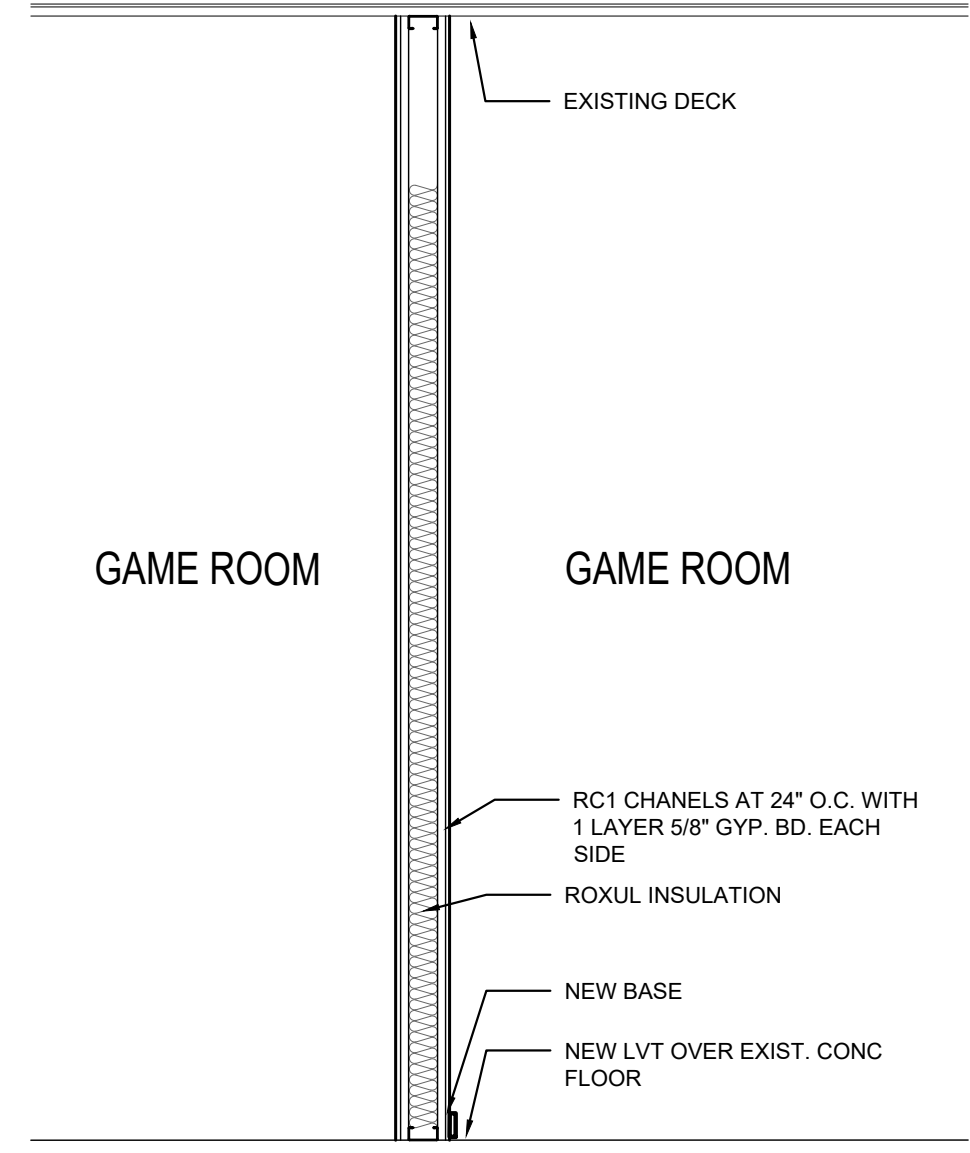
4 BUILDING PLAN - 2ND FLOOR
NOT TO SCALE

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

#	DOOR				FRAME		HARDWARE				HAND	REMARKS
	WIDTH	HEIGHT	THICK	MATL FINISH	MATL FINISH	LOCKSET	HINGE	SILENCERS	CLOSER			
1	3'-0"	7'-0"	1 3/4"	WOOD PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	LH	EXIST. DOOR - NEW LOCKSET -	
2	3'-0"	8'-0"	1 3/4"	WOOD PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	LH	EXIST. DOOR - NEW LOCKSET -	
3	3'-0"	7'-0"	1 3/4"	WOOD PAINT	WOOD PAINT	STORAGE	BUTT	YES	-	LH	EXIST. DOOR - NEW LOCKSET -	
4	3'-0"					ENTRANCE DEADBOLT				LH	EXIST. DOOR - NEW LOCKSET	
5	3'-0"					STORAGE				LH	EXIST. DOOR - NEW LOCKSET	
6	3'-0"					STORAGE				LH	EXIST. DOOR - NEW LOCKSET	
7	3'-0"					STORAGE				LH	EXIST. DOOR - NEW LOCKSET	

GENERAL NOTES:
1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. FLUSH PANEL. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALGOMA, EGGERS, OR TENANT APPROVED EQUAL.
2. NEW & EXISTING DOORS TO BE PAINTED. COLOR SELECTED BY TENANT.
3. ALL LOCKSETS AND LATCH SETS SHALL BE ADA COMPLIANT LEVER STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH TENANT. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR TENANT APPROVED EQUAL.
5. VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1/4" CLEARANCE AT ALL DOORS.



2 WALL DETAIL
SCALE: 1/2" = 1'-0"

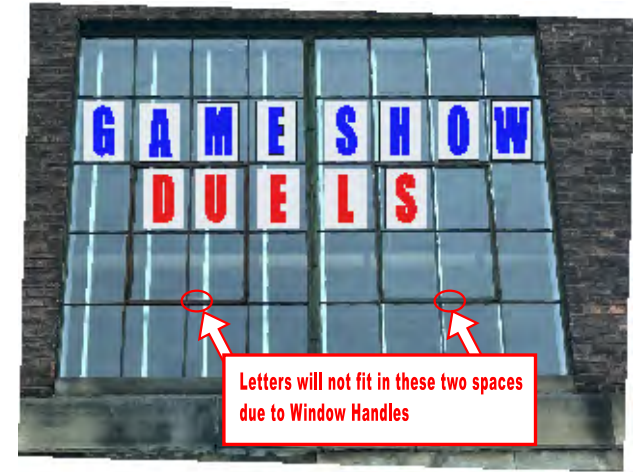
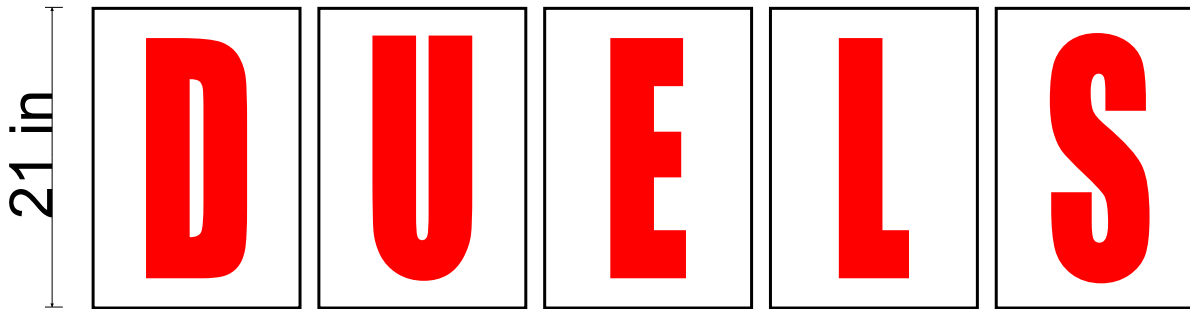
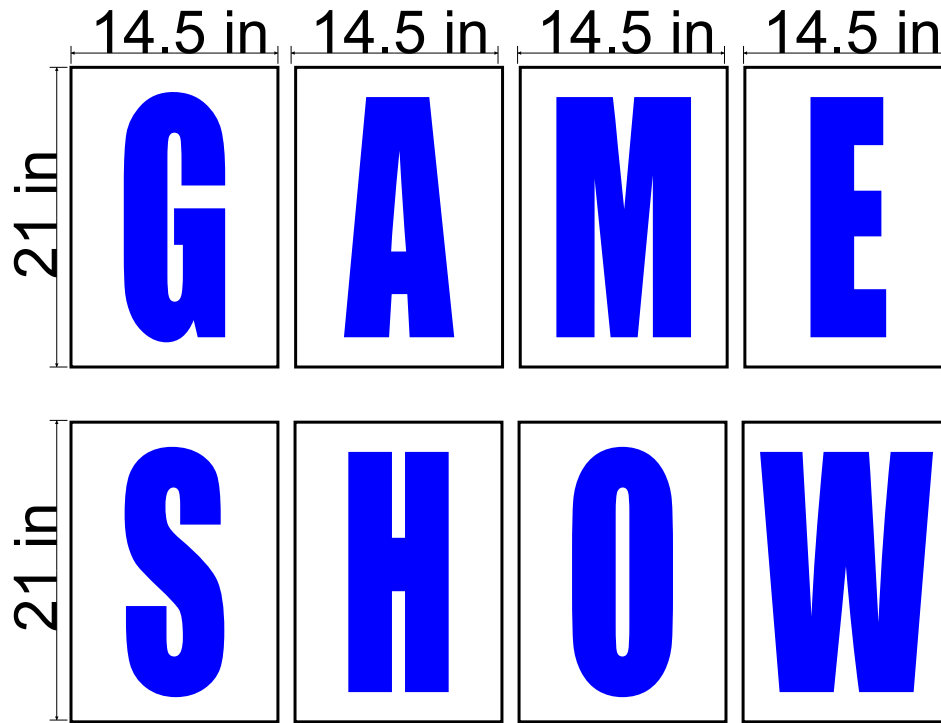


GAME SHOW
DUELS





GAMESHOW
DUELS




Simulated Nighttime



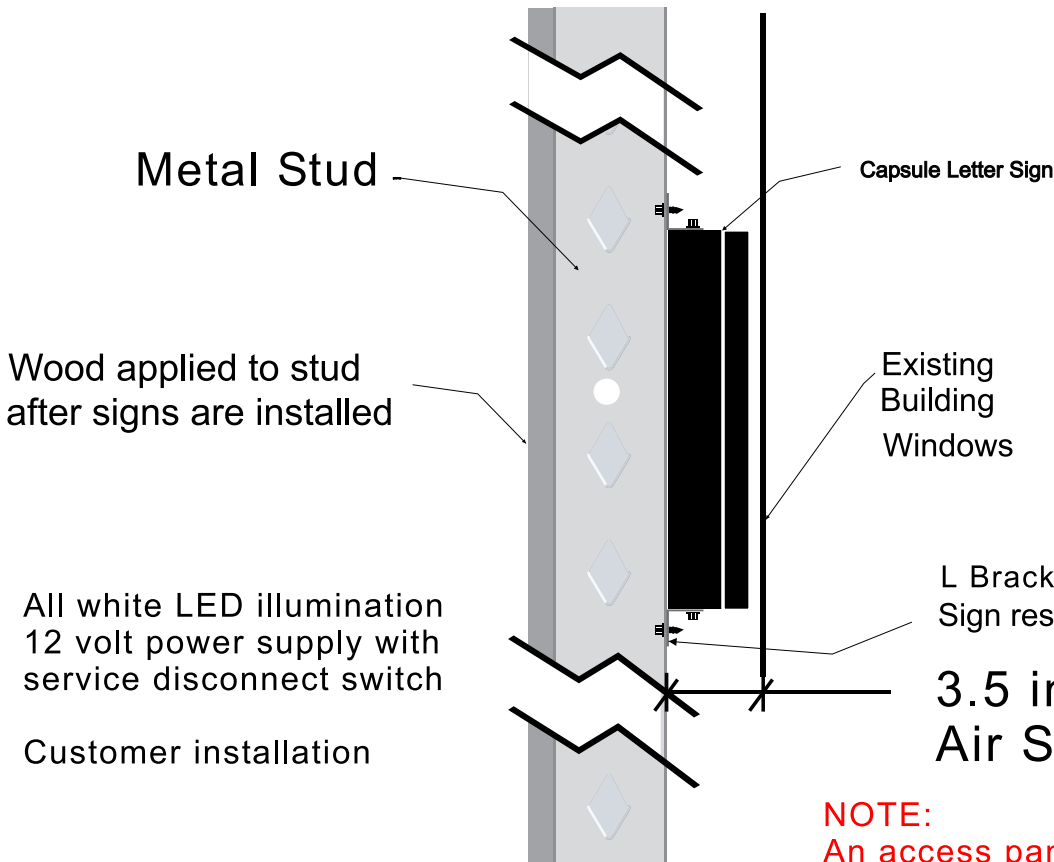
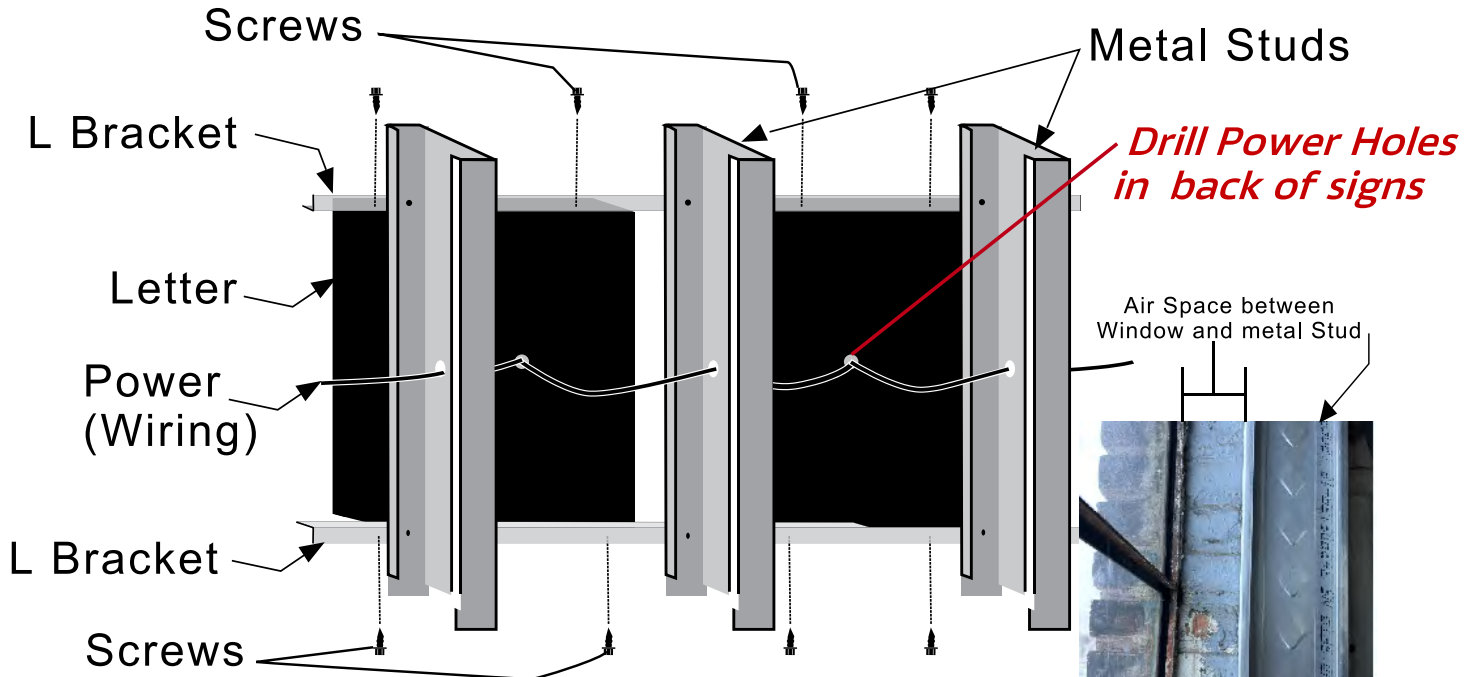
Cloud Letter signs
 White faces blue/red vinyl graphics
 White LED illumination. 12 volt power supply

NOTE: Due to Limitations of the Printing Process, Printed Colors May Vary from Those of Final Production

 <p>ALL SIGNS & DESIGNS LISTED ELECTRIC SIGN COMPANY</p>	<p>3450 West 140th Street Cleveland, OH 44111 P: 216-267-8588 C: 216-609-8992 email: allsignsdesigns@gmail.com</p>	<p>Project Name Game Show Duels</p>	<p>Project Manager Maan Yousef</p>	<p>Client Approval</p>
	<p>Location Cleveland, OH</p>	<p>Designer Scott Hales</p>	<p>This drawing is the property of Allsigns & Designs and it's subsidiaries. It is not to be exhibited, reproduced or altered without permission. All trademarks and copyrighted materials are the property of their respective owners. It is the responsibility of the client to obtain all permissions for use and/or reproduction of said materials; Allsigns & Designs and it's subsidiaries assume no responsibility for violation</p>	
	<p>Project Date 12-15-2025</p>			

File Name:

Back View




All white LED illumination
12 volt power supply with
service disconnect switch

Customer installation

NOTE:
An access panel is recommended
to service cloud letter signs

NOTE: Due to Limitations of the Printing Process, Printed Colors May Vary from Those of Final Production

File Name:

 <p>3450 West 140th Street Cleveland, OH 44111 P: 216-267-8588 C: 216-609-8992 email: allsignsdesigns@gmail.com</p> <p><small>UNIVERSITY ELECTRIC SIGN COMPANY</small></p>	Project Name	Project Manager	Client Approval
	Game Show Duels	Maan Yousef	
	Location	Designer	
Cleveland, OH	Scott Hales	Project Date	
		12-15-2025	<p><small>This drawing is the property of Allsigns & Designs and its subsidiaries. It is not to be exhibited, reproduced or altered without permission. All trademarks and copyrighted materials are the property of their respective owners. It is the responsibility of the client to obtain all permissions for use and/or reproduction of said materials. Allsigns & Designs and its subsidiaries assume no responsibility for violation</small></p>



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Board of Building Standards •
Architectural Board of Review •
Sign Review Board

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planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-32-26

Permit No.: BBS26-000023

Applicant Name: Tim Frazee, Birdietown

Project Address: 15027 Madison Ave.

Project Name: Birdietown

Project: Applicant proposes new signage and window vinyl





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Application Cover Page

Docket No.: 04-33-26

Permit No.: BBS26-000024

Applicant Name: Jason Epperson, LKWD Painting & Contracting LLC

Project Address: 15016 Madison Ave.

Project Name: LKWD Painting

Project: Applicant proposes new signage

Commercial Lease

This lease is made between 1667 ELMWOOD, LLC
of 25640 CHESTERFIELD CT, WESTLAKE, OH 44145, herein called Lessor, and
JASON R. EPPERSON, of 1526 ROYCROFT AV,
LAKEWOOD, OH 44107, herein called Lessee. Lessee hereby offers to lease from Lessor the
premises situated in the City of LAKEWOOD, County of CUYAHOGA
State of OHIO, described as 15016 MADISON AVE.

upon the following TERMS and CONDITIONS:

1. Term and Rent. Lessor demises the above premises for a term of 3 years, commencing AUGUST 1
2025, and terminating on JULY 31, 2028, or sooner as provided herein at the annual rental
of TWELVE THOUSAND Dollars (\$12,000.00) payable in equal installments in advance on the first day
of each month for that month's rental, during the term of this lease. All rental payments shall be made to Lessor, at the address
specified above. IN THE THIRD YEAR OF THE LEASE THE ANNUAL RENTAL WILL BE
\$13,000.00 *

2. Use. Lessee shall use and occupy the premises for CONSTRUCTION BUSINESS. The premises shall
be used for no other purpose. Lessor represents that the premises may lawfully be used for such purpose. Lessee shall not use
the premises for the purposes of storing, manufacturing or selling any explosives, flammables, or other inherently dangerous
substance, chemical, thing, or device.

3. Care and Maintenance of Premises. Lessee acknowledges that the premises are in good order and repair, unless
otherwise indicated herein. Lessee shall, at his own expense and at all times, maintain the premises in good and safe condition,
including plate glass, electrical wiring, plumbing and heating ^{ACCOUNT} installations and any other system or equipment upon the premises
and shall surrender the same, at termination hereof, in as good condition as received, normal wear and tear excepted. Lessee
shall be responsible for all repairs required, excepting the roof, exterior walls, structural foundations, and:

HEATING INSTALLATIONS

which shall be maintained by Lessor. Lessee shall also maintain in good condition such portions adjacent to the premises, such
as sidewalks, ^{AND BACK ENTRANCE} driveways, lawns and shrubbery, which would otherwise be required to be maintained by Lessor.

4. Alterations. Lessee shall not, without first obtaining the written consent of Lessor, make any alterations, additions, or
improvements, in, to or about the premises.

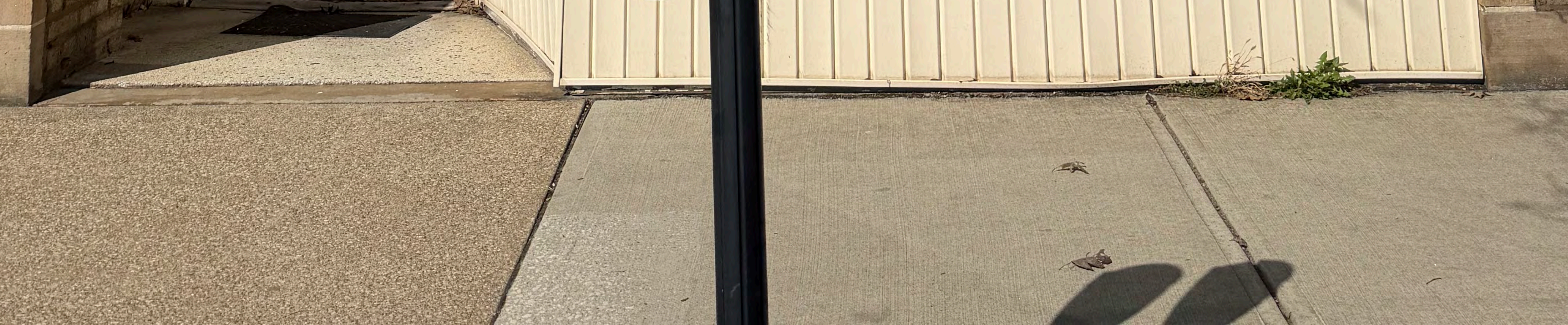
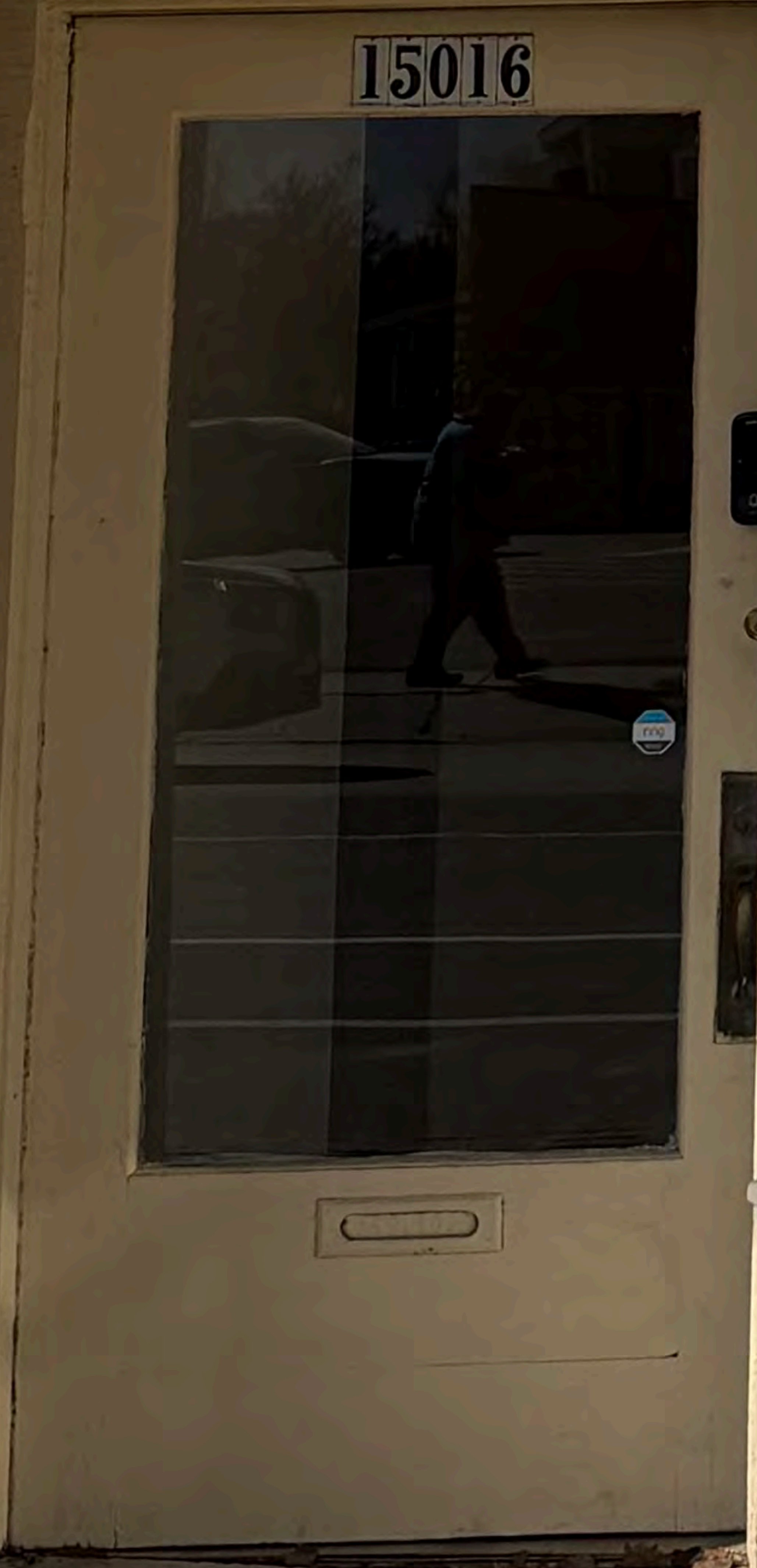
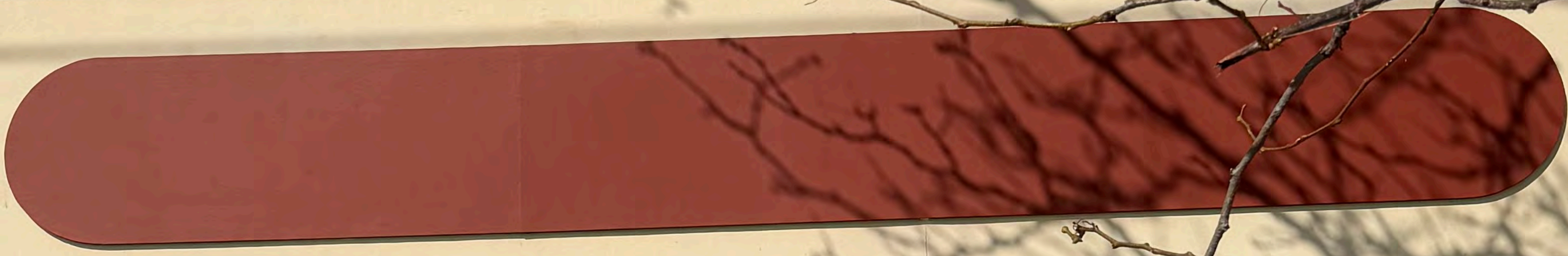
5. Ordinances and Statutes. Lessee shall comply with all statutes, ordinances and requirements of all municipal, state and
federal authorities now in force, or which may hereafter be in force, pertaining to the premises, occasioned by or affecting the
use thereof by Lessee.

6. Assignment and Subletting. Lessee shall not assign this lease or sublet any portion of the premises without prior written
consent of the Lessor, which shall not be unreasonably withheld. Any such assignment or subletting without consent shall be
void and, at the option of the Lessor, may terminate this lease.

7. Utilities. All applications and connections for necessary utility services on the demised premises shall be made in the name
of Lessee only, and Lessee shall be solely liable for utility charges as they become due, including those for sewer, water, gas,
electricity, and telephone services. ~~In the event that any utility or service provided to the premises is not separately metered,~~
Lessor shall pay the amount due and separately invoice Lessee for Lessee's pro rata share of the charges. Tenant shall pay such
amounts within fifteen (15) days of invoice. Lessee acknowledges that the leased premises are designed to provide standard of-
fice use electrical facilities and standard office lighting. Lessee shall not use any equipment or devices that utilize excessive elec-
trical energy or that may, in Lessor's reasonable opinion, overload the wiring or interfere with electrical services to other tenants.

8. Entry and Inspection. Lessee shall permit Lessor or Lessor's agents to enter upon the premises at reasonable times and
upon reasonable notice, for the purpose of inspecting the same, and will permit Lessor at any time within sixty (60) days prior to
the expiration of this lease, to place upon the premises any usual "To Let" or "For Lease" signs, and permit persons desiring to
A LATE FEE OF \$50.00 WILL BE DUE AND PAYABLE IF RENT IS NOT
RECEIVED ON OR BEFORE THE 5TH OF EACH MONTH.

*



Safety Area

Bleed

24.25in



36.25in



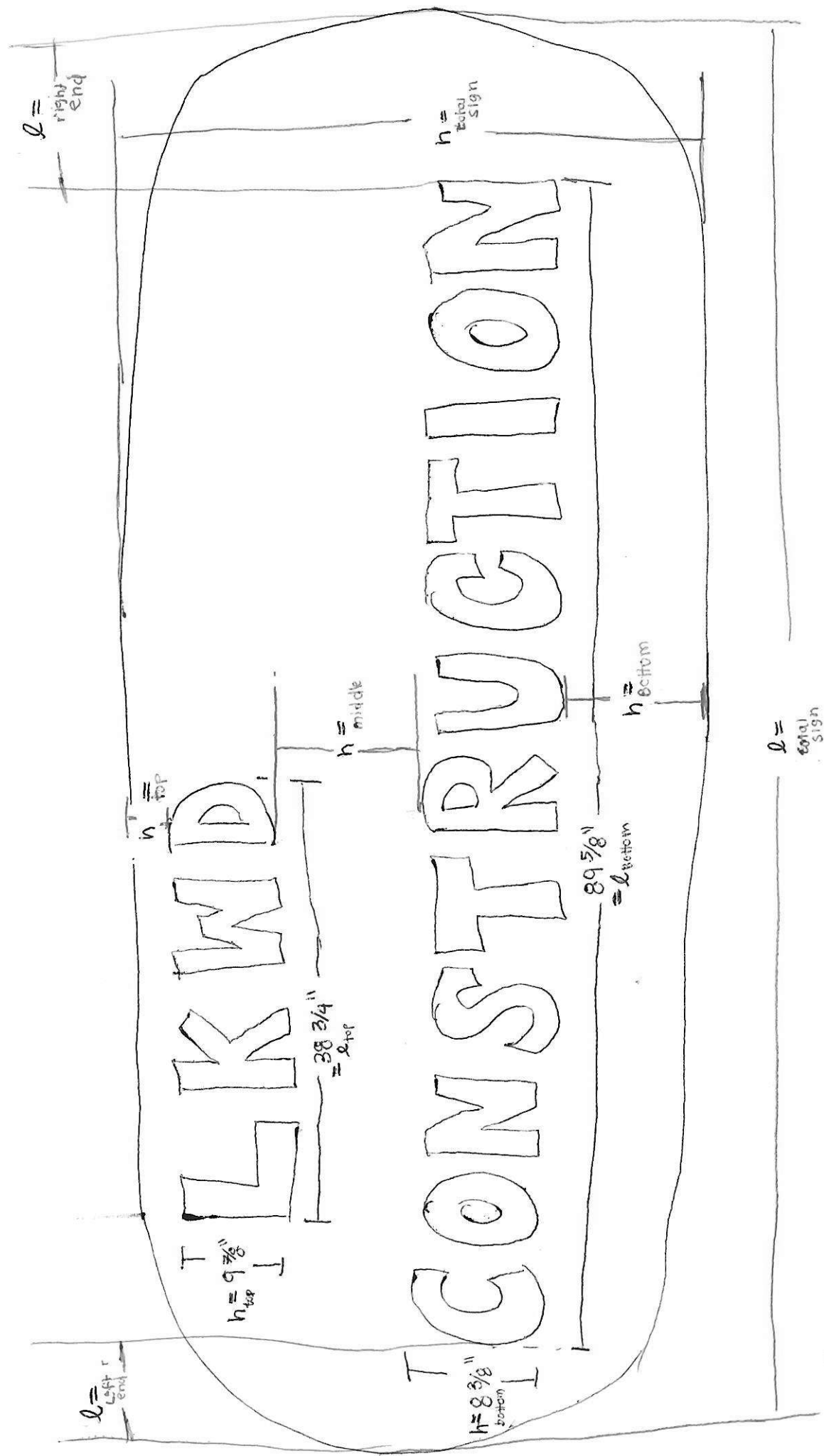
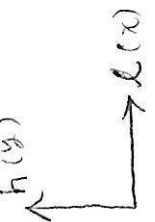
24.25in



36.25in

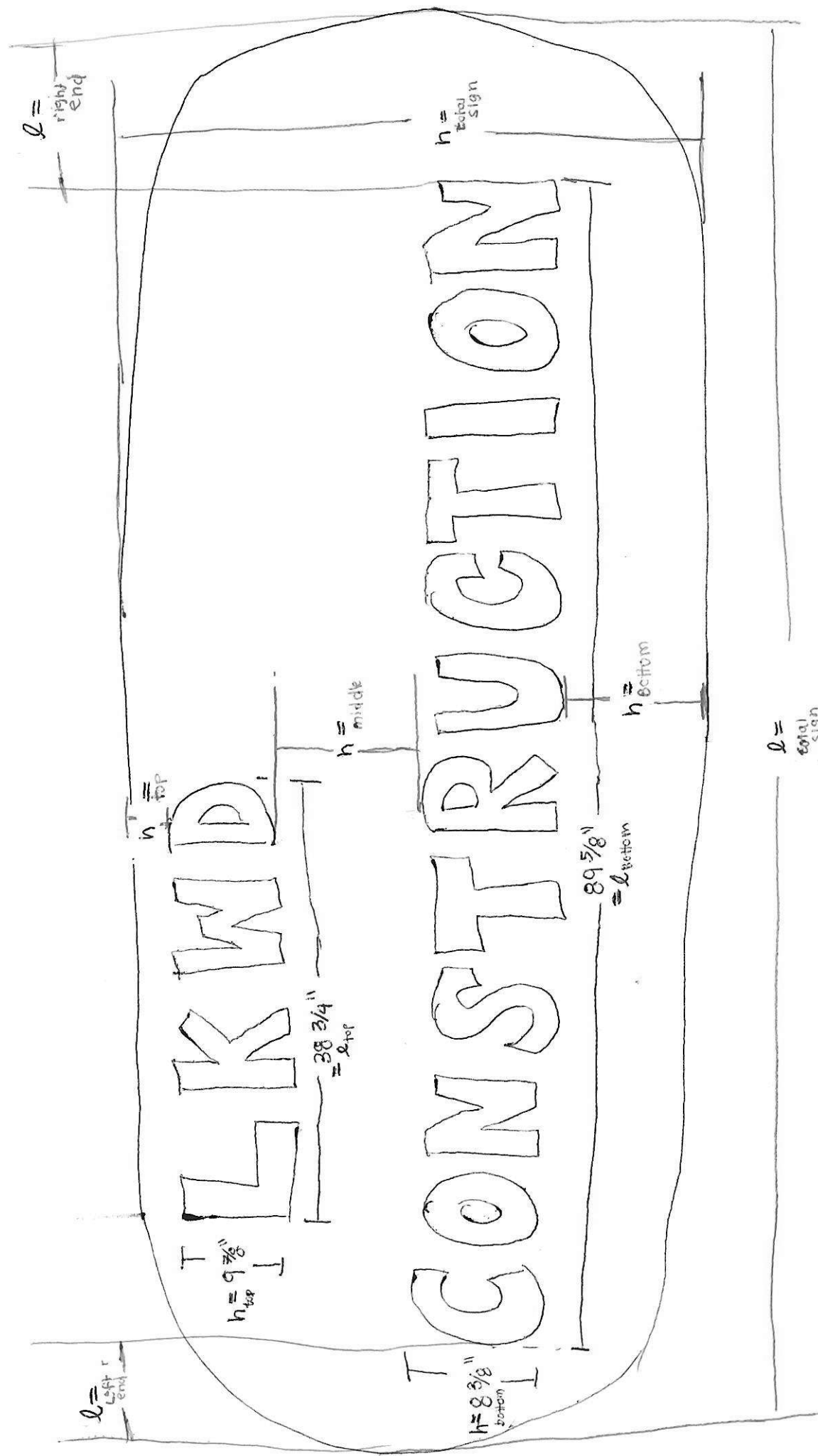
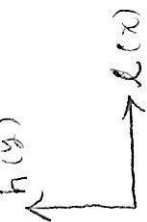


3/13/2006

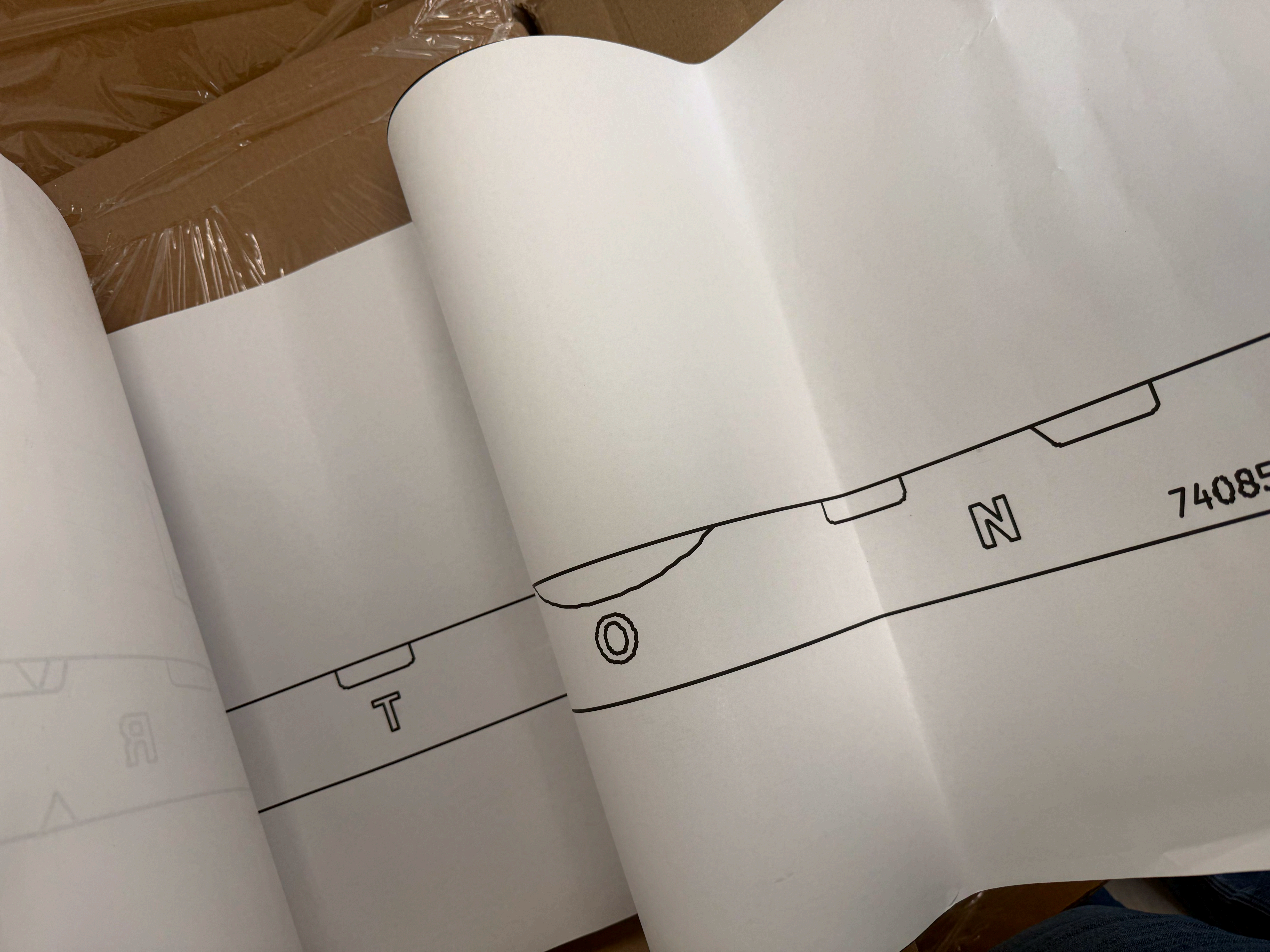


- ▣ = total area of the letters (have)
- ▣ = space between letters & ends of the sign (don't have)
- ▣ = total area of red sign (don't have)
- (x) l = length # = inches
- (y) h = height

3/13/2006



- ▣ = total area of the letters (have)
- ▣ = space between letters & ends of the sign (don't have)
- ▣ = total area of red sign (don't have)
- (x) l = length # = inches
- (y) h = height



T

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74085

LK
Paint
Contracting

LK
CONSTRUCTI



LKWD

**Painting &
Contracting**





LKWD
Paint
Contr

LKWD
CONSTRUCTION

MC
KITCHEN CLEANING
KITCHEN CLEAN

KWICK

1017245





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Architectural Board of Review •
Sign Review Board

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F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-34-26

Permit No.: BBS26-000025

Applicant Name: Chanel Ely, Spiritual Journey

Project Address: 14532 Detroit Ave.

Project Name: Spiritual Journey

Project: Applicant proposes new signage



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Application Cover Page

Docket No.: 04-35-26

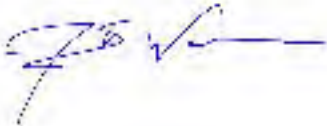
Permit No.: BBS26-000026

Applicant Name: Shawn Warren, Erie Design Co.

Project Address: 15701 Madison Ave.

Project Name: The Blue Cafe

Project: Applicant proposes new signage





Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: **15701 Madison Ave** Suite/Unit #
or **PERMANENT PARCEL NUMBER:** **31316005**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical ***(complete reverse side)**

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
 Demolition Paving Storm Sewer Other (Please specify): Sign and window letters

***VALUATION: (cost of the work) \$** **PROJECT SIZE: (in square feet)** 16 sq

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN
44" Dia. - 6" Depth 10.56 sq. Acrylic flat face with Black retainer edge interior perimeter LED lit can
28" x 10" .38 mounting plate
mounted under soffet with
4) 3" 1/2 toggle bolt and sleeve
1) 31" Dia. Window logo
vinyl graphic 5.24' sq.
2 Door logos 4" x 20"
vinyl graphic .55' sq ea.
Store front 384 sq. ft. x2 for side on Morrison

PROPERTY OWNER NAME: **Paul Beegan** Phone: **216-521-9000**

Business Name (if applicable) **The Blue Café** Email: **paul@beegan-ad.com**

Mailing Address: **13381 Madison Ave** Ave City: **Lakewood** State: **Oh** Zip: **44107**

CONTRACTOR NAME: **Erie Design** Phone: **216-227-0043**

License/Reg. No.: **on file** Email: **orders@eriedesign.com**

Mailing Address: **16504 Detroit Ave** City: **Lakewood** State: **Oh** Zip: **44107**

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

3-10-26

DATE

Anticipated Completion Date: _____

PROPERTY AS IS NOW



NORTHEAST CORNER



NORTH ELEVATION

ERIE
deSign
Signs, Banners & Graphics
216-227-0043
www.eriadesign.com

CLIENT:
The Blue Café

JOB #:

DATE:

ADDRESS:
15701 Madison Ave

SALESPERSON/ DESIGNER: **DATE:**

REVISION HISTORY:
DATE: **CHANGES MADE:**

paul@beegan-ad.com

CLIENT SIGNATURE OF APPROVAL **DATE:**
Paul Beegan



NORTHEAST CORNER



NORTH ELEVATION

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriesign.com

CLIENT:
The Blue Café

JOB #:

DATE:

ADDRESS:
15701 Madison Ave

SALESPERSON/ DESIGNER: _____ DATE: _____

REVISION HISTORY: DATE: _____ CHANGES MADE: _____

paul@beegan-ad.com

CLIENT SIGNATURE OF APPROVAL DATE:
Paul Beegan _____

44" Dia. - 6" Depth 10.56 sq.

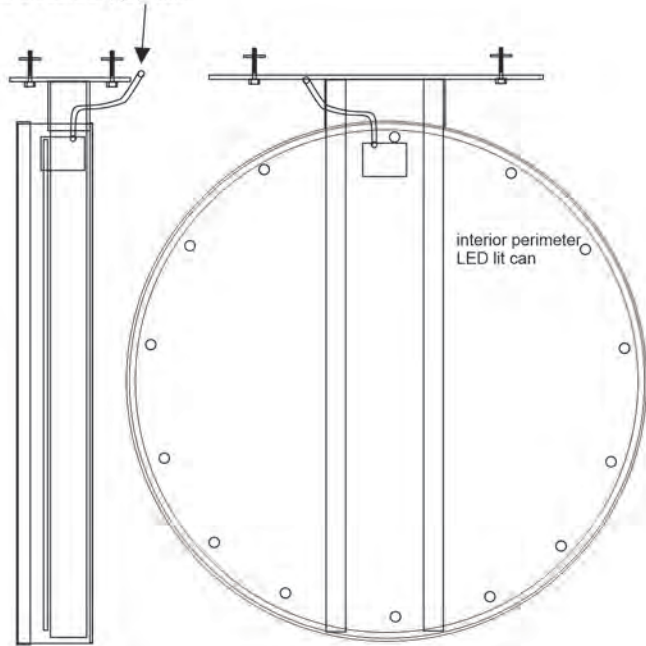
28" x 10" .38 Alum mounting plate
welded to 2 1" x 3" Alum. struts
mounted under soffit with
4) 3" 1/2" toggle bolts

Acrylic flat face with
Black retainer edge
interior perimeter
LED lit can

4"H X 10"W X 3.5' D



Line to electric supply box



31" Dia. Window logo
vinyl graphic 5.24' sq.

The Blue Café

2 Door logos 4" x 20"
vinyl graphic .55' sq ea.



NORTHEAST CORNER



NORTH ELEVATION 32'

Store front 384 sq. ft.
x2 for side on Morrison

ERIE
design
Signs, Banners & Graphics
216-227-0043
www.eriadesign.com

CLIENT: The Blue Café	JOB #:	DATE:
ADDRESS: 15701 Madison Ave	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
paul@beegan-ad.com		CLIENT SIGNATURE OF APPROVAL DATE: Paul Beegan

P

paul@beegan-ad.com

To: orders eriedesign.com

Awesome! Thanks.

Paul R. Beegan, ALA

BEEGAN

ARCHITECTURAL DESIGN

216.521.9000 P 216.916.4591 F

15703 MADISON AVENUE

LAKEWOOD, OHIO 44107

From: orders eriedesign.com <orders@eriedesign.com>

Sent: Tuesday, March 17, 2026 2:53 PM

To: paul@beegan-ad.com

Subject: Re: The Blue Cafe

Hello Paul,
attached is the layout and permit app. for the sign permits. I will send these today. To meet the deadline for the meeting next month.



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-36-26

Permit No.: BBS26-000027

Applicant Name: Shawn Warren, Erie Design Co, Inc

Project Address: 1384 Bonnieview Ave

Project Name: The Velvet Tail

Project: Applicant proposes new signage





Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: **1384 Bonnieviev ave.** Suite/Unit #
or PERMANENT PARCEL NUMBER: **31127026**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical *** (complete reverse side)**

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
 Demolition Paving Storm Sewer Other (Please specify): Sign and window letters

*VALUATION: (cost of the work) \$ PROJECT SIZE: (in square feet) 16 sq

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN
Sign area 3'x 13' 36 sq.
Sign face 2' x 12' Colorprint on 1/8" thick Maxx Metal (alum/pvc board) 24 sq.
Text 1/2" thick PVC painted Gold 20" h x 90" wide 12.5' sq.
Current window logo 24" dia. 3.14 sq.

PROPERTY OWNER NAME: **Mariah Murphy** Phone: 216-673-9326

Business Name (if applicable) **The Velvet Tail** Email: mmurphy1276@gmail.com

Mailing Address: **1384 Bonnieviev ave.** Ave City: **Lakewood** State: **Oh** Zip: **44107**

CONTRACTOR NAME: **Erie Design** Phone: 216-227-0043

License/Reg. No.: **on file** Email: orders@eriedesign.com

Mailing Address: **16504 Detroit Ave** City: **Lakewood** State: **Oh** Zip: **44107**

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

3-10-26

DATE

Anticipated Completion Date:

ABC

The image shows three-dimensional, white, block letters 'A', 'B', and 'C' arranged in a row on a light gray surface. The letter 'A' is on the left, 'B' is in the middle, and 'C' is on the right. Each letter has a consistent thickness and is rendered with soft shadows on the surface below it, giving them a realistic, three-dimensional appearance. The background is a uniform, light gray color.



Sign area 3'x 13' 36 sq.

Current window logo 24" dia. 3.14 sq.

Store front 14' x 14' 196 sq.

AS IS NOW

CLIENT: The Velvet Tail		JOB #:	DATE:
ADDRESS: 1384 Bonnieviev ave.		SALESPERSON/ DESIGNER:	
REVISION HISTORY: DATE:		CHANGES MADE:	
<small> Start reply with: <input type="button" value="Logon"/> <input type="button" value="Like it!"/> <input type="button" value="Thanks for the feedback!"/> I like the pic letters on the color background!! I think the 3d letters on the contrasting colors would be neat! Sent from my iPhone </small>		CLIENT SIGNATURE OF APPROVAL DATE:	
<small>On Mar 5, 2026, at 1:53 PM, orders.eriesdesign.com <orders@eriesdesign.com> wrote:</small>			

Sign area 3' x 13' 36 sq.

Sign face 2' x 12' Colorprint on 1/8" thick Maxx Metal (alum/pvc board) 24 sq.

Text 1/2" thick PVC painted Gold 20" h x 90" wide 12.5' sq.

Current window logo 24" dia. 3.14 sq.



Store front 14' x 14' 196 sq.

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriadesign.com

CLIENT: The Velvet Tail		JOB #:	DATE:
ADDRESS: 1384 Bonnieviev ave.		SALESPERSON/ DESIGNER: DATE:	
REVISION HISTORY: DATE:		CHANGES MADE:	
		CLIENT SIGNATURE OF APPROVAL DATE: mmurphy1276@gmail.com	



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-37-26

Permit No.: BBS26-000028

Applicant Name: Shawn Warren, Erie Design Co Inc

Project Address: 14234 Madison Ave

Project Name: CandyDish Confections

Project: Applicant proposes new signage





Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: CANDY DISH CONFECTIONS **14234 Madison Ave** Suite/Unit #

or PERMANENT PARCEL NUMBER: **31403029**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical *** (complete reverse side)**

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):

- New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
- Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
- Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
- Demolition Paving Storm Sewer Other (Please specify): Sign and window letters

*VALUATION: (cost of the work) \$ PROJECT SIZE: (in square feet) 16 sq

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) _____ DRAIN _____ NO DRAIN

2 logos 30" x 39" 8 sq. ft. ea 16 total sq
cut vinyl applied to
windows

5 WINDOWS PLUS DOOR APPROX .97.5 WINDOW SQ FT.
STORE FRONT 20' X 13' 260 SQ. X 2 FOR SIDE

Amanda Montague

PROPERTY OWNER NAME: property manager Kevin J. Kilbane. 216-702-1825. Phone: 216-392-9176

Business Name (if applicable) **CANDY DISH CONFECTIONS** Email: candydishconfections@gmail.com

Mailing Address: **14234 Madison Ave** City: Lakewood State: Oh Zip: 44107

CONTRACTOR NAME: Erie Design Phone: 216-227-0043

License/Reg. No.: on file Email: orders@eriedesign.com

Mailing Address: 16504 Detroit Ave City: Lakewood State: Oh Zip: 44107

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

3-10-26

DATE

Anticipated Completion Date: _____



The front windows all measure 58"W x 33.5"H. x3

The side windows both measure 66"W x 33.5"H x2
 2 logos 30H" x 28W" 5.8 sq. ft. ea 11.2 total sq
 cut vinyl applied to
 windows



5 WINDOWS PLUS DOOR APPROX .97.5 WINDOW SQ FT.
 STORE FRONT 20' X 13' 260 SQ. X 2 FOR SIDE

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriadesign.com

CLIENT: CANDY DISH CONFECTIONS		JOB #:	DATE:
ADDRESS: 14234 Madison Ave		SALESPERSON/ DESIGNER: DATE:	
REVISION HISTORY: DATE:		CHANGES MADE:	
candydishconfections@gmail.com		CLIENT SIGNATURE OF APPROVAL DATE:	



The front windows all measure 58"W x 33.5"H. x3

The side windows both measure 66"W x 33.5"H x2
 2 logos 30" x 39" 8 sq. ft. ea 16 total sq
 cut vinyl applied to
 windows



5 WINDOWS PLUS DOOR APPROX .97.5 WINDOW SQ FT.
 STORE FRONT 20' X 13' 260 SQ. X 2 FOR SIDE

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriadesign.com

CLIENT: CANDY DISH CONFECTIONS		JOB #:	DATE:
ADDRESS: 14234 Madison Ave		SALESPERSON/ DESIGNER: DATE:	
REVISION HISTORY: DATE:		CHANGES MADE:	
candydishconfections@gmail.com		CLIENT SIGNATURE OF APPROVAL DATE:	



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-38-26

Permit No.: BBS26-000030

Applicant Name: Dave Wenninger, FASTSIGNS

Project Address: 1590 Coutant Ave

Project Name: FASTSIGNS

Project: Applicant proposes alterations to previously approved rear addition, covered patio, and a new garage.

03/20/26

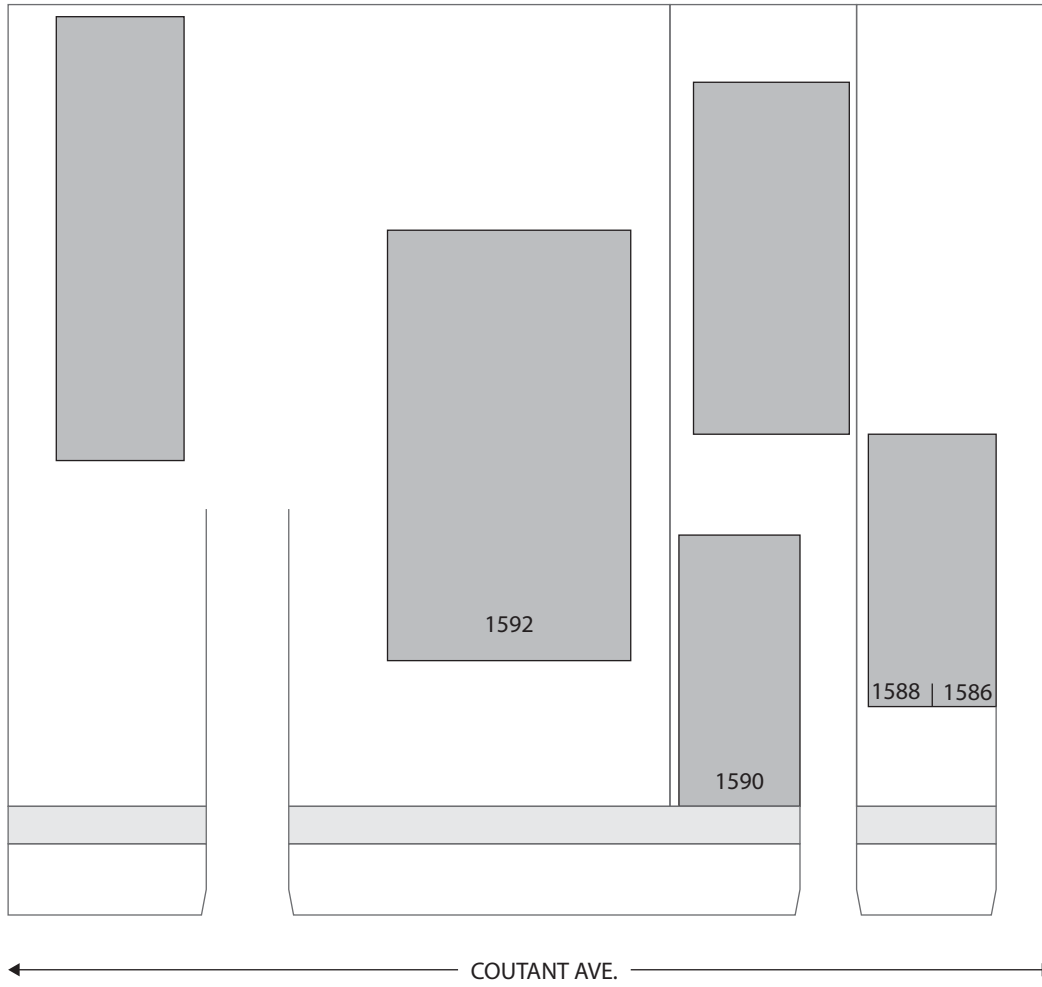
To whom it may concern,

I consent to property access at 1590 Coutant Ave., Lakewood, OH 44107 by the City of Lakewood, for purposes of an architectural review of our store front. This is in regards to replacing a current awning cover with an updated version matching our new business (FASTSIGNS).

Thank you,
Dave Wenninger
Owner/Operator FASTSIGNS Lakewood
dave.wenninger@fastsigns.com
(216) 509-2399

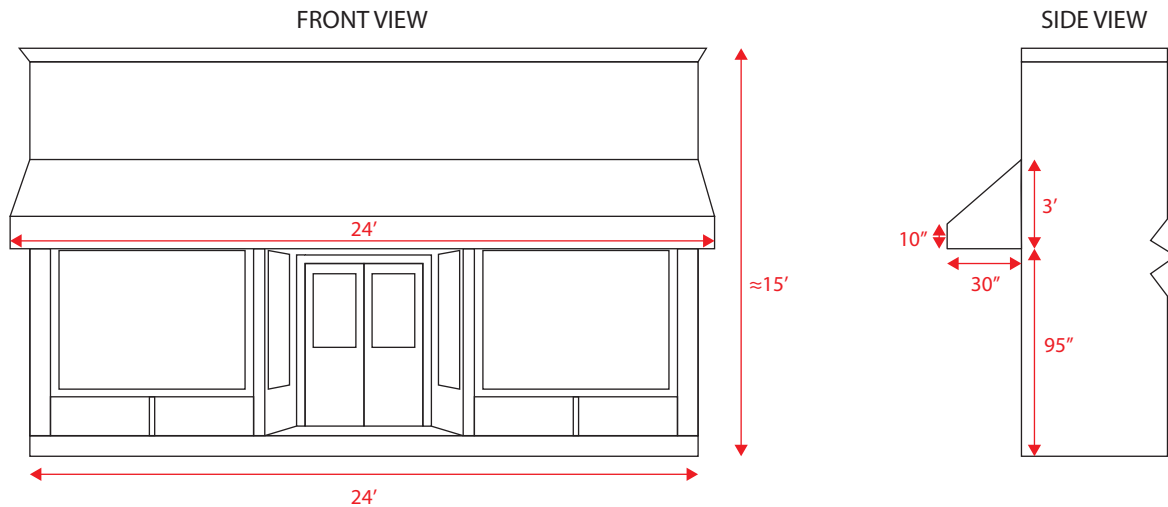
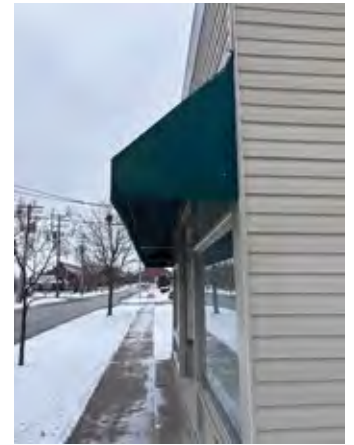
A handwritten signature in black ink, appearing to read "Dave Wenninger". The signature is stylized and cursive, with a long horizontal line extending to the right.

SITE PLAN: 1590 Coutant Ave.



EXISTING CONDITION OF PROPERTY: 1590 Coutant Ave.

- The current awning is deteriorating, does not match the color of our new business, and has the previous tenant's logo.
- The "shed style awning frame" is solid and does not need replacing.



UPDATED DESIGN OPTIONS:

- We are leaving the intact structure, and simply replacing the current green awning cloth cover.
- Options to consider include plain blue (1), blue with white logo on front panel (2), or blue with white logo on top panel.



DESIGN OPTION 1



DESIGN OPTION 2



DESIGN OPTION 3

INTENDED MATERIALS: 1590 Coutant Ave.

• Material will be *Sunbrella Shade Fabric*, color tbd (will match FASTSIGNS blue)

<https://www.sunbrella.com/browse-fabrics/fabrics-by-use/shade-awnings-pergolas>

TECHNICAL INFORMATION

APPLICATION

Awnings / Pergolas, Marine Tops and Covers

FINISH

Water Repellent

WEIGHT OZ. SQ. YD.

9.00

COLLECTION

[Sunbrella Shade](#)

LIGHT TRANSMITTANCE TOTAL

8.1 T_s (%)

FABRIC CONTENT

100% Sunbrella® Acrylic

WEATHER PROTECTION

Water Repellent

SELVEDGE

Left / Right

PANTONE® COLOR

19-4151 TPG

SOLAR TRANSMITTANCE TOTAL

7.4 T_s (%)

CONSTRUCTION

Woven

WEIGHT OZ. LY. YD.

11.68

RECYCLABLE

Yes, through the [Recycle My Sunbrella](#) program.

OPENNESS FACTOR

<0.01%

UV TRANSMITTANCE TOTAL

0 T_{uv} (%)

STANDARDS & CERTIFICATIONS

COMPLIANCE

REACH COMPLIANT

GREENGUARD® GOLD CERTIFIED

LEAD FREE

AZO DYE FREE



SKIN CANCER FOUNDATION

The Skin Cancer Foundation recommends certain Sunbrella fabric in shading products as part of a complete sun protection regimen, including regular use of sunscreen, to aid in preventing sun-induced skin damage.



Ocean Blue

Sunbrella Shade
SKU 4679-0000



Mediterranean Blue

Sunbrella Shade
SKU 4452-0000



Pacific Blue

Sunbrella Shade
SKU 4401-0000





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-39-26

Permit No.: BBS26-000031

Applicant Name: Chris Murphy

Project Address: 16426 Madison Ave

Project Name: Brewella's

Project: Applicant proposes new signage



Bewellas

TRUCK
LOAD
LIMIT
2
TONS

Oh, I
love
Mars

Open
8-4
Come
say
hi!

Brewellas



TRUCK
LOAD
LIMIT
&
TONS

Oh
Marie

Open
8-4
Come
say hi!

Bresellas

Open
8-4
Come on
in!

Bresellas





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-40-26

Permit No.: BBS26-000029

Applicant Name: Nick Musarra, North Coast Design Build

Project Address: 1321 Bunts Rd.

Project Name: n/a

Project: Applicant proposes pocket park

MR. C. G. ...



City of Lakewood
Board of Zoning Appeals

(216) 529-6630
planning@lakewoodoh.gov

**DISPOSITION LETTER
AUGUST 22, 2025**

Nick Musarra
North Coast Design Build
4205 W. Lake Rd.
Sheffield Lake, OH 44054

Docket No. 08-14-25
Re: **14321 Detroit Ave.**
Horizon Education Centers

Dear Applicant

At the 8/21/2025 meeting, the Board of Zoning Appeals met to consider the construction of a new fence to enclose the proposed playground. A 6 foot high black aluminum fence is not permitted in front of the building's foundation wall. Request a variance to install fence and gate in front of the foundation wall at 12 feet from the public sidewalk, as proposed. The property is in the C2, Commercial Retail District. (Page 35)

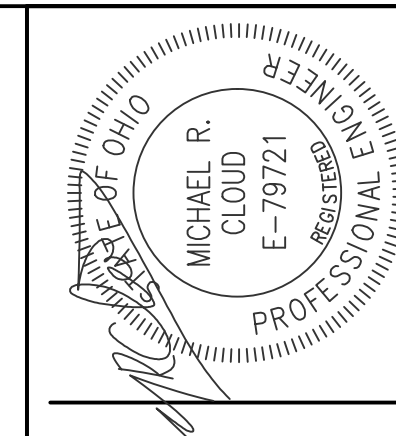
- Variance 1: Applicant proposes the construction of a new 6 foot high black aluminum fence and gate in front of the building foundation at 12 feet from the public sidewalk on the Detroit side, as proposed. Pursuant to 1153.03(c)2(E) Fence Placement and Types, Rear and Side Yards (Ord. 08-2021, Passed 05-17-2021)

The members decided to **APPROVE** Docket No. 08-14-25 as proposed.

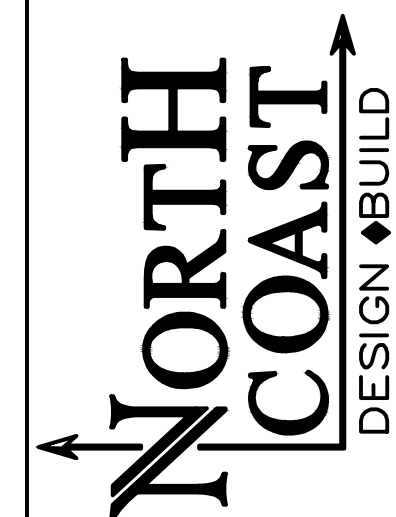
Please contact the Division of Housing and Building with any comments or concerns you may have at (216) 529-6270.

Sincerely,

Michelle Nohta
Board Secretary, Senior Planner
Planning and Development



ENGINEERS
CONTRACTORS
DEVELOPERS
4205 E. LAKE RD.,
SHEFFIELD LAKE, OH
44054
PH: 440-653-5191



HORIZON EDUCATION CENTERS OF LAKEWOOD
14321 DETROIT AVENUE
LAKEWOOD, OHIO 44107

EXISTING CONDITIONS PHOTOS

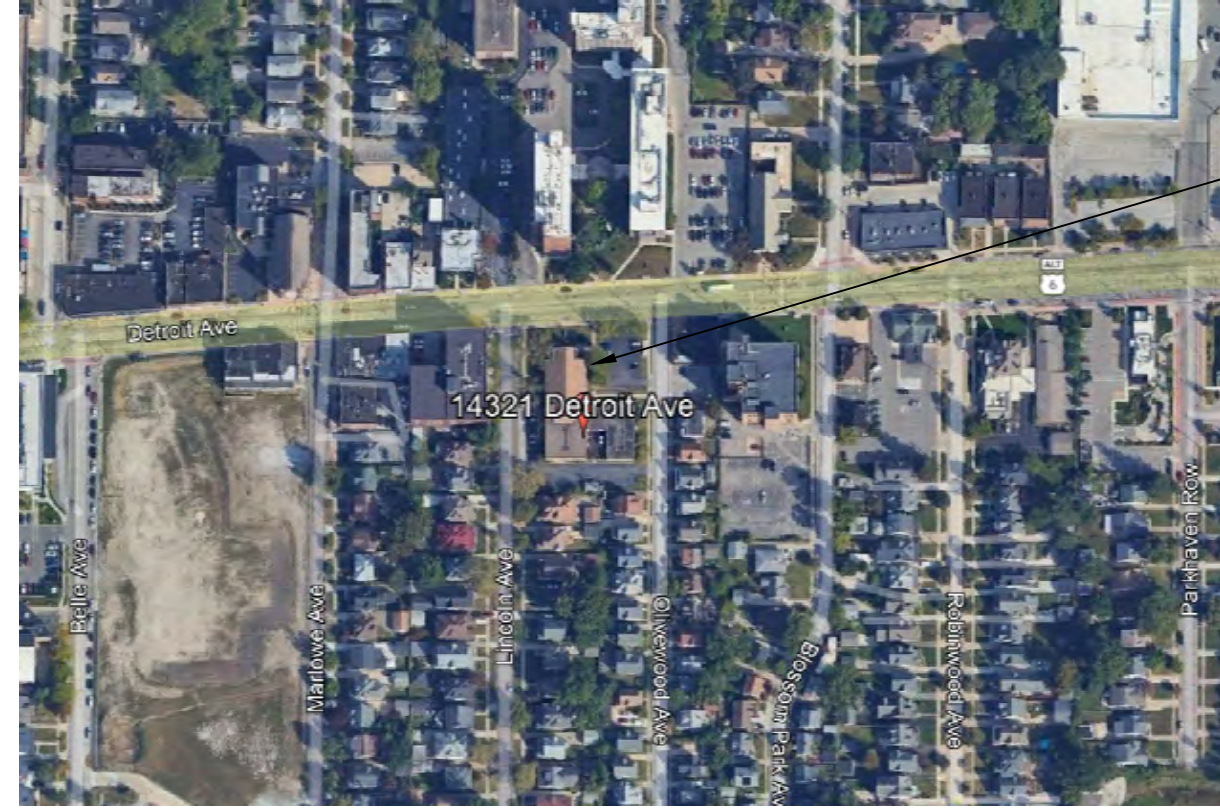
DATE:
03/18/2026 ABR

HORIZON EDUCATION CENTERS OF LAKEWOOD

14321 DETROIT AVENUE, LAKEWOOD, OH 44107

LOCATION MAP

NO SCALE



SITE

OWNER
HORIZON EDUCATION CENTERS
25300 LORAIN RD.
NORTH OLMSTED, OH 44070
(440)-785-7372

GENERAL CONTRACTOR
North Coast Design Build, LLC
4205 E. Lake Rd.
Sheffield Lake, OH 44054
(440)-653-5191

ENGINEER
E-79721, LLC
4205 E. Lake Rd.
Sheffield Lake, OH 44054
(216)-308-8800

INDEX OF DRAWINGS

		ISSUE DATE	REV DATE
	COVER SHEET	03/18/2026	
1	EXISTING CONDITIONS TOPOGRAPHIC SURVEY	03/18/2026	
2	EXISTING CONDITIONS PHOTOS	03/18/2026	
3	BUILDING ELEVATIONS	03/18/2026	
4	BUILDING ELEVATIONS	03/18/2026	
5	SITE PLAN	03/18/2026	
6	SITE LANDSCAPE PLAN	03/18/2026	

DETROIT AVENUE 66' R/W

FLOOD STATEMENT:

THIS PARCEL IS LOCATED IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 39035C0156F EFFECTIVE DATE AUGUST 15, 2019

OWNERSHIP INFORMATION

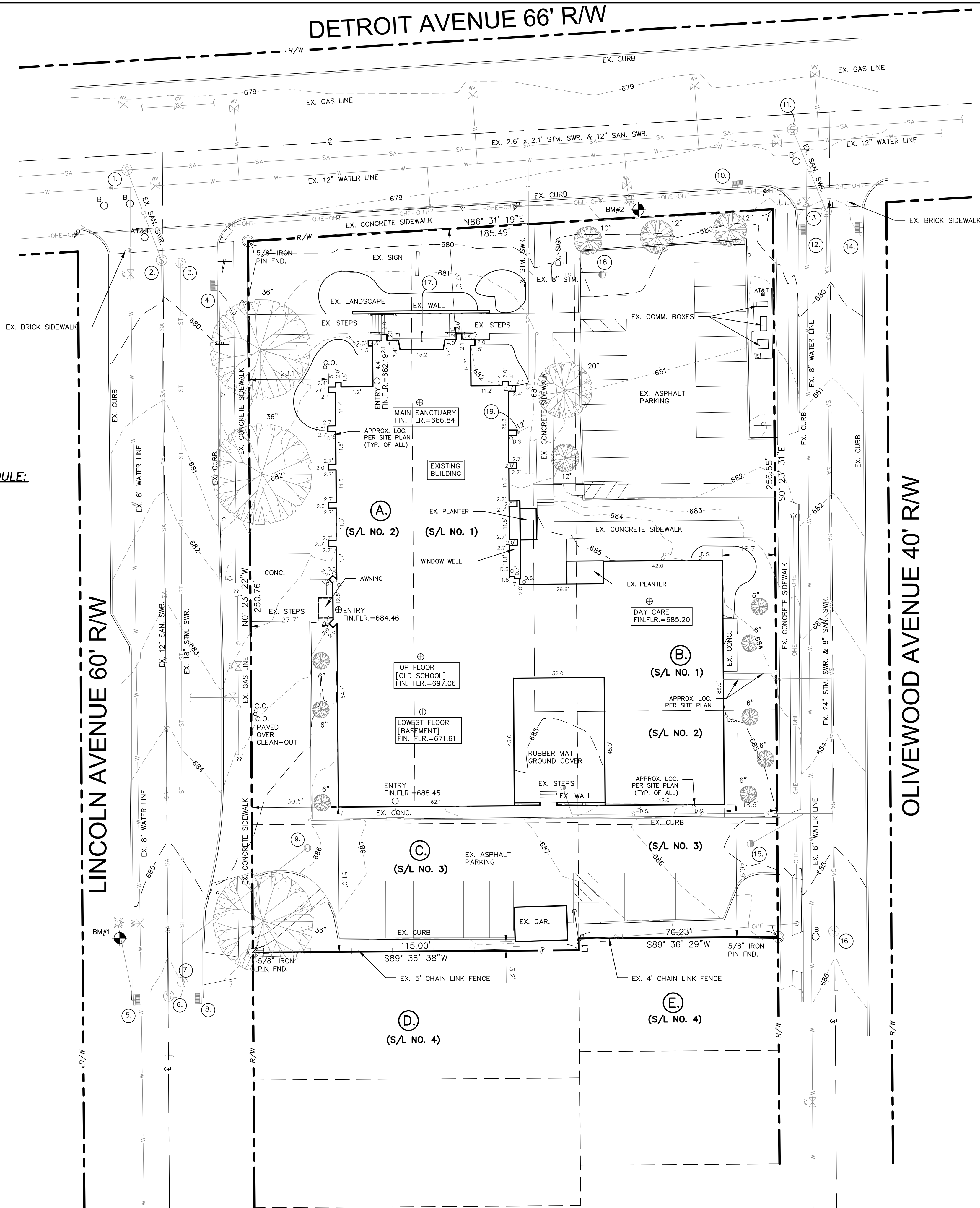
- A.) P.N. 314-07-003
LAKEWOOD BAPTIST CHURCH
- B.) P.N. 314-07-143
LAKEWOOD BAPTIST CHURCH
O.R. VOL. 9929, PG. 305
05/10/1960
- C.) P.N. 314-07-076
LAKEWOOD BAPTIST CHURCH
O.R. VOL. 90-7775, PG. 54
12/14/1990
- D.) P.N. 314-07-077
PATRICK F. CLEARY
DOC. NO. 200901070440
01/07/2009
- E.) P.N. 314-07-108
DEBORAH R. BALLER &
RICHARD R. BALLER
DOC. NO. 200412170706
12/17/2004

EXISTING STORM/SANITARY STRUCTURE SCHEDULE:

- 1.) EX. SANITARY MANHOLE
T/C= 679.82
- 2.) EX. SANITARY MANHOLE
T/C= 679.58
- 3.) EX. STORM MANHOLE
T/C= 679.55
- 4.) EX. CURB INLET
T/C= 679.45
- 5.) EX. CURB INLET
T/C= 685.76
- 6.) EX. SANITARY MANHOLE
T/C= 686.26
- 7.) EX. STORM MANHOLE
T/C= 686.03
- 8.) EX. CURB INLET
T/C= 685.53
- 9.) EX. CATCH BASIN
T/C= 685.71
- 10.) EX. CURB INLET
T/C= 678.07
- 11.) EX. SANITARY MANHOLE
T/C= 679.25
- 12.) EX. CURB INLET
T/C= 679.11
- 13.) EX. SANITARY MANHOLE
T/C= 679.18
- 14.) EX. CURB INLET
T/C= 678.89
- 15.) EX. CATCH BASIN
T/C= 684.54
- 16.) EX. SANITARY MANHOLE
T/C= 685.11
- 17.) EX. END OF 4" PVC
4"FL= 681.56
- 18.) EX. CATCH BASIN
T/C= 679.67
- 19.) EX. CATCH BASIN
T/C= 681.56

PROJECT BENCHMARK:

- BM#1 TOP OF EAST FLANGE
BOLT OF EXISTING FIRE
HYDRANT
ELEVATION = 688.48
- BM#2 TOP OF SOUTH FLANGE
BOLT OF EXISTING FIRE
HYDRANT
ELEVATION = 681.89

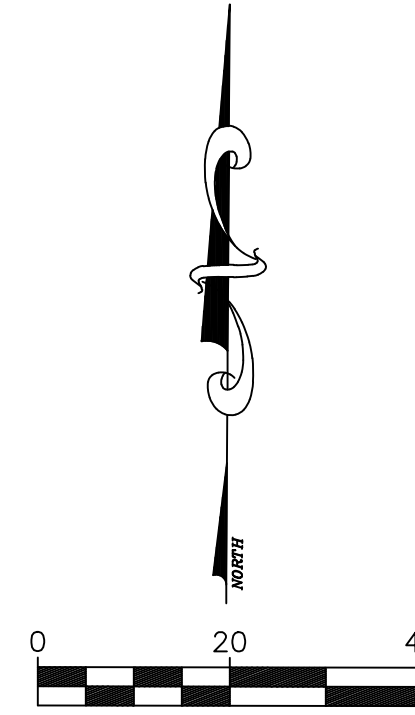


Line #	Length	Direction
L1	4.21'	S0° 23' 22"E



SYMBOL LEGEND & ABBREVIATIONS:

- SM Storm Manhole
- SCB Storm Catch Basin
- SMH Sanitary Manhole
- CIB Curb Inlet Basin
- FH Fire Hydrant
- WLV Water Line Valve
- PWG Pole with Guy Wire
- CO Gas Flag
- HVAC HVAC
- CS Curb Stop
- MH Manhole (Type Unknown)
- DS Down Spout
- TP Telephone Ped.
- HS Hose Spigot
- ET Electric Transformer
- ET Existing Tree
- EP Existing Pine Tree
- EHH Electric Hand Hole
- FOM Fiber Optic Marker
- ES Existing Spot Elevation
- EV Existing Vacuum
- BM Bell Manhole
- AT&T AT&T Manhole
- GM Gas Meter
- SS Street Sign
- GV Gas Valve
- UP Utility Ped./Box
- UP Utility Pole
- PP Power Pole
- ICV Irrigation Control Valve
- OHE Overhead Electric
- OHT Overhead Telephone
- UGE Underground Electric
- UGT Underground Telephone
- MB Mailbox
- IFW 1/2" Iron Pin Found w/Cap
- IFW 5/8" Iron Pin Found w/Cap
- IFW Monument Box w/ Iron Pin Found
- IFW 5/8" Iron Pin Found (No Cap)
- IFW Iron Pipe Found
- IFW Stone Found
- IFW Railroad Spike Found
- IFW PK Nail Set
- LP Light Pole
- GL Ground Light
- BOLL Bollards
- WC Water Corp. Valve
- FFP Finished Floor Point
- TP Telephone Pole
- FP Flag Pole
- EM Electric Meter
- PM Parking Meter
- SD Downspout Drain
- ST Storm
- WL Water Line
- G Gas Line
- UGE Underground Electric
- OHT Overhead Telephone
- OHE Overhead Electric
- OHT Overhead Telephone
- FOC Fiber Optic



NOTE: BEARINGS ARE BASED ON AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

UTILITY NOTES

ANY LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND STRUCTURES AND/OR RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITY LINES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITY LINES AND STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THIS SURVEY SHOWS ONLY APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND MUST BE VERIFIED AND FIELD CHECK BY THE UTILITY COMPANIES BEFORE YOU DIG.

UNDERGROUND UTILITIES
Contact Two Working Days
Before You Dig

OHIO811, 8-1-1, or 1-800-362-2764
(Non-members must be called directly)

REVISIONS:

PROJECT TITLE:
LAKEWOOD BAPTIST CHURCH
14321 DETROIT AVENUE - CITY OF LAKEWOOD, COUNTY OF CUYAHOGA, OHIO

SHEET TITLE:
EXISTING CONDITIONS TOPOGRAPHIC SURVEY

SURVEYOR SEAL:

DATE:
06/27/2025

PLAN PREPARED BY:

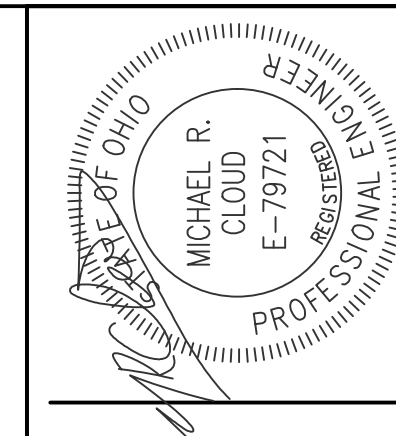
780 EAST SMITH ROAD
SUITE B
MEDINA, OHIO 44256
PHONE (330) 723-1828
FAX (330) 723-6637

JOB No.:
32,368

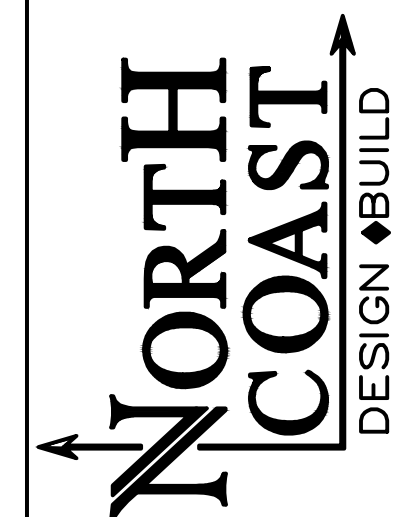
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SCALE:
AS NOTED

SHT. No.:
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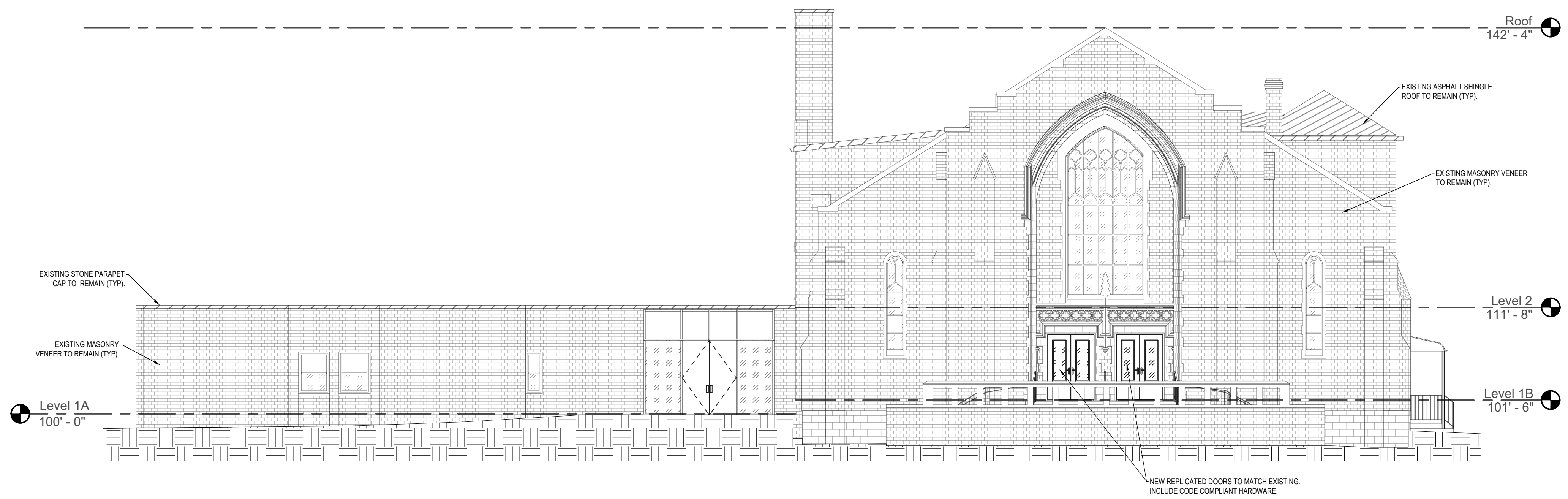
ENGINEERS
CONTRACTORS
DEVELOPERS
4205 E. LAKE RD.,
SHEFFIELD LAKE, OH
44054
PH: 440-653-5191



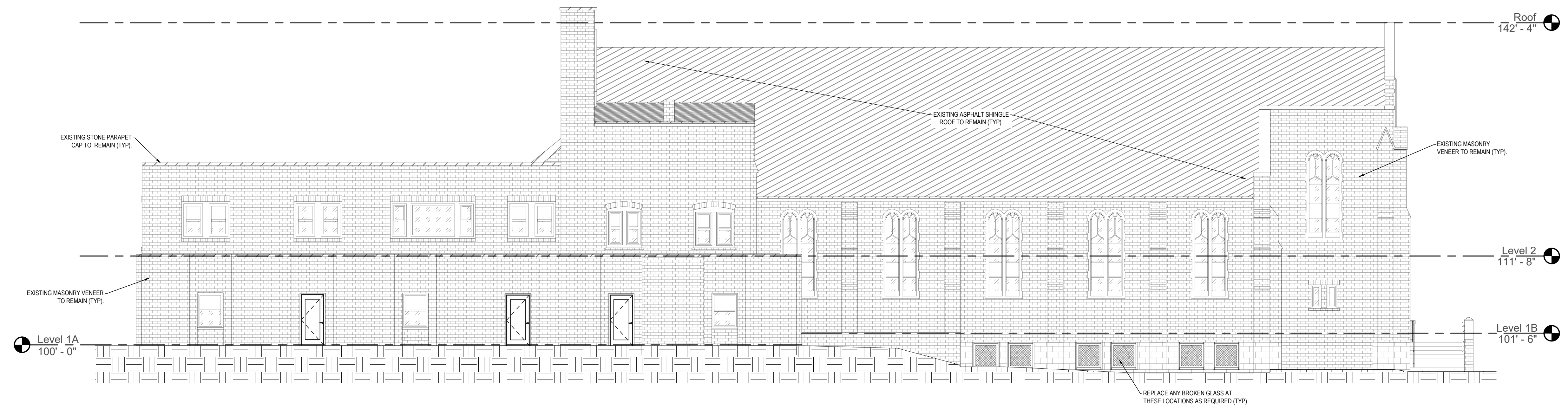
HORIZON EDUCATION CENTERS OF LAKEWOOD
14321 DETROIT AVENUE
LAKEWOOD, OHIO 44107

EXISTING CONDITIONS PHOTOS

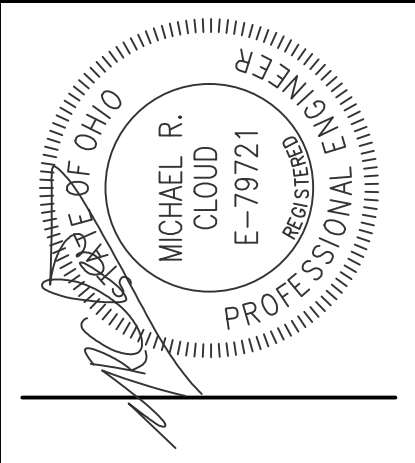
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03/18/2026 ABR



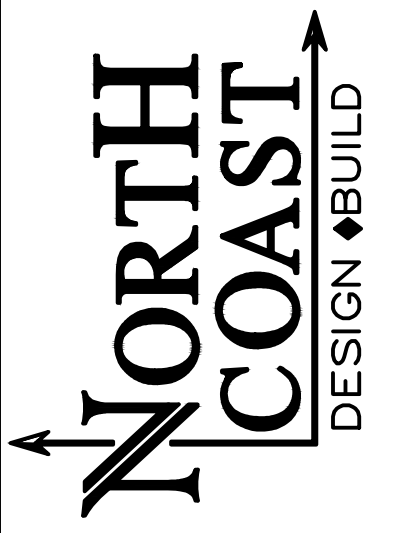
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



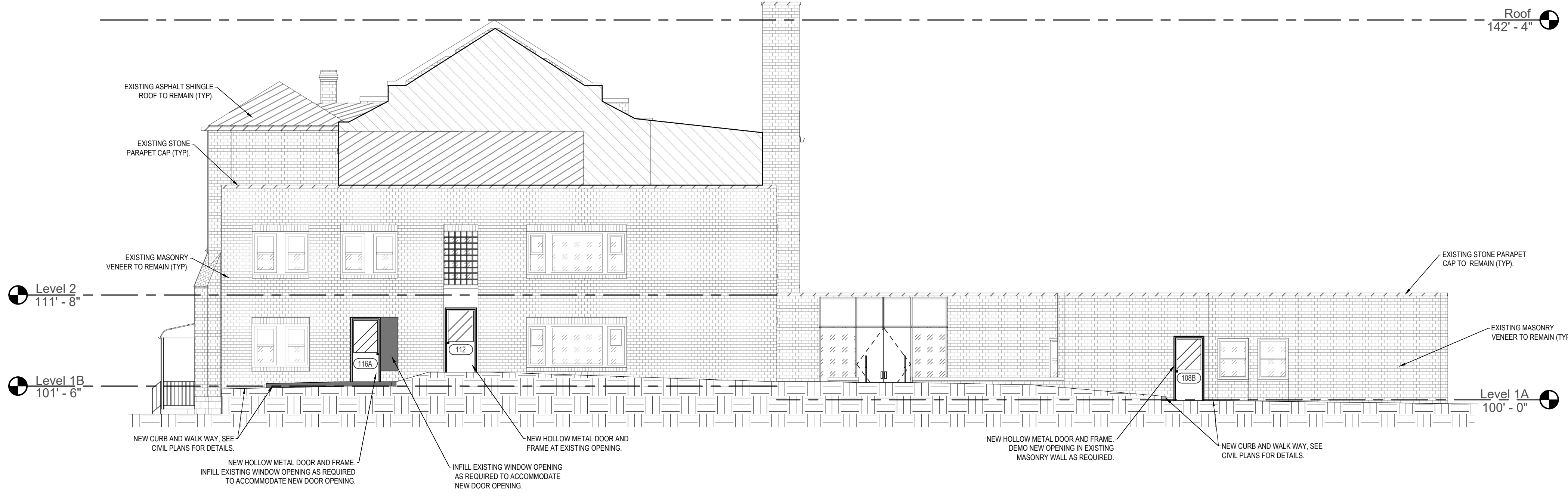
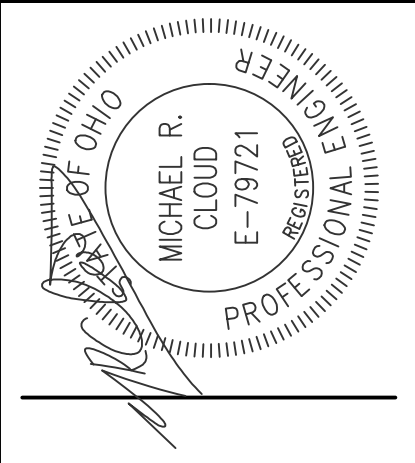
ENGINEERS
CONTRACTORS
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4205 E. LAKE RD.
SHEFFIELD LAKE, OH
44054
PH: 440-653-5191



HORIZON EDUCATION CENTERS OF LAKEWOOD
14321 DETROIT AVENUE
LAKEWOOD, OHIO 44107

NORTH AND EAST EXTERIOR ELEVATIONS

DATE:
03/18/2026 ABR

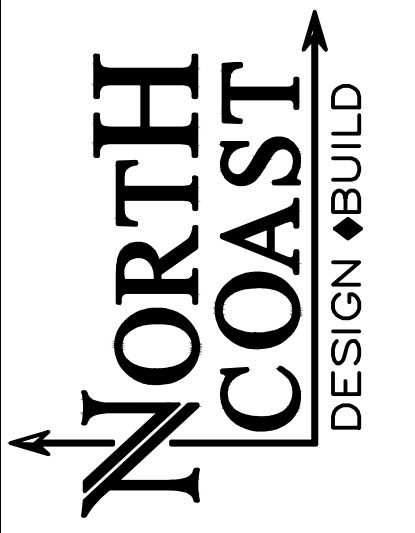


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

ENGINEERS
CONTRACTORS
DEVELOPERS
4205 E. LAKE RD.,
SHEFFIELD LAKE, OH
44054
PH: 440-653-5191

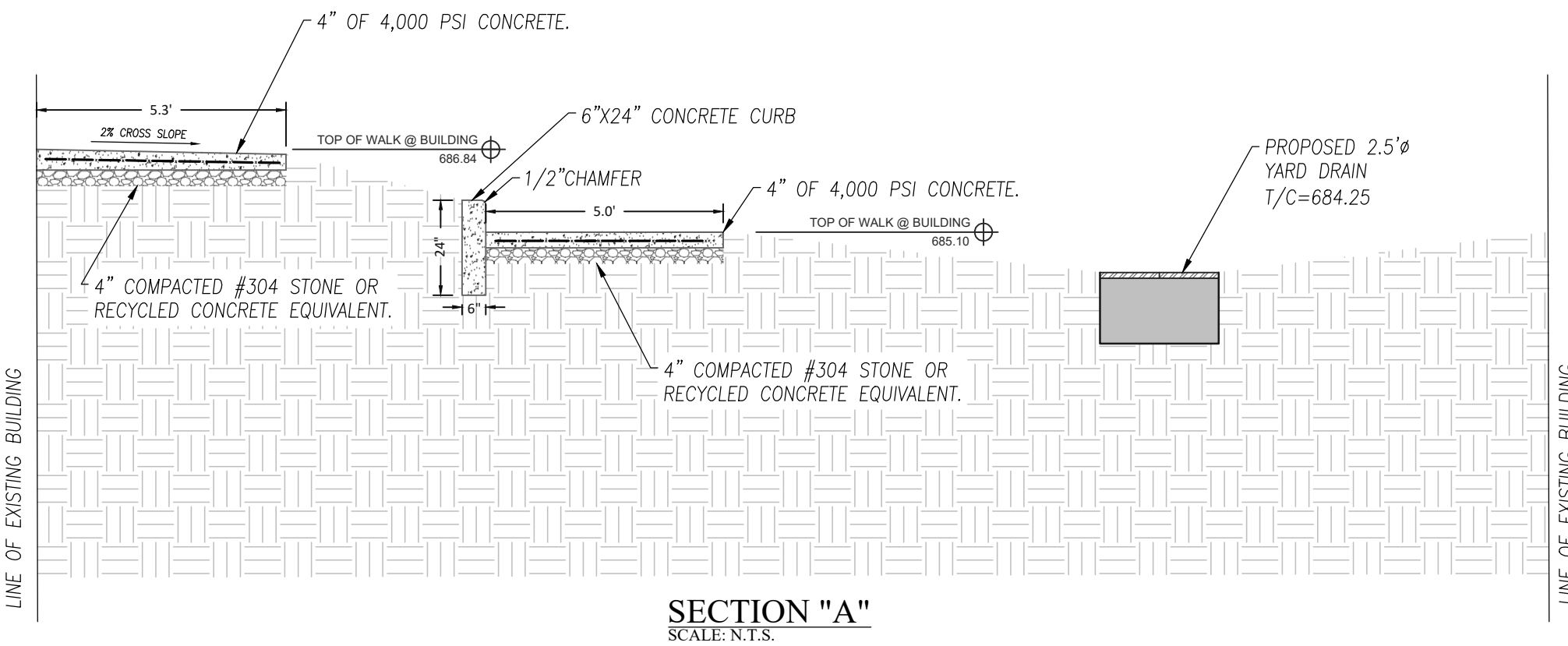


HORIZON EDUCATION CENTERS OF LAKEWOOD
14321 DETROIT AVENUE
LAKEWOOD, OHIO 44107
SOUTH AND WEST EXTERIOR ELEVATIONS

DATE:
03/18/2026 ABR

FLOOD STATEMENT:
 THIS PARCEL IS LOCATED IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 39035C0156F EFFECTIVE DATE AUGUST 15, 2019

PROJECT BENCHMARK:
 BM#1 TOP OF EAST FLANGE BOLT OF EXISTING FIRE HYDRANT ELEVATION = 688.48
 BM#2 TOP OF SOUTH FLANGE BOLT OF EXISTING FIRE HYDRANT ELEVATION = 681.89



SECTION "A"
 SCALE: N.T.S.

CIVIL DESIGN NOTES

GRADING & SITE DEVELOPMENT NOTES:

- Demo and haul off site all pavement, concrete, vegetation, trees and any other site component located within the scope of work which is required to be removed. Demolition shall occur in a sequence and manner as prescribed by the General Contractor. Neatly saw cut existing materials & curb cuts.
- Pavement/flatwork sections shall be as follows:
 - On-Site Concrete Flat Work:
 - 4" (6" where noted) of 4000 psi concrete, 6% air entrainment, 6X6 w1.4/w1.4, over,
 - 4" of compacted #57 stone or recycled concrete equivalent over,
 - Properly compacted subgrade.
 - Control joints not to exceed 5' for sidewalks, 10' for patios. Control joints and edge banding shall be hand tooled - NO SAW CUTS. Include light broom finish.
 - Apply one coat of cure and seal within 24 hours of placement.
 - Install 3/8" bituminous expansion material:
 - Anywhere concrete meets the building or a dissimilar material (other than asphalt).
 - At intervals, not to exceed 50'.
 - Where sidewalks change direction or abut patios porches or stoops.
 - On-Site Curbs:
 - Install 6" wide by 18" deep curbs with 6" reveal at pavement edges at the entire asphalt perimeter. Turn curbs down to meet sidewalks, dumpster enclosure, and approach.
 - Lightly broom finish curbs and tool a 1/2" radius back and face. Saw cut 1/2" deep control joints at the top and face of curb at 12' o/c.
 - Install 3/8" bituminous expansion material including:
 - Install (2) 24" dowels at expansion joints in a continuous run. Space joints so as not to exceed 50'.
 - Install (2) 12" dowels at expansion joints where intersecting curbs change direction.
 - Concrete shall be 4,000 PSI with 6% air entrainment.

UTILITY NOTES:

- Storm sewer:
 - All storm drains shall be connected as shown and work shall include:
 - Minimum cover to top of pipe shall be 1' at final grade.
 - All pipe shall be SDR 35.
 - Pipe shall be bedded in clean #57 stone. Pipe under sidewalks, patios or drive ways shall be backfilled to the full trench depth with #57 stone. The balance of trench backfill shall be suitable material installed in compacted lifts not to exceed 8" each.
- Perform all crossings installations in accordance with City and utility provider requirements.
- Pipe shall be sloped at 1.0% u.n.o.

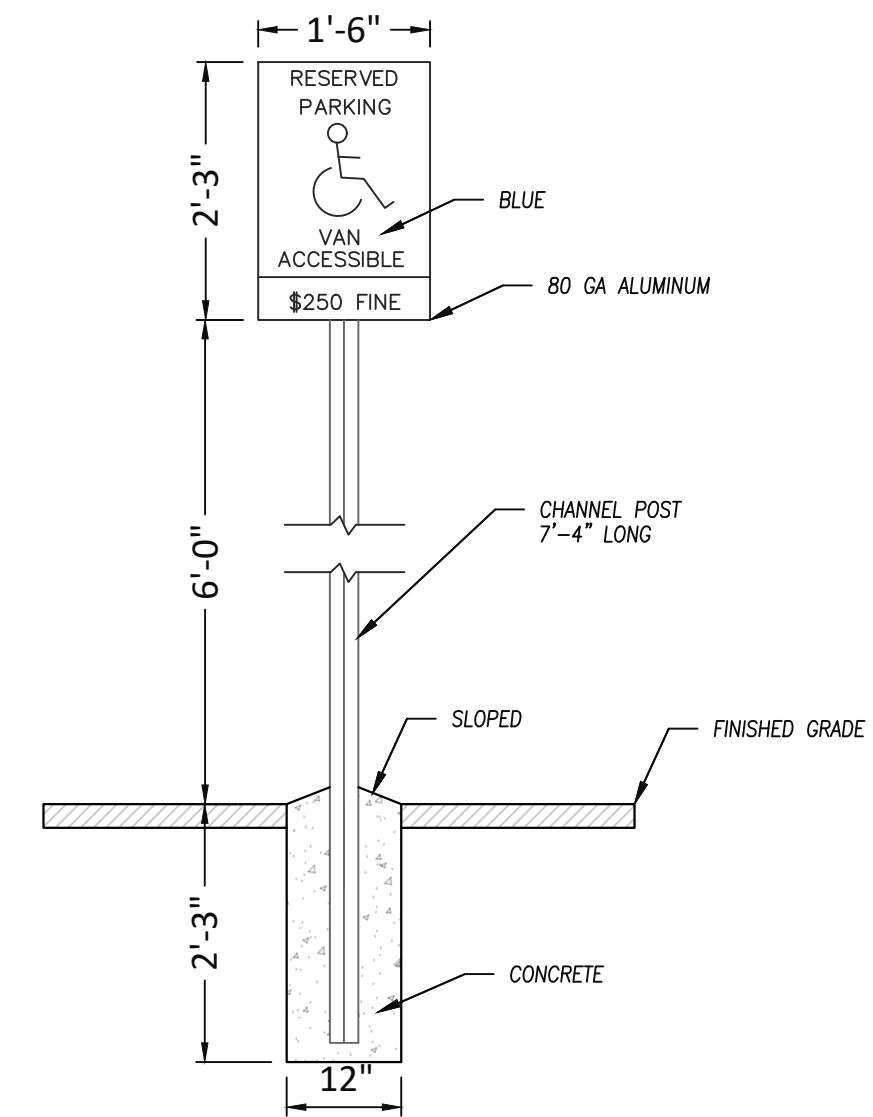
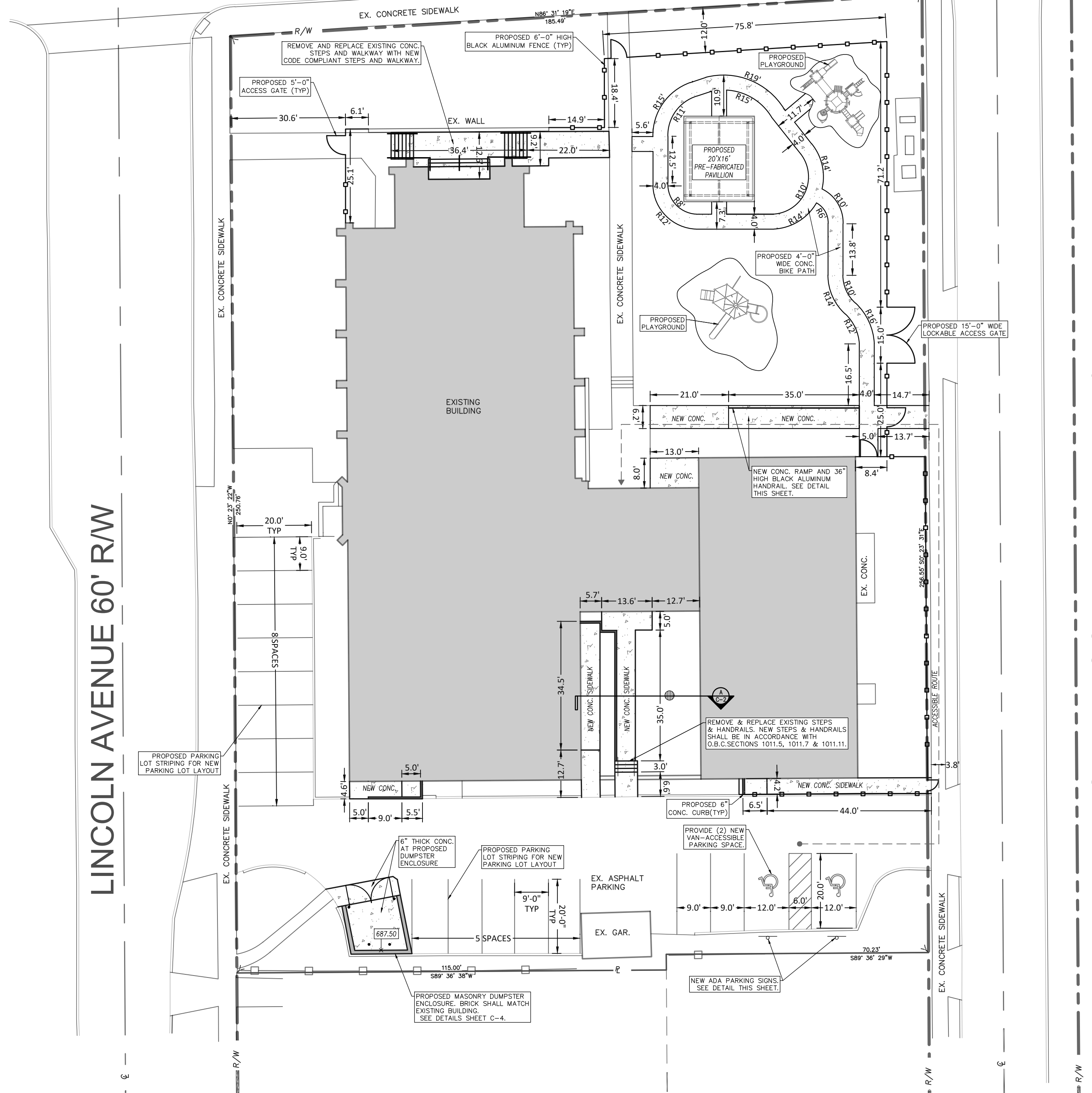
MATERIAL LEGEND

Key	Material
	4" CONCRETE PAVEMENT. SEE CIVIL NOTES SHEETS FOR DETAILS.
	6" CONCRETE CURB. SEE CIVIL NOTES SHEETS FOR DETAILS.

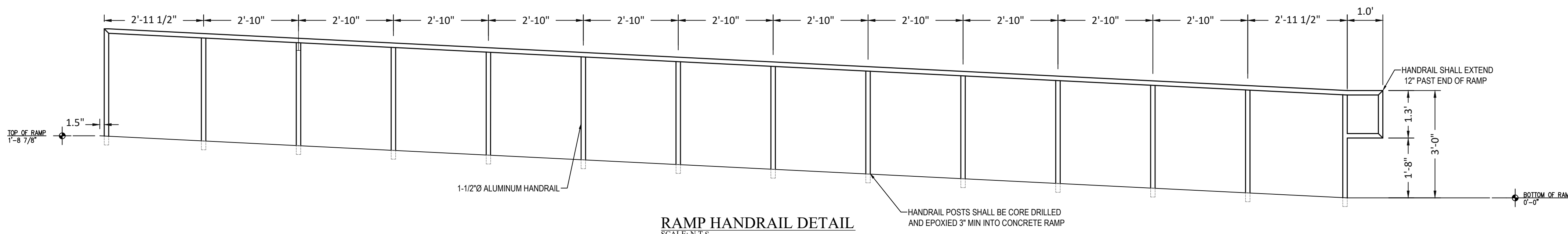
DETROIT AVENUE 66' R/W

LINCOLN AVENUE 60' R/W

OLIVEWOOD AVENUE 40' R/W

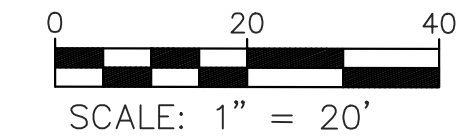


ACCESSIBLE PARKING SIGN



RAMP HANDRAIL DETAIL
 SCALE: N.T.S.

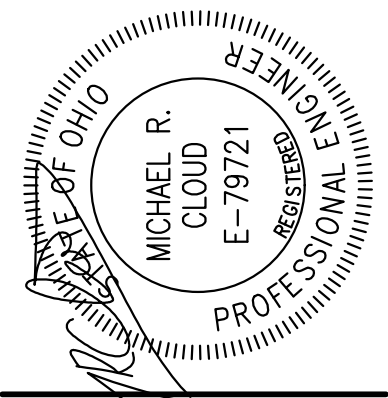
SITE PLAN



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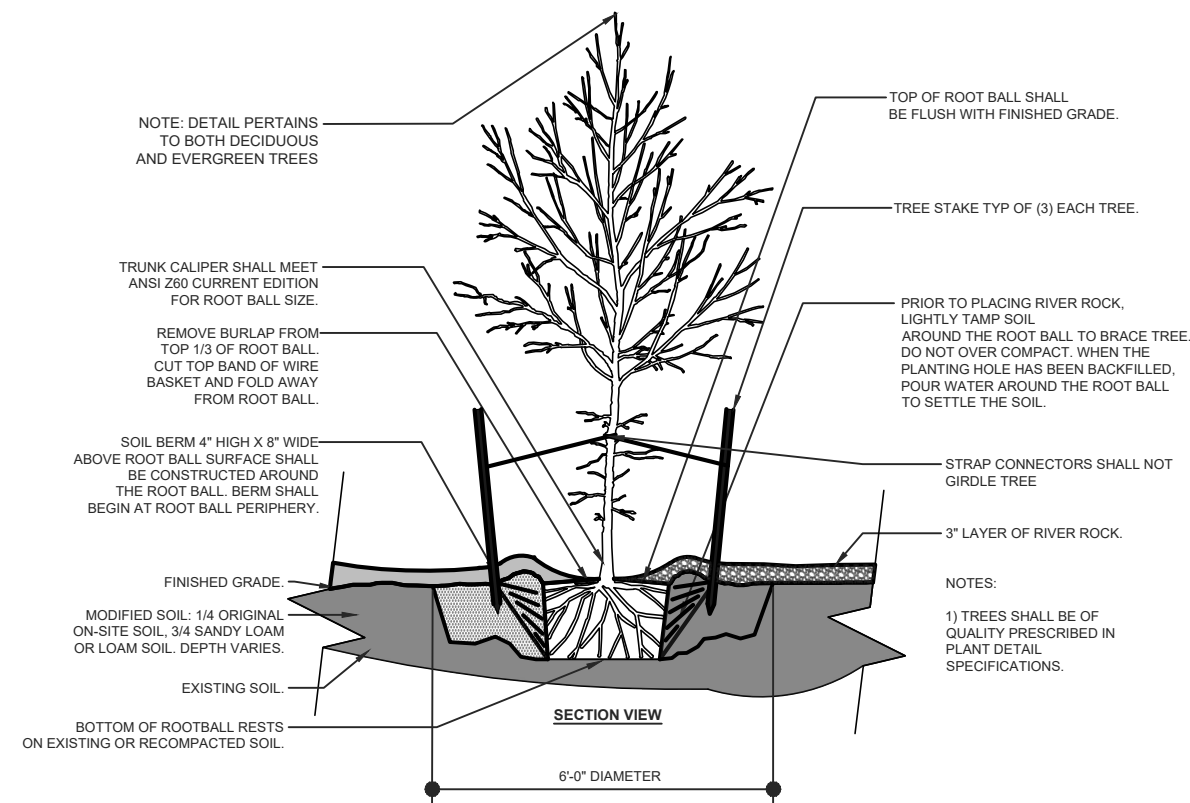
HORIZON EDUCATION CENTERS OF LAKEWOOD
 14321 DETROIT AVENUE
 LAKEWOOD, OHIO 44107

SITE PLAN

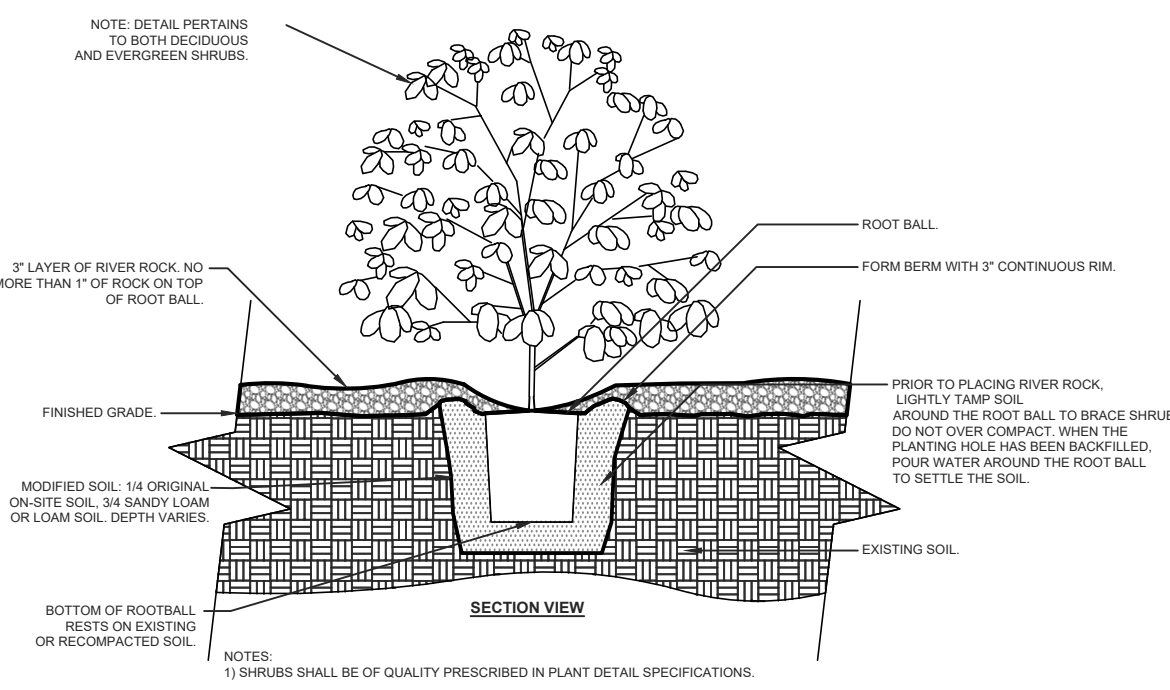
DATE:
 03/18/2026 ABR

GENERAL SPECIFICATIONS

- 1) QUALITY AND SIZE OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- 2) PLANTING BED PREPARATION: LOOSEN EXISTING SOIL. ADD TOPSOIL IN SUFFICIENT QUANTITY TO PROVIDE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM RAISED BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADES, FINISHED GRADES, OR MULCH ABOVE FINISHED FLOOR ELEVATIONS.
- 3) PROVIDE RIVER ROCK MIN. 3" DEEP IN ALL PLANTING AREAS. PROVIDE LANDSCAPE FABRIC AND PIN-IN-PLACE BENEATH ALL RIVER ROCK APPLICATIONS.
- 4) ALL NYLON ROPING, TWINE AND TAGS SHALL BE REMOVED PRIOR TO PLANTING. ALL NON TREATED BURLAP AND/OR ROT PROOF BURLAP TO BE REMOVED FROM TOP HALF OF ROOT BALL. ALL TREATED BURLAP TO BE COMPLETELY REMOVED FROM PLANTING AREA.
- 5) GRANULAR FERTILIZER 19-6-12 TO BE APPLIED TO ALL PLANTING AREAS PER MANUFACTURER APPLICATION INSTRUCTIONS.
- 6) ALL DISTURBED AREAS ON SITE, NOT INCLUDING PLANTING BEDS, TO BE ROCK HOUNDED AND FREE FROM WEEDS, SEEDS AND COVERED WITH STRAW MATTING.
- 7) EDGE ALL PLANTING BEDS.
- 8) REFER TO CIVIL DRAWINGS FOR ALL GRADING INFORMATION.
- 9) LANDSCAPE INSTALLATION COMPANY TO HAVE ALL UTILITIES MARKED BEFORE DIGGING. O.U.P.S. 811 OR WWW.OUPS.ORG
- 10) ALL INDIVIDUAL TREES ON PROPERTY TO RECEIVE A 6" DIAMETER (3" RADIUS) RIVER ROCK CIRCLE BED.
- 11) ALL TREES SHALL BE STAKED WITH (3) MATCHING 2" SQUARE OAK STAKES WITH APPROPRIATE STRAPS TO SUPPORT THE TREE.
- 12) PLAYGROUND AREAS TO BE MULCHED WITH 4-6" MIN. BROWN RUBBER MULCH



1 TREE PLANTING DETAIL
NOT TO SCALE



2 SHRUB & PERENNIAL PLANTING DETAIL
NOT TO SCALE



BASE PRICE MODEL
STANDARD FEATURES (WOOD)

- Rough-Sawn Solid 8x8 Posts
- Y-Support Bracing
- 7/12 Roof Pitch
- 1x8 Tongue and Groove Ceiling
- CDX Plywood Roof Sheathing
- Aluminum Drip Edge
- Dimensional Shingles

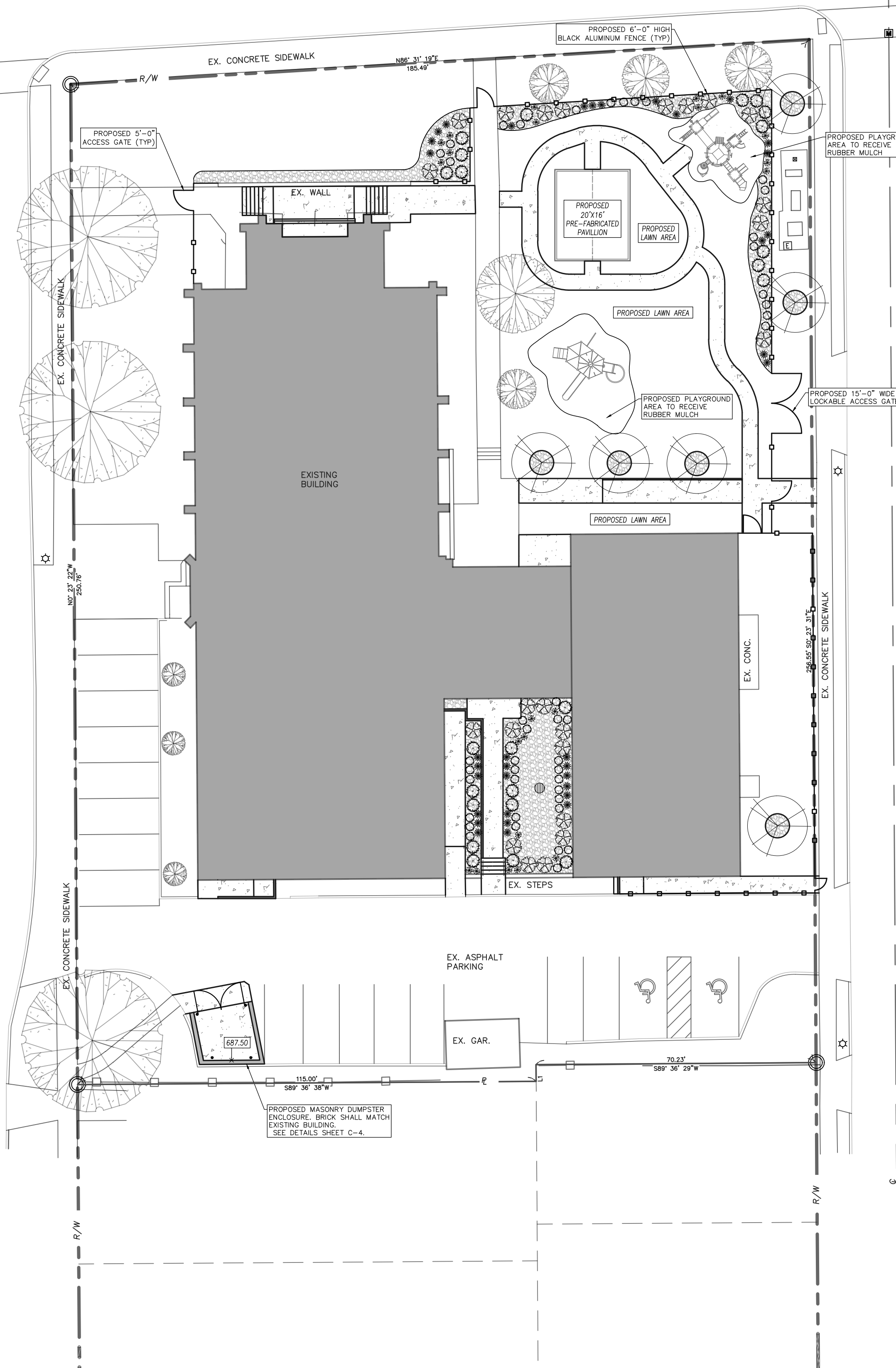
Wood
OPTIONS
ON THIS 7x16
Bronze Metal Roof
Smoke / Natural

PAVILLION INSPIRATION

DETROIT AVENUE 66' R/W

LINCOLN AVENUE 60' R/W

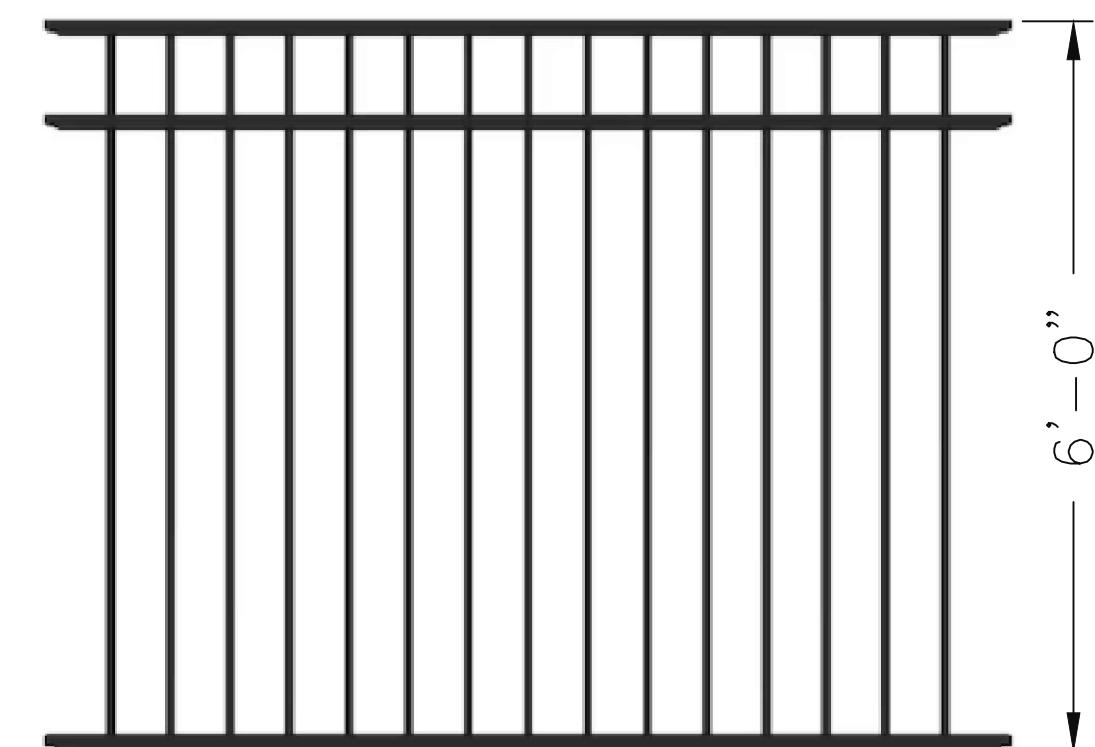
OLIVEWOOD AVENUE 40' R/W



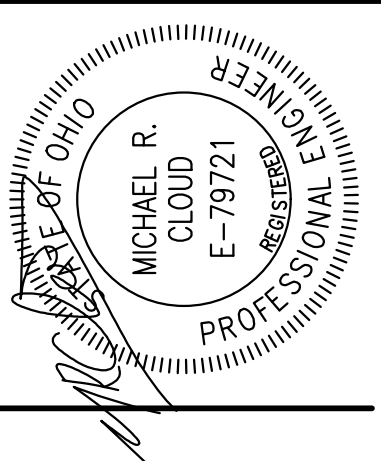
SITE LANDSCAPE PLAN

LANDSCAPING LEGEND			
SYM	COMMON NAME	BOTANICAL NAME	SIZE
TREES			
[Symbol]	PIN OAK	QUERCUS PALUSTRIS	2.5" CAL
SHRUBS			
[Symbol]	OAKLEAF HYDRANGEA RUBY SLIPPERS	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	7 GAL
[Symbol]	JUNIPER BLUE PACIFIC	JUNIPERUS CONVERTA 'BLUE PACIFIC'	3 GAL
[Symbol]	BOXWOOD GREEN VELVET	BUXUS 'GREEN VELVET'	7 GAL
ORNAMENTAL GRASSES			
[Symbol]	CAREX ICE DANCE	CAREX 'ICE DANCE'	1 GAL
PERENNIALS			
[Symbol]	NEPETA CATS MEOW	NEPETA 'CATS MEOW'	1 GAL

FENCE SHALL BE BLACK ALUMINUM



FENCE INSPIRATION



ENGINEERS
CONTRACTORS
DEVELOPERS
4205 E. LAKE RD.
SHEFFIELD LAKE, OH
44054
PH: 440-653-5191



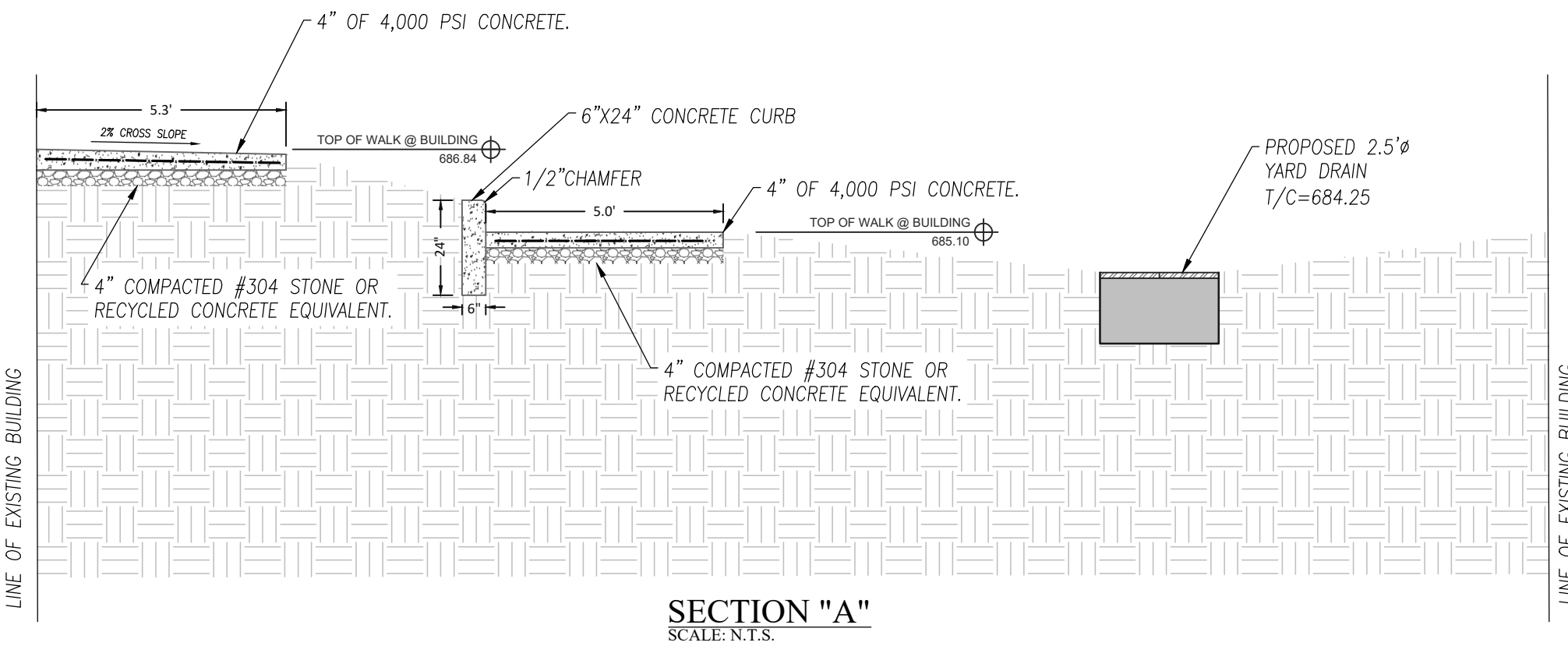
HORIZON EDUCATION CENTERS OF LAKEWOOD
14321 DETROIT AVENUE
LAKEWOOD, OHIO 44107

SITE LANDSCAPE PLAN

DATE:
03/18/2026 ABR

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 THIS PARCEL IS LOCATED IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 39035C0156F EFFECTIVE DATE AUGUST 15, 2019

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 BM#2 TOP OF SOUTH FLANGE BOLT OF EXISTING FIRE HYDRANT ELEVATION = 681.89



SECTION "A"
 SCALE: N.T.S.

CIVIL DESIGN NOTES

GRADING & SITE DEVELOPMENT NOTES:

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 - 4" of compacted #57 stone or recycled concrete equivalent over,
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 - Install 3/8" bituminous expansion material:
 - Anywhere concrete meets the building or a dissimilar material (other than asphalt).
 - At intervals, not to exceed 50'.
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 - On-Site Curbs:
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UTILITY NOTES:

- Storm sewer:
 - All storm drains shall be connected as shown and work shall include:
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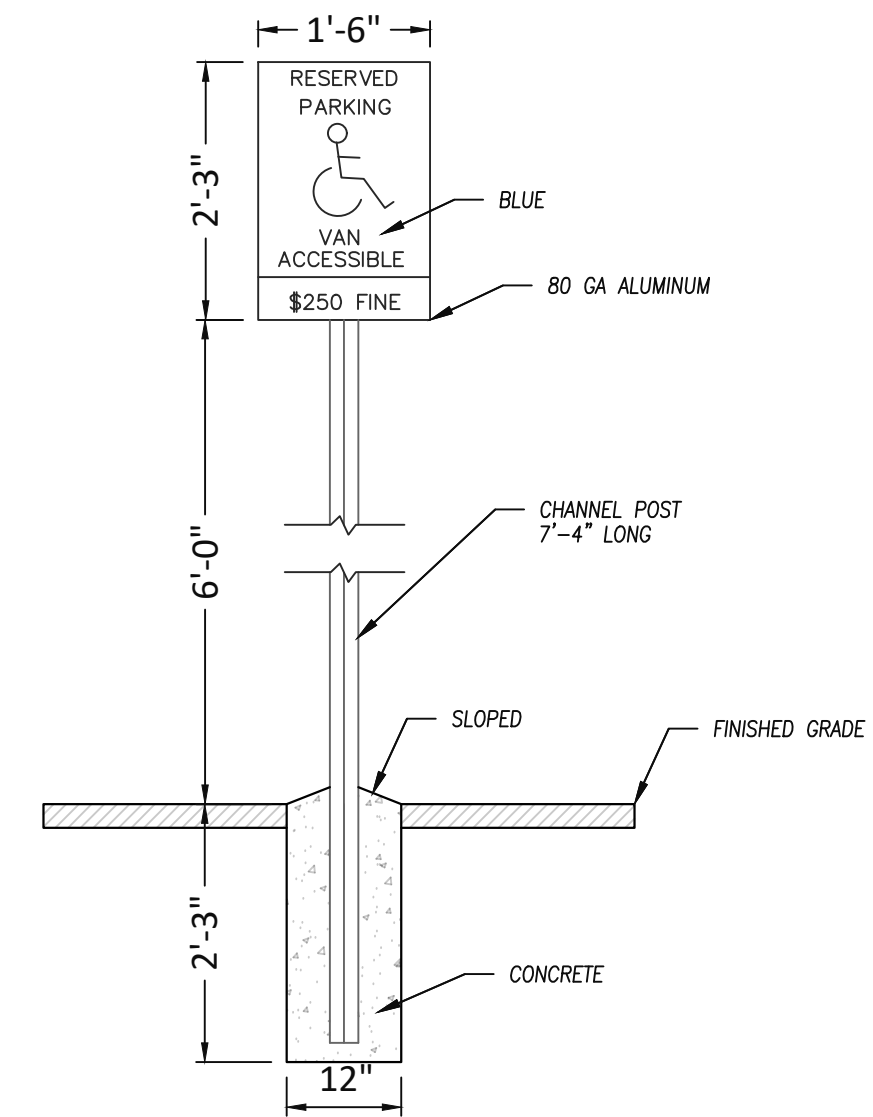
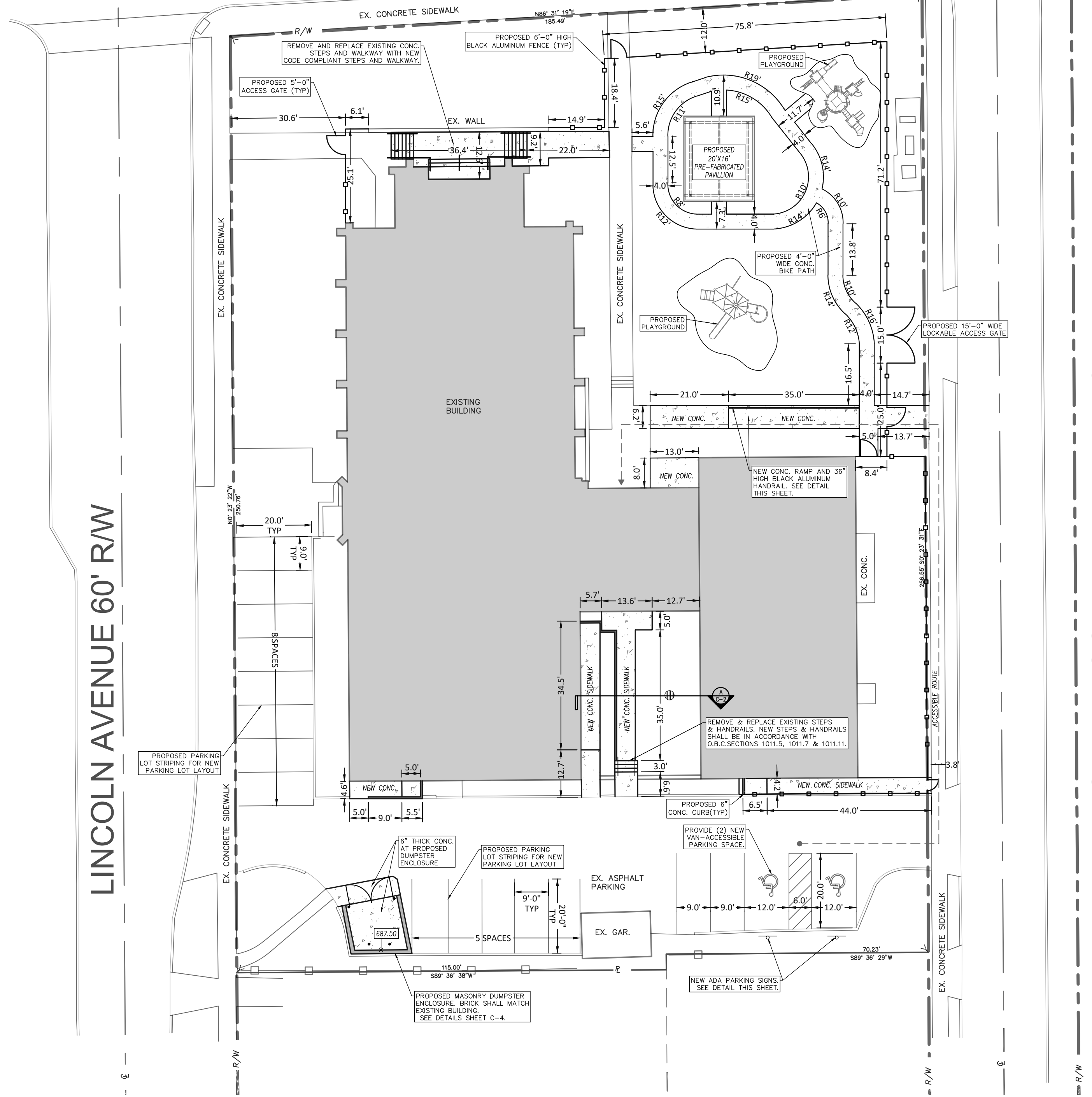
MATERIAL LEGEND

Key	Material
	4" CONCRETE PAVEMENT. SEE CIVIL NOTES SHEETS FOR DETAILS.
	6" CONCRETE CURB. SEE CIVIL NOTES SHEETS FOR DETAILS.

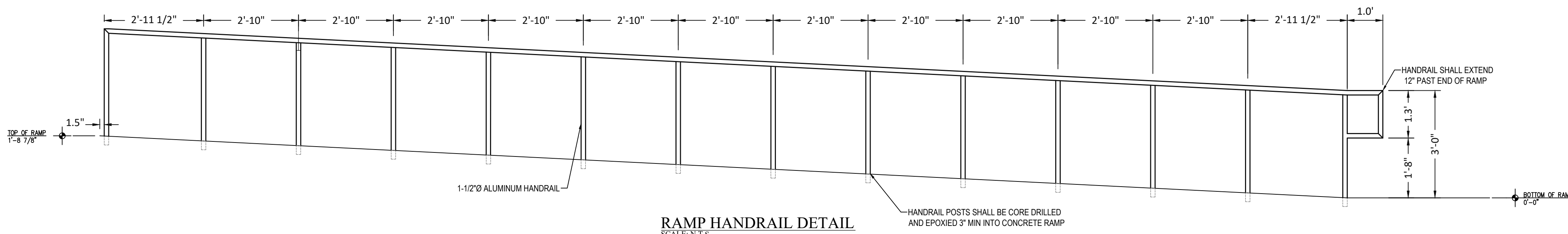
DETROIT AVENUE 66' R/W

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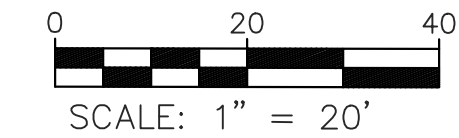


ACCESSIBLE PARKING SIGN



RAMP HANDRAIL DETAIL
 SCALE: N.T.S.

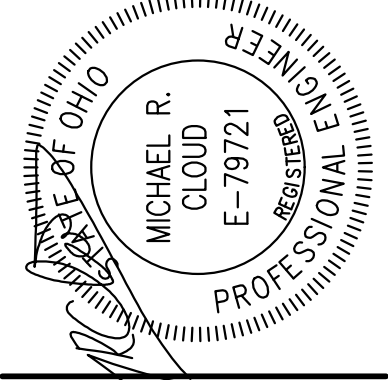
SITE PLAN



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SITE PLAN

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