



City of Lakewood
Board of Building Standards • Architectural Board of
Review • Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
EAST CONFERENCE ROOM
APRIL 3, 2025
4:00 P.M.

REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
APRIL 10, 2025
5:30 P.M.

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MARCH 13, 2025 MEETING
3. OPENING REMARKS

OLD BUSINESS

SIGN REVIEW

- | | |
|------------------------|--|
| 4. Docket No. 03-20-25 | 14239 Detroit Ave.
Pure Puff Smoke Shop |
| () Approve | Shadi Almikdad |
| () Deny | Neon & Signs |
| () Defer | 10505 Berea Rd.
Cleveland, OH 44102 |

Applicant proposes one illuminated sign in sign band. (Page 5)

ARCHITECTURAL BOARD OF REVIEW

5. Docket No. 12-119-24 (C) 16306 Detroit Ave.
Jersey Mike's Subs

() Approve Steven Minnich
() Deny NE OHIO Subs LLC
() Defer 63 S. Harding Rd.
Columbus, OH 43209

Applicant proposes a fenced outdoor dining area on the patio. (Page 9)

REQUEST FOR MODIFICATIONS

6. Docket No. 11-94-23 (C) 12534 Lake Ave.
Shady Cove Townhouses

() Approve Tyler Brummett
() Deny Brookside Shady LLC
() Defer 716 University Court
Cleveland, OH 44113

Applicant proposes modifications to the January, 11, 2024 approval for the development of 16 townhouses (now proposing 10 townhouses). (Page 38)

NEW BUSINESS

SIGN REVIEW

7. Docket No. 04-25-25 15620 Detroit Ave.
Revelations Building

() Approve Taylor Hannah
() Deny L3 Sign & Image
() Defer 212 Warden Ave.
Elyria, OH 44035

Applicant proposes illuminated tenant sign on the front, side, and rear of the building. (Page 61)

8. Docket No. 04-26-25 14414 Detroit Ave.
Ethlete Lab Academy

() Approve Abby Ayers
() Deny Ethlete Lab Academy
() Defer 14414 Detroit Ave., Basement Unit
Lakewood, OH 44107

Applicant proposes a wall sign and a blade sign. (Page 70)

9. Docket No. 04-27-25

**17106 Detroit Ave.
Couth**

- Approve
- Deny
- Defer

Marchila Benn
Couth Space
17106 Detroit Ave.
Lakewood, OH 44107

Applicant proposes back-lit metal letters in the sign band. (Page 77)

10. Docket No. 04-28-25

**1360 W. 117th St.
Flower Child Vintage**

- Approve
- Deny
- Defer

Stephen Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes two wall signs (one new and one relocated from previous store). (Page 83)

11. Docket No. 04-29-25

**15023 Madison Ave.
The Fruit Stand**

- Approve
- Deny
- Defer

Natalie Bottomley
NRKA Corp. Db a Fastsigns 223201
1100 W. Royalton Rd., Suite A
Broadview Heights, OH 44147

Applicant proposes illuminated channel letters mounted to raceway and two capsule signs. (Page 87)

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 04-30-25

(R)

1464 Riverside Dr.

- Approve
- Deny
- Defer

Gary R. Fischer
Fischer & Associates Architects Inc.
554 W. 9th St.
Lorain, OH 44052

Applicant proposes the construction of a new home with attached garage. (Page 93)

13. Docket No. 04-31-25

(R)

1069 Sylvan Ave.

- Approve
- Deny
- Defer

David Maddux
The Arcus Group
1244 Smith Ct.
Rocky River, OH 44116

Applicant proposes a front porch addition/renovation and rear dormer addition. (Page 124)

14. Docket No. 04-32-25

(C)

**11810-11818 Madison Ave.
RISE Dispensary**

- Approve
- Deny
- Defer

Jonathan Ziegen
Osborn Engineering
1111 Superior Ave. E., Suite 2100
Cleveland, OH 44114

Applicant proposes façade renovations and parking lot approval. (Page 132)

15. Docket No. 04-33-25

(R)

17852 Lake Rd.

- Approve
- Deny
- Defer

David Maddux
The Arcus Group
1244 Smith Ct.
Rocky River, OH 44116

Applicant proposes an exterior renovation and addition to existing Tudor home. (Page 154)

ADJOURN

"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nocht at (216) 529-5906 michelle.nochta@lakewoodoh.gov."



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 03-20-25

Permit No.: BBS25-000015

Applicant Name: Shadi Almikdad, Neon & Signs

Project Address: 14239 Detroit Ave.

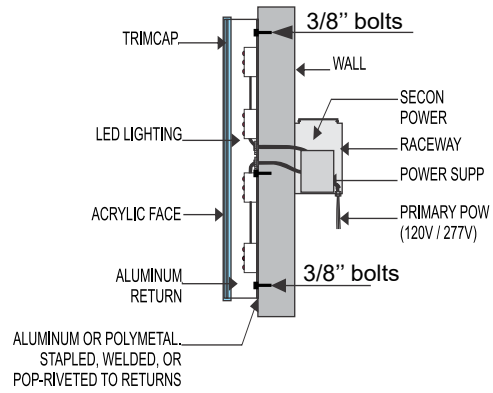
Project Name: Pure Puff Smoke Shop

Project: Applicant proposes three illuminated signs in sign bands with digital graphics.





FLUSH MOUNT INTERNALLY LIT
LED CLOUD SIGN MOUNTED ON
BLACK BACKER ALL TEXT TO BE WHITE
AND BLUE BACK GROUND
CABINET IS 5" DEEP
WHITE RETURNS
1" TRIM CAP
WHITE LEDS



THIS SIGN SHALL REMAIN THE PROPERTY OF NEON & SIGNS UNTIL FULLY PAID FOR.

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF NEON AND SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITH OUT WRITTEN CONSENT FROM NEON AND SIGNS

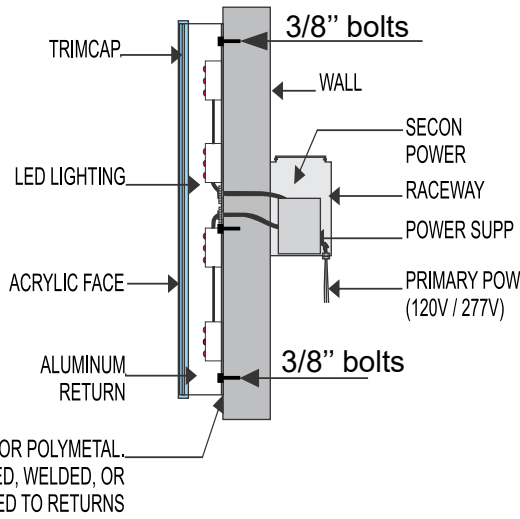
SCALE: 1:16

DATE: 3-14-25

SALES: Shadi Mikdad



FLUSH MOUNT INTERNALLY LIT
 LED CLOUD SIGN MOUNTED ON
 BLACK BACKER ALL TEXT TO BE WHITE
 AND BLUE BACK GROUND
 CABINET IS 5" DEEP
 WHITE RETURNS
 1" TRIM CAP
 WHITE LEDS



ALUMINUM OR POLYMETAL
 STAPLED, WELDED, OR
 POP-RIVETED TO RETURNS

THIS SIGN SHALL REMAIN THE PROPERTY OF
 NEON & SIGNS UNTIL FULLY PAID FOR.

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO
 VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY
 OF NEON AND SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITH OUT WRITTEN CONSENT FROM NEON AND SIGNS

SCALE: 1:16
 DATE: 3-14-25
 SALES: Shadi Mikdad



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 12-119-24

Permit No.: BBS24-000137

Applicant Name: Steven Minnich, NE OHIO Subs LLC

Project Address: 16306 Detroit Ave.

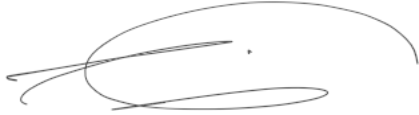
Project Name: Jersey Mike's Subs

Project: Applicant proposes a fenced outdoor dining area on the patio.

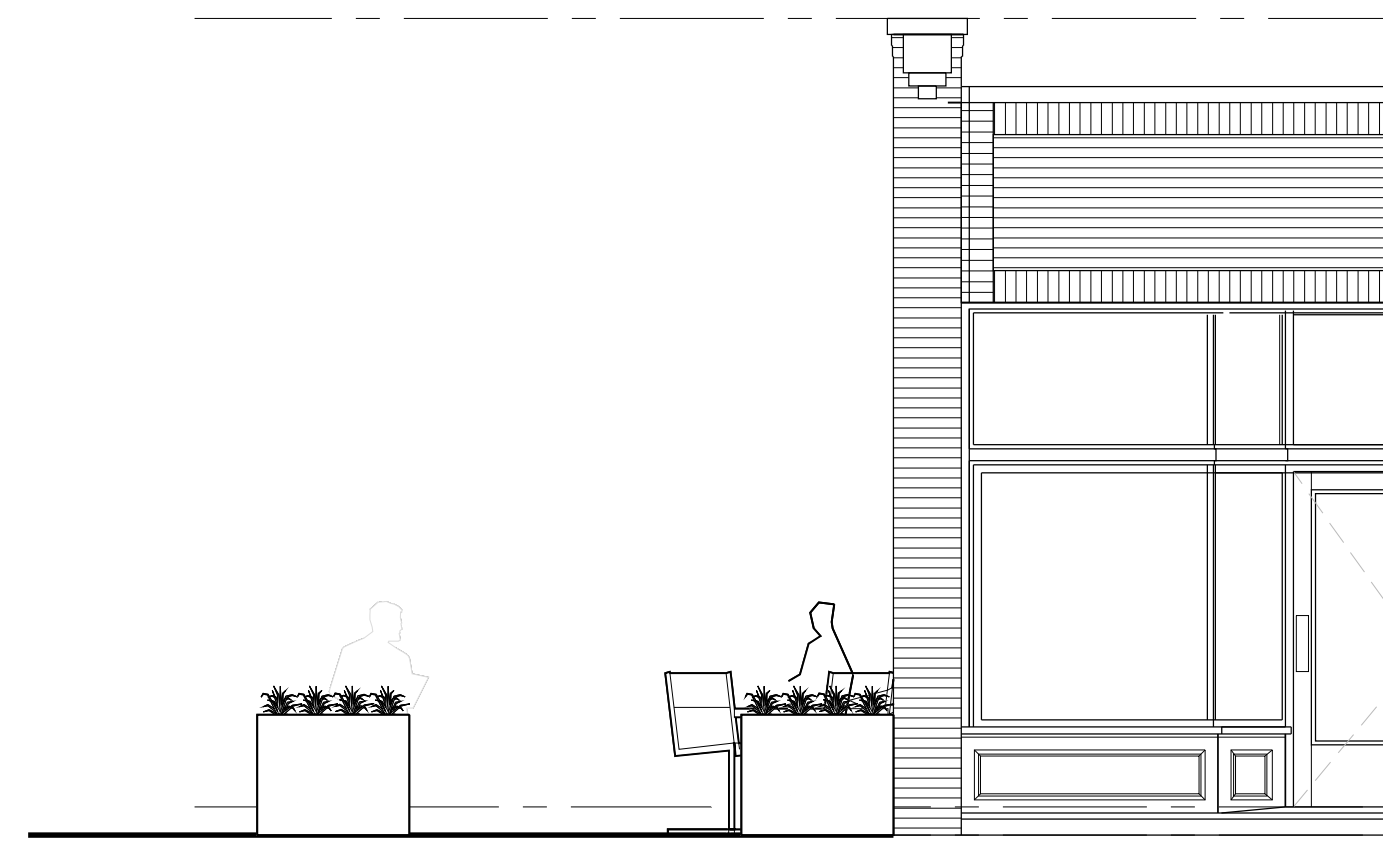
9/12/2024
RE; Jersey Mikes

I, Frank Scalish, owner of 16306 Detroit Avenue, hereby grant permission to the applicant to pursue the conditional use permit.

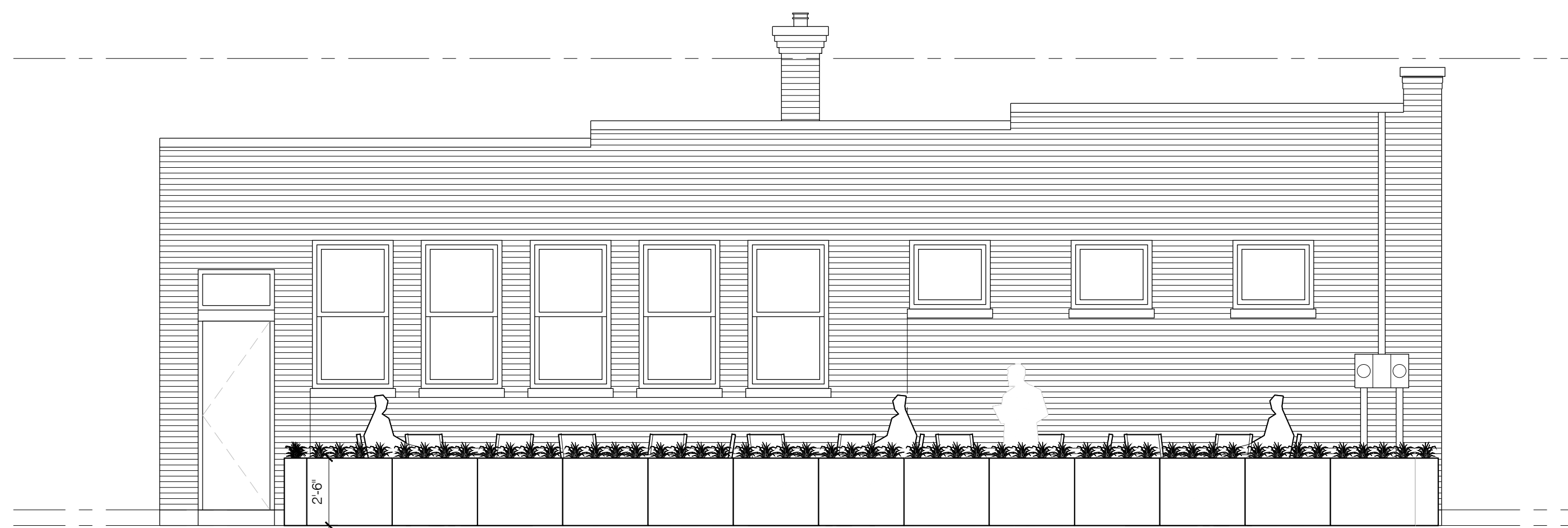
Thank you,

A handwritten signature in black ink, consisting of several overlapping loops and a horizontal line, positioned below the text "Thank you,".

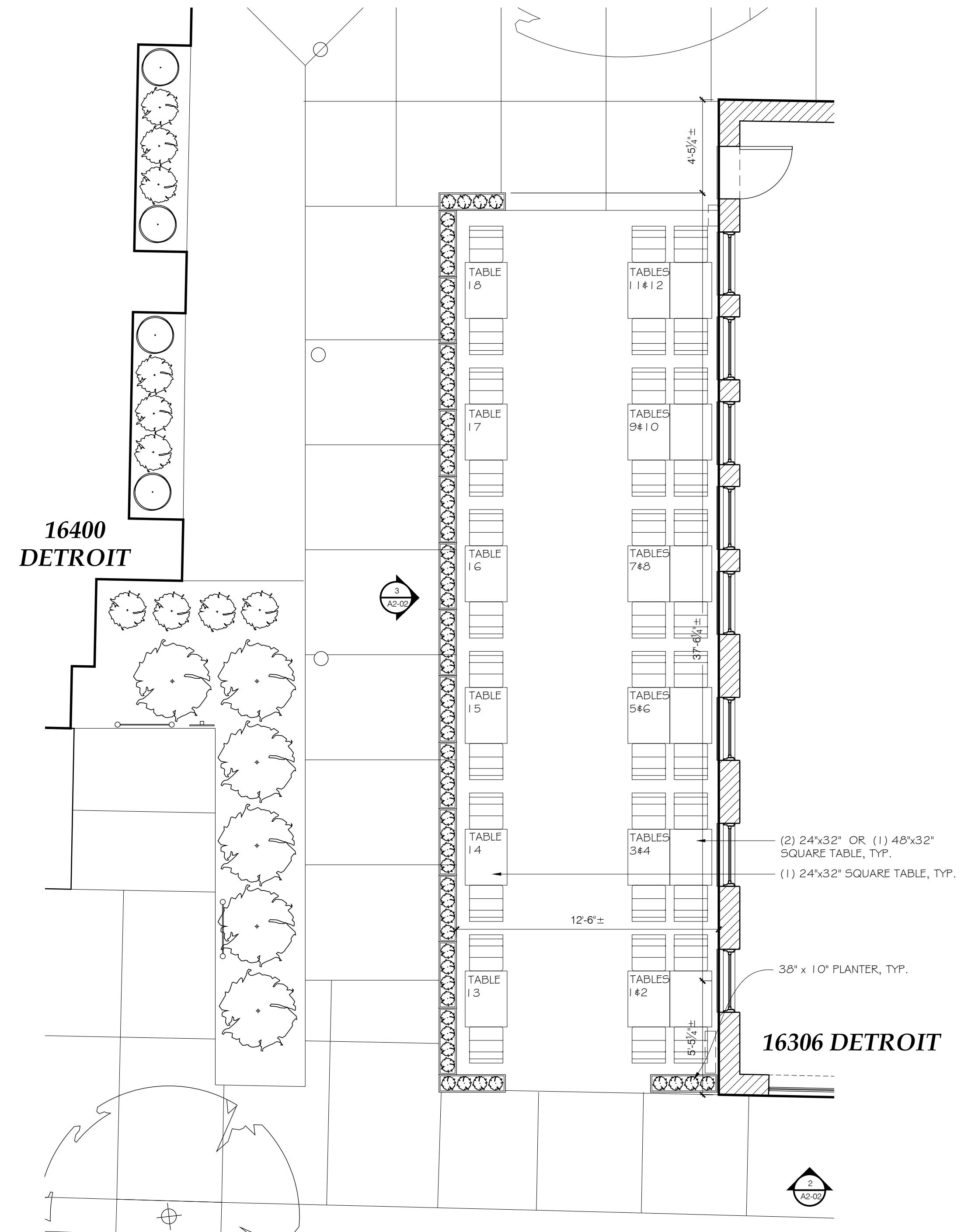
Frank Scalish



3 STOREFRONT BUILDING
SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 STOREFRONT BUILDING
WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

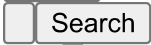


1 STOREFRONT BUILDING
GROUND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

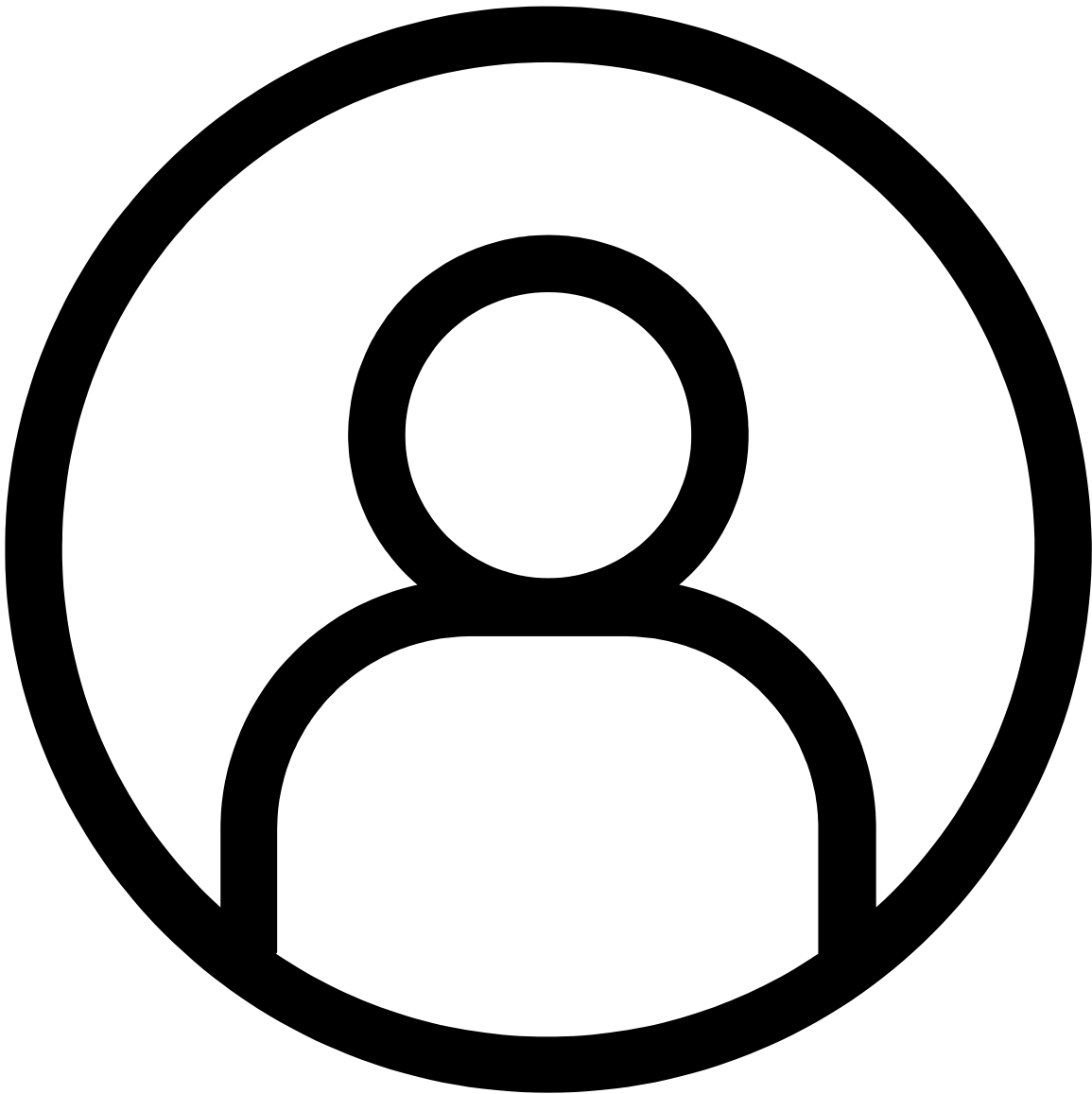
[Skip to Main Content](#)



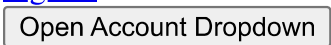
Menu



ALLMODERN



[Sign In](#)





•



•





6 FT



- **Strong Built 66 Pounds** 
- **Removable Shelf**
- **Suitable for Various Plants**
- **Quickly Complete Planting**
- **Drainage Hole**



30"

10"

38"





•



•

1
THICKENED
GALVANIZED STEEL

2
ADVANCED SEAM
WELDING TECHNOLOGY

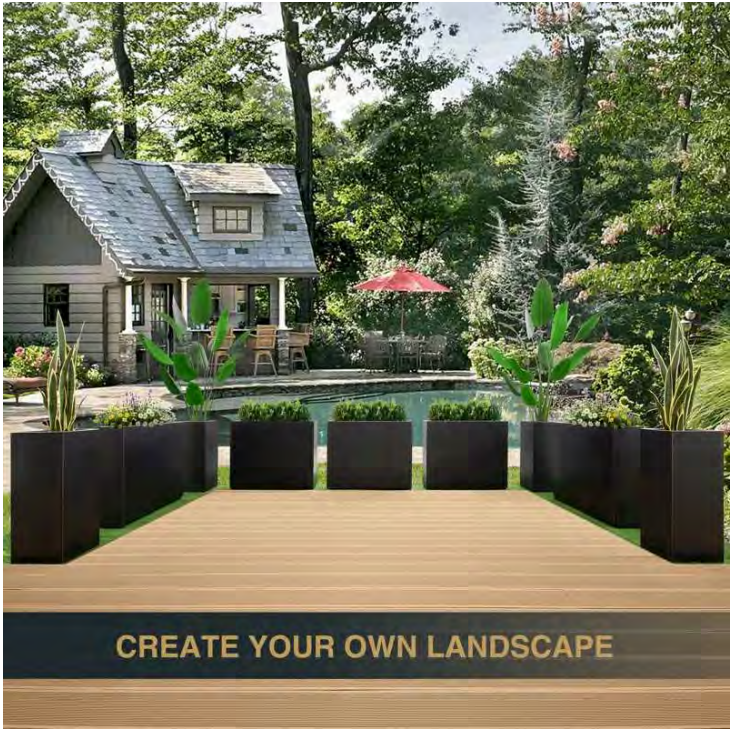
3
OUTDOOR SPECIAL
BAKING PAINT

4
STRICT
ACID TREATMENT

5
HAND BRUSHED
BRONZE EDGE

6
SMOOTH SURFACE
WITH SPECIAL
METALLIC TEXTURE

MATERIAL AND FINISH



•

HOTEL / RESTAURANT DÉCOR



MULTIPLE COMMERCIAL USE

•



Bring Nature Home And Keep It There.

•



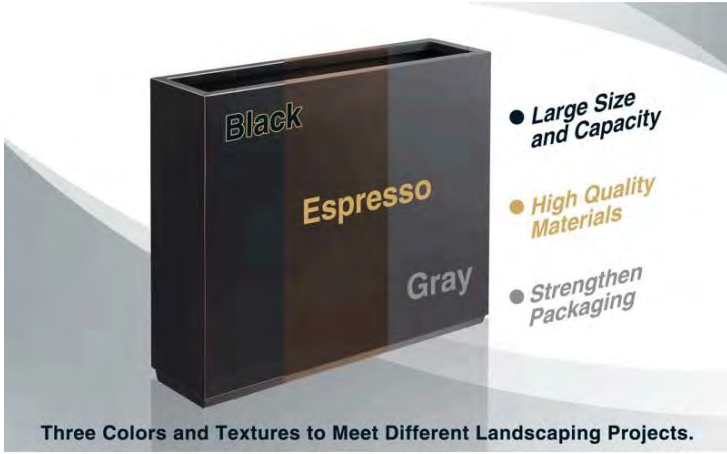
*Perfect Divider for Adding Privacy
Creat Different Ways of Space Use*

•



 **Weather
Resistant**  **Anti-
Corrosion**  **Crack
Proof**  **Rust
Prevention**

•



•



Why Us ?

- *Heavy and Sturdy*
- *Thick and Hard to Deform*
- *Exquisite Workmanship*
- *Strong Packaging*

•

What are you looking for?

plus Unlock Savings with FREE Shipping! > **rewards** Earn 3% Back* & Save on Plus >

WebrestaurantStore > Commercial Furniture > Restaurant Furniture > Commercial Outdoor Furniture > Outdoor Restaurant Tables > Commercial Outdoor Table & Chair Sets > Lancaster Table & Seating 32" x 48" Yellow Powder-Coated Aluminum Standard Height Outdoor Table with Umbrella Hole and 4 Arm Chairs

Lancaster Table & Seating 32" x 48" Yellow Powder-Coated Aluminum Standard Height Outdoor Table with Umbrella Hole and 4 Arm Chairs
Item #: 4273248DA4YL

★★★★★ [Read 1 review](#) | [1 answered question](#)



Only
\$509.00/Each

4 interest-free payments of \$127.25 [Prequalify >](#)

Credit Key

Discounted shipping with **plus**

1

Earn up to \$15.27 back (1,527 points)
with a [Webrestaurant Rewards Visa® Credit Card](#)

Color: Yellow



Yellow

Black

Blue

Green

Matte Gray



Quick Shipping

Usually ships in **1 business day**

Product Overview

- ✓ Made for use on outdoor patios and bar areas
- ✓ Powder-coated aluminum construction is lightweight, durable, and resistant to corrosion
- ✓ Smooth surface with yellow color creates a bright and lively outdoor atmosphere
- ✓ UV-resistant finished so that color will not fade over time
- ✓ Chair has a seating capacity of 300 lb.

UPC Code:

400015694285



LANCASTER™

TABLE & SEATING

[View all Lancaster Table & Seating Commercial Outdoor Table & Chair Sets](#)

Works With

 <p>Lancaster Table & Seating Replacement Glide \$1.99/Pack</p> <p>1 Add to Cart</p>	 <p>FLAT Tech Equalizers M8 Thread Black Table \$22.99/Pack</p> <p>1 Add to Cart</p>	 <p>Lancaster Table & Seating Yellow Powder Coated Sale reg \$84.99 \$72.99/Each</p> <p>1 Add to Cart</p>	 <p>Lancaster Table & Seating Yellow Powder Coated Sale reg \$94.99 \$79.99/Each</p> <p>1 Add to Cart</p>	 <p>Lancaster Table & Seating Yellow Powder Coated Sale reg \$74.99 \$63.99/Each</p> <p>1 Add to Cart</p>
--	--	---	---	---

Items You Might Like

<p>Lancaster Table & Seating 32" x 32" Silver Powder-Coated Aluminum Dining Height</p>	<p>Lancaster Table & Seating 32" x 32" Black Powder-Coated Aluminum Bar Height Outdoor</p>	<p>Lancaster Table & Seating 32" x 32" Black Powder-Coated Aluminum Standard Height</p>	<p>Lancaster Table & Seating 32" x 32" Brown Powder-Coated Aluminum Dining Height</p>	<p>Lancaster Table & Seating Alloy Series 32" x 32" Nickel Gray Standard Height Outdoor Table</p>
--	--	---	---	---



Details

Allow your guests to enjoy the breezy summer weather with this Lancaster Table & Seating 32" x 48" yellow powder-coated aluminum standard height outdoor table with umbrella hole and 4 arm chairs! Designed specifically for outdoor use, this combo makes an excellent addition to restaurants, bar patios, and other outdoor entertainment areas such as banquets and luaus. Their lightweight construction allows you to easily move them around your outdoor setting for the best possible view. Your guests will love the opportunity to enjoy the temperate weather with the convenience and comfort of this table!

This table features a pedestal base that allows it to stand firm on your patio. Plus, it features a built-in umbrella hole so you can pair the table with a compatible umbrella (sold separately) to add shade at your restaurant or cafe. The table's standard height is perfect to let guests sit comfortably during their meal, while the chair's armrests create additional comfort. The slotted design allows for excellent airflow to keep guests cool while they dine. Its 300 lb. capacity brings strength and durability to the chair and your presentation.

Both this table and its chairs are made of powder-coated aluminum, which is durable enough to resist weather and corrosion. Their smooth surfaces feature a yellow color that's sure to induce a lively atmosphere and complement the warm summer sky. Thanks to its UV-resistant finish, the color won't fade over time when left in the sun for longer periods. Additionally, the chairs are stackable for simple storage! them on your patio and let your guests enjoy!

Table Dimensions:

Length: 48"

Width: 32"

Height: 30"

Umbrella Hole Diameter: 2"

Chair Dimensions:

Length: 17"

Width: 16"

Height: 32 1/2"

Seat Height: 19"

Capacity: 300 lb.

Specs	
Quantity	1/Each
Shipping Weight	75 lb.
Length	48 Inches
Width	32 Inches
Height	30 Inches
Seat Length	17 Inches
Seat Width	16 Inches
Chair Height	32 1/2 Inches
Height Style	Standard Height
Seat Height	19 Inches
Umbrella Hole Diameter	2 Inches
Arms	With Arms
Assembly Options	Assembly Required

Back	With Back
Chair Weight Capacity	300 lb.
Color	Yellow
Features	Umbrella Hole
Finish	Powder-Coated
Frame Material	Aluminum
Included Chairs	4 Chairs
Installation Type	Freestanding
Padded Seat	Without Padded Seat
Seat Material	Aluminum
Shape	Rectangle
Style	Arm Chair
Table Seating Capacity	4 Chairs
Tabletop Material	Aluminum
Type	Table / Chair Sets
Usage	Outdoor

⚠ Attention CA Residents: Prop 65 Warning >




Seating Capacity: 4

Four people can comfortably sit at this table.

Questions & Answers

Looking For Specific Info?

Get quick answers to product questions with our AI-powered search.

 Ask about this product

Ask

Frequently Asked Questions From Customers

Will the color of this product match what is shown in the picture?

We do our best to provide accurate images of our product's color and design using industry-standard, e-commerce lighting. However, the product's color may vary slightly due to your device screen settings and the lighting in your location.



Need Parts & Accessories?

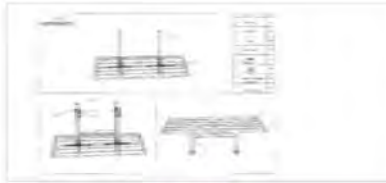
Shop replacement parts and accessories for this item today

[Find Parts for this Item](#)

Resources and Downloads



Specsheet



Instructions



Warranty



Use and Care



Compatibility Chart








Seating Capacity Guide

A PDF viewer is required to view this product's information. [Download Adobe Acrobat software](#)

Resources

[A Guide to Commercial Outdoor Furniture](#)

Related Items

 <p>Outdoor Restaurant Chairs</p> <p>529 Products</p>	 <p>Tables and Chair Sets</p> <p>636 Products</p>	 <p>Commercial Picnic Tables</p> <p>190 Products</p>	 <p>Shop All Lancaster Table & Seating Parts</p> <p>225 Products</p>	 <p>Outdoor Table Umbrellas and Bases</p> <p>232 Products</p>	
---	---	--	--	--	--

Customer Reviews

5.0

★★★★★

1 Customer Reviews

5 ★	1
4 ★	0
3 ★	0
2 ★	0
1 ★	0

Frequently Mentioned

according needsi order place price quality

Sort By

Most Helpful

★★★★★

Donald W.
Posted on 12/21/2023
 Verified Purchase

Color: Seafoam

the quality and the price are according to my needs..i would like to place order again in future.

1 out of 1 found this review helpful

Leave a review of this product!

Customers can receive promotional credit when they post reviews.

[Login or Register](#)

Find Related Products

[30 inch round table](#)

[4 oz cups and lids](#)

[60 inch round table](#)

[folding table 36 inch height](#)

[prep table shelves](#)

[table top cooler](#)

Enter your email to get latest deals & more!

[Sign Up](#)

plus

Unlock Savings with FREE Shipping

No commitment, cancel at anytime.

[Start saving with Plus](#)



WebstaurantStore App

It's faster & easier in the app.

[Learn more about our App](#)



As the largest online restaurant supply store, we offer the best selection, best prices, and fast shipping to keep your business functioning at its best.

[Services](#)

[Resources](#)

[About](#)

Get Quick Help

Help Center

[Track my Order](#)

[Chat Online](#)

[Shipping & Delivery](#)

[Terms of Sale](#)

[Privacy Policy](#)

[Terms of Use](#)

[Accessibility Policy](#)

[Do Not Sell My Personal Information](#)



Compatibility Chart



Use and Care








Seating Capacity Guide

A PDF viewer is required to view this product's information. [Download Adobe Acrobat software](#)

Resources

[A Guide to Commercial Outdoor Furniture](#)

Related Items

 <p>Outdoor Restaurant Chairs</p> <p>529 Products</p>	 <p>Tables and Chair Sets</p> <p>636 Products</p>	 <p>Commercial Picnic Tables</p> <p>190 Products</p>	 <p>Shop All Lancaster Table & Seating Parts</p> <p>225 Products</p>	 <p>Outdoor Table Umbrellas and Bases</p> <p>232 Products</p>
---	---	--	--	--

Customer Reviews

3.0

☆☆☆★☆☆

2 Customer Reviews

5 ★	1
4 ★	0
3 ★	0
2 ★	0
1 ★	1

Frequently Mentioned

tables great wash assembled between chairs color comfortably condiment constantly

Sort By

Filter By Color

Most Helpful

All Options



Christine C.

Posted on 09/24/2024

Verified Purchase

Color: White

All tables have broken and are still wobbly even after we removed the bottoms. Also not sure what they were thinking with the slatted top because food get stuck in them constantly. The only way to properly wash them is to power wash them in between which we don't want to regularly do.


Thank you for your review, Christine! We would like to gather more information about your experience with this outdoor table and chairs. A Customer Solutions Representative will contact you soon!

WebstaurantStore Customer Solutions



Kim W.

Posted on 05/29/2023

 Verified Purchase

Color: Yellow

Great table set! We purchased five for our new restaurant's outdoor seating. Light weight for team to take in and out but very durable. Fits two guest comfortably with condiment holder. Paint is a nice sheen and I would say yellow goes a little more deeper (think French's mustard) than lemon but it works great with our color scheme. Chairs came assembled and tables went together with some work. The legs do have levelers. Highly recommend.



Customer Photos & Videos



Leave a review of this product!

Customers can receive promotional credit when they post reviews.

[Login or Register](#)

Find Related Products

[30 inch round table](#)

[60 inch round table](#)

[folding table 36 inch height](#)

[prep table shelves](#)

[table top cooler](#)

[table top deep fryer](#)

Enter your email to get latest deals & more!

[Sign Up](#)



Unlock Savings with **FREE Shipping**

No commitment, cancel at anytime.

[Start saving with Plus](#)



WebstaurantStore App

It's faster & easier in the app.

[Learn more about our App](#)



As the largest online restaurant supply store, we offer the best selection, best prices, and fast shipping to keep your business functioning at its best.

Services

Resources

About

Get Quick Help

Help Center

Track my Order

[Chat Online](#)

[Shipping & Delivery](#)

[Terms of Sale](#)

[Privacy Policy](#)

[Terms of Use](#)

[Accessibility Policy](#)

[Do Not Sell My Personal Information](#)

© 2025 The WEBstaurant Store, LLC - All Rights Reserved.

Variation ID:



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 11-94-23

Permit No.: BBS24-000100

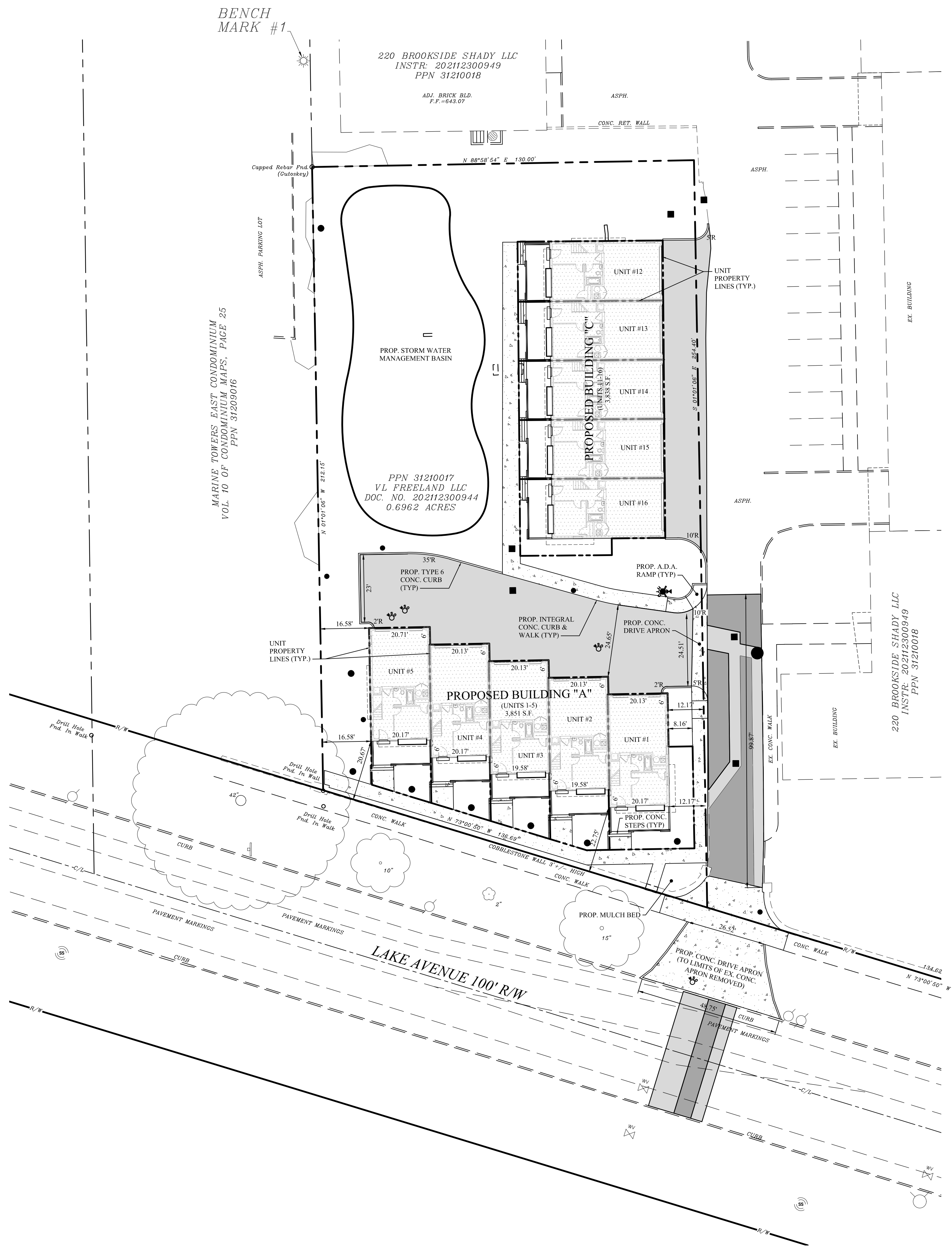
Applicant Name: Tyler Brummett, Brookside Shady LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Grove Townhouses

Project: Applicant proposes modifications to the January, 11, 2024 approval for the development of 16 townhouses (now proposing 10 townhouses).

C:\Revised Work\Civil_3D Projects\2024\2023-252 Shady Cove Lakewood Townhomes\Draw\2023-252 Site01 (K).DWG 2/13/2025 6:09:54 PM



MARINE TOWERS EAST CONDOMINIUM VOL. 10 OF CONDOMINIUM MAPS, PAGE 25 PPN 31209016

220 BROOKSIDE SHADY LLC INSTR: 202112300949 PPN 31210018

PPN 31210017 VL FREELAND LLC DOC. NO. 202112300944 0.6962 ACRES

220 BROOKSIDE SHADY LLC INSTR: 202112300949 PPN 31210018

SITE BENCH MARK
BENCH MARK #1
DESCRIPTION
MAG NAIL SET 1" UP ON SOUTH SIDE OF LIGHT POLE
LOCATED NORTH OF THE NW. PROPERTY CORNER.
ELEVATION = 644.53

WEBER ENGINEERING SERVICES
Where Strong Relationships & Superior Service Guide Your Project

2555 Hartville Rd., Suite B
Roostown, OH 44272
www.WeberEngineeringServices.com
330-329-2037
matt@webercivil.com

STATE OF OHIO
MATTHEW WEBER
61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

RDL ARCHITECTS

21111 CHAGRIN BLVD., #110
BEACHWOOD, OHIO 44122
216.752.4300

OWNER:

VL FREELAND LLC

P.O. BOX 30339
MIDDLEBURG HEIGHTS, OH
44130

SHADY COVE TOWNHOMES
NEW CONSTRUCTION
12534 LAKE AVE, LAKEWOOD, OH

Issue Date
02-17-2024
02-26-2024
03-04-2024
03-05-2024
04-25-2024
06-17-2024
07-31-2024
08-12-2024
02-13-2025

SITE DATA

USE DISTRICT	= MH (RESIDENTIAL, MULTI FAMILY, HIGH DENSITY)
SITE AREA	= (0.6962 AC.)
PROP. BUILDING AREA	= 7,689 S.F. (TOTAL FOOTPRINT)
BUILDING SETBACKS:	
FRONT YARD	= 50' (75% OF BLDG. HT., FROM STREET C/L) OR "BUILDING LINE MAP VALUE
SIDE YARD	= 33' (75% OF BLDG. HT.)
REAR YARD	= 50' (75% OF BLDG. HT.)

FLOOD ZONE

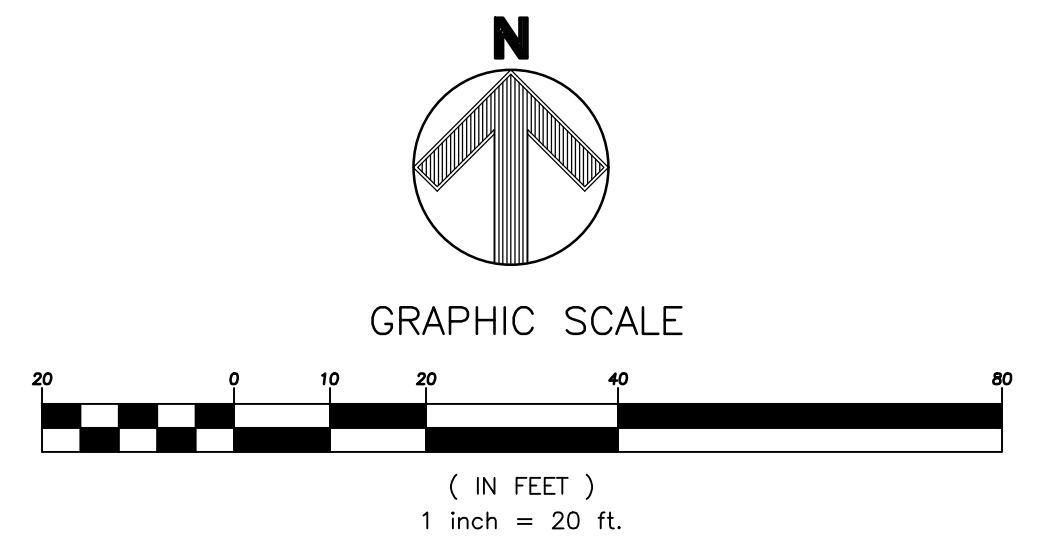
FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP NUMBER 39035C 0157 F
COMMUNITY PANEL NUMBER 39035 0157 F
EFFECTIVE DATE SEPTEMBER 15, 2019

LEGEND

- REGULAR DUTY ASPHALT
- ASPHALT RESURFACING
- CONCRETE PAVING

ITALICS TEXT REPRESENTS EXISTING CONDITION
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

ACCESS NOTE:
CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT GARAGES AND PARKING AREAS FROM LAKE AVENUE AT ALL TIMES.



SITE PLAN

C102
Project No. 2023-252

LAKEWOOD TOWNHOMES

ADDRESS: 12534 LAKE AVE, LAKEWOOD, OH

The Lakewood Townhome project proposes for sale residential urban living on Lakewood's Gold Coast. The site is the nexus of three urban conditions:

1. Lakewood's famous mid-century high-rises,
2. Nearby historic colonial revival, art deco, and mid-century mid-rises,
3. And the beautiful historic homes that line Lake Avenue as it moves west.

The townhouse concept brings together elements of all three urban conditions with a new element that melds the other three. The townhouses together relate to the massing and site placement of the mid-rises to the east, they reflect the architectural styling of the high-rises to the north that serve as a backdrop when viewed from Lake Avenue, and in use they match the single-family private ownership of the houses to the south.

The site and urban design proposed will increase the walkability and livability of the Gold Coast by creating context that is human scaled, friendly to the street, and fills the existing void between Lake Avenue and Edgewater Drive.

23138S 04.10.25

LAKEWOOD TOWNHOMES | LAKEWOOD OHIO |

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



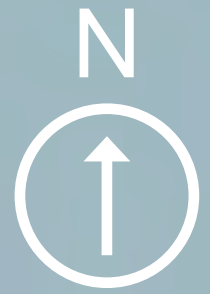


23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE LOCATION MAP

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





MID-CENTURY
HIGH-RISE
CONTEXT



23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



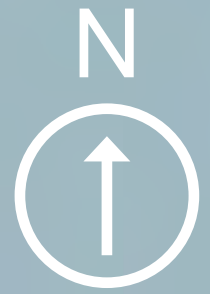


23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT HIGH-RISE

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





MID-CENTURY
HIGH-RISE
CONTEXT

HISTORIC
COLONIAL REVIVAL
ART DECO
MID-RISE
CONTEXT

LAKE AVE

EDGEWATER DR

COVE AVE

COVE AVE

CLIFTON BLVD

W 117TH ST

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT MID-RISE

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



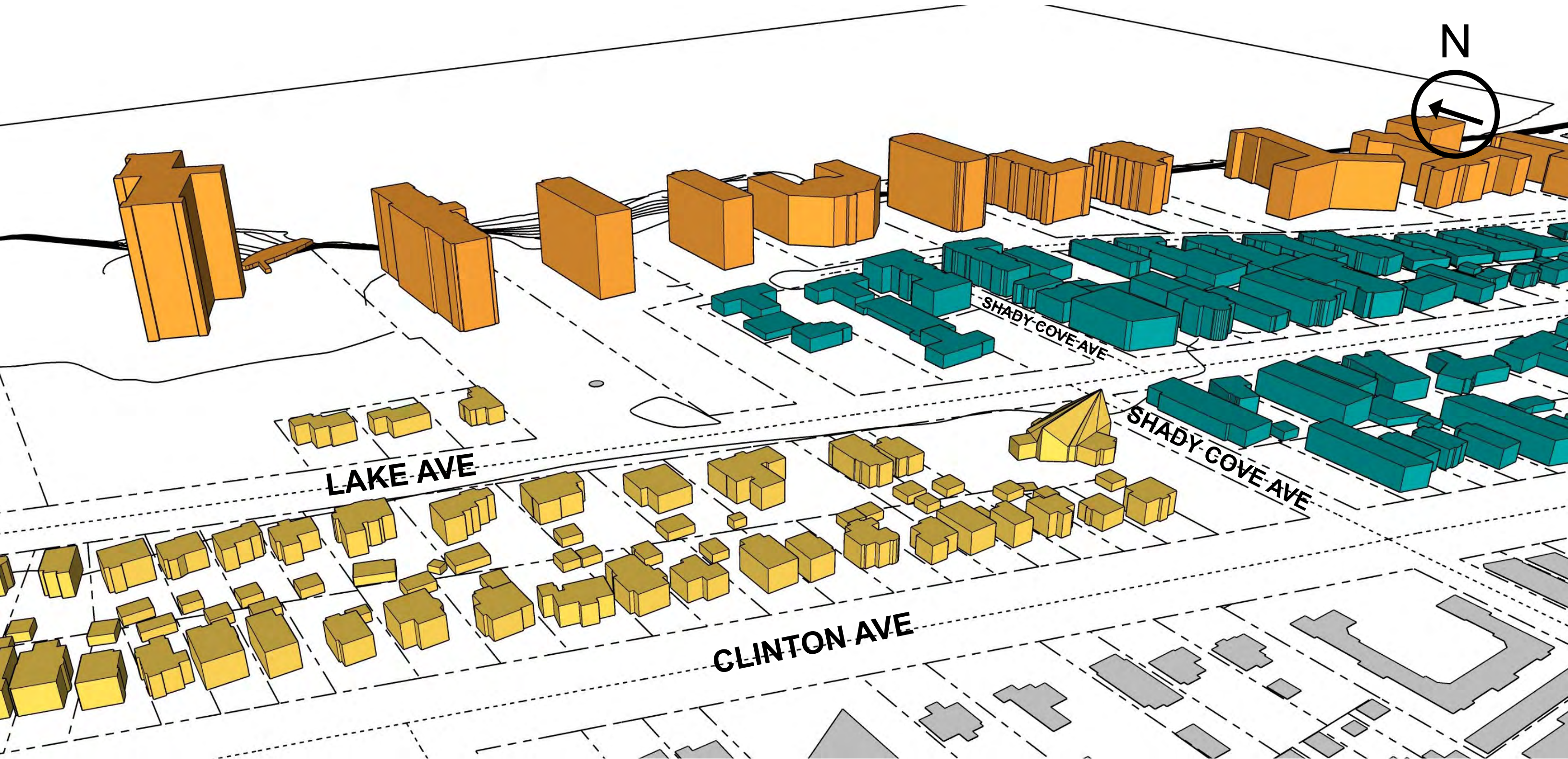


23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT MID-RISE

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



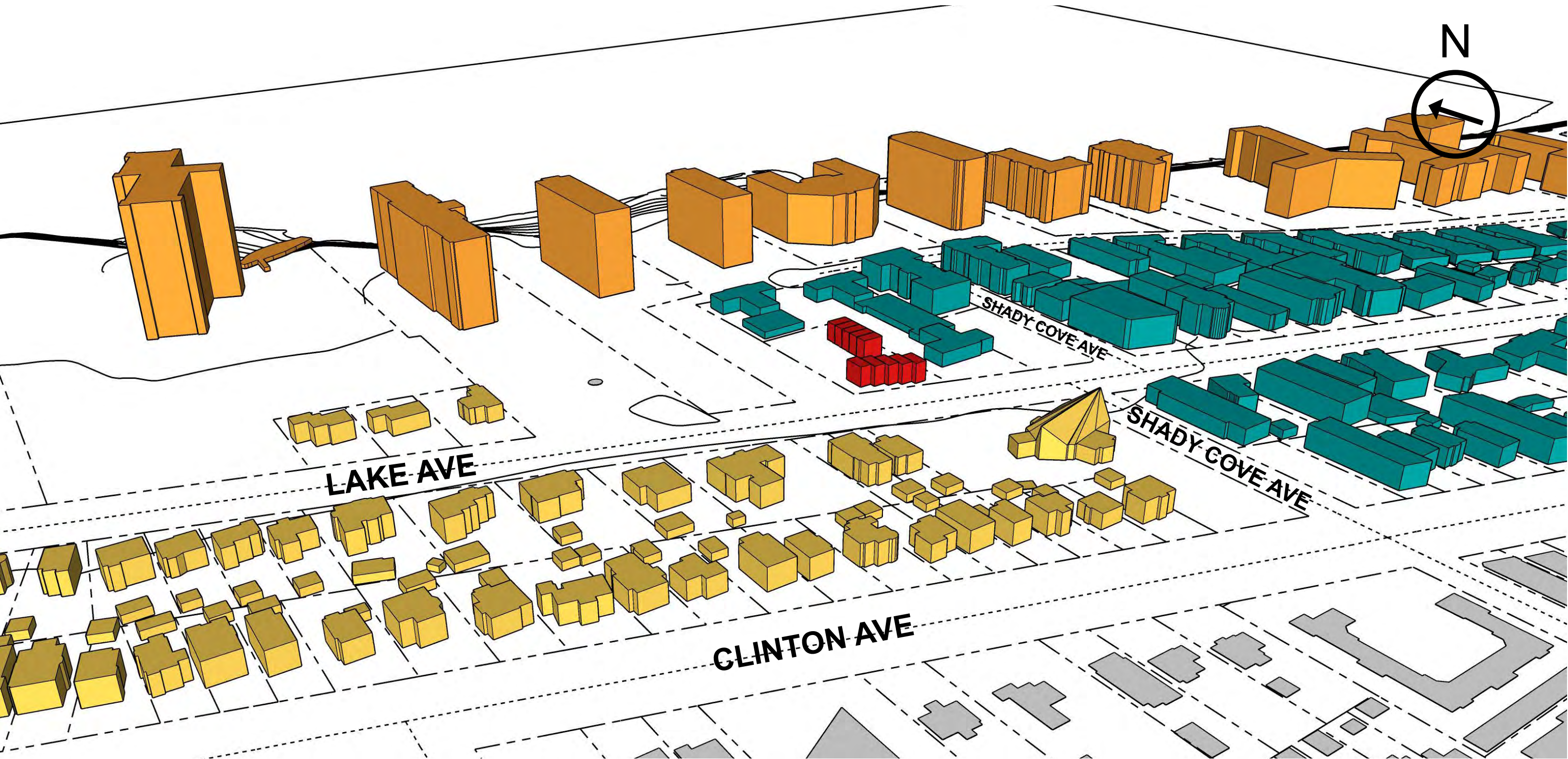


23138S 04.10.25

LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | CONTEXT VOLUME STUDY

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





23138S 04.10.25

LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | CONTEXT VOLUME STUDY

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | IMMEDIATE CONTEXT

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





SITE DATA

ZONING

MH –RESIDENTIAL,
MULTI-FAMILY (HIGH
DENSITY)

ACREAGE PROPOSED USE

+/- 0.70-AC (30,315-SF)
SINGLE-FAMILY
RESIDENTIAL

BUILDING FOOTPRINT BUILDING TOTAL SF BUILDING HEIGHT

+/- 800 SF
+/- 2,000 SF
36' (3 STORIES)
43' (ROOF ACCESS)

PARKING

2 SPACES / DU

FRONT YARD SETBACK

R. 50'-0" P. 20'-0"

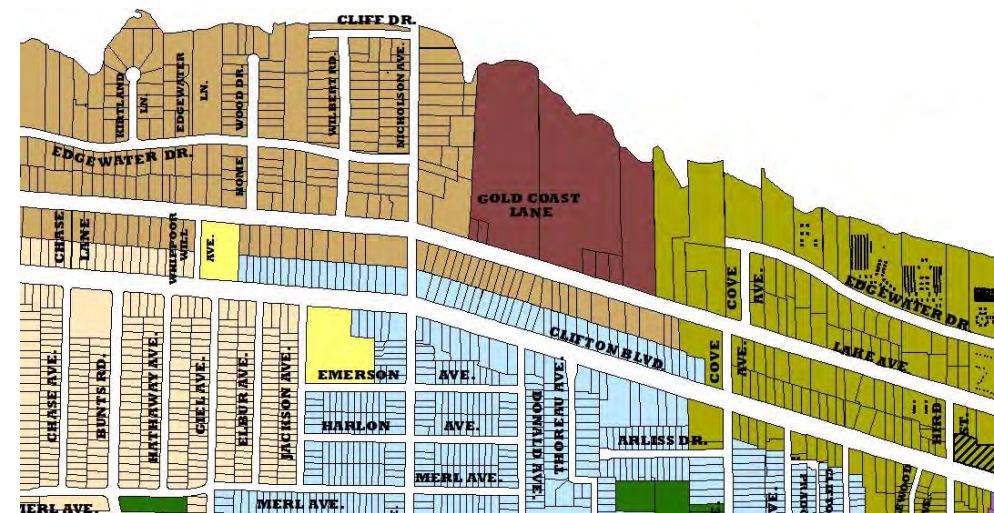
SIDE YARD SETBACK

R. 20'-0" P. 13'-2"W, 11'-6" E

REAR YARD SETBACK

R. 50'-0" P. 7'-6"

-  Mixed Use Overlay
-  MH - Residential, Multi-Family (High Density)
-  ML - Residential, Multi-Family (Low Density)
-  R1H - Residential, Single Family (High Density)
-  R1M - Residential, Single Family (Medium Density)
-  R1L - Residential, Single Family (Low Density)
-  R2 - Residential, Single and Two Family



23138S 04.10.25

LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | PR. SITE PLAN & DATA

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





- ① SIDEWALK CONNECTIONS
- ② FRONT YARDS
- ③ COMMUNITY SEATING AREAS
- ④ GREENSPACE

23138S 04.10.25

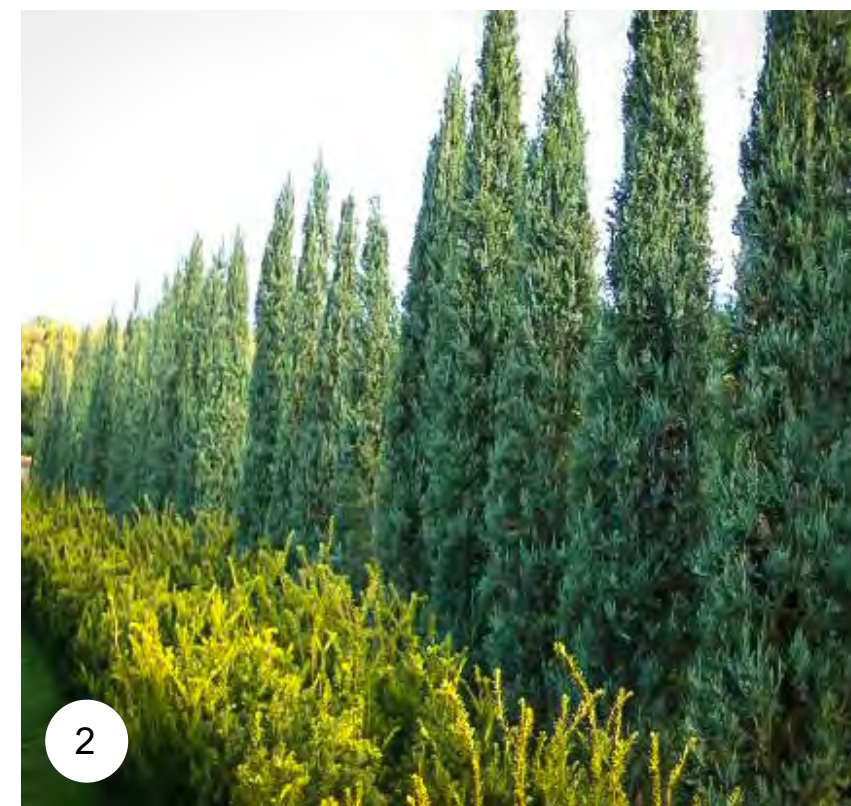
LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE PLAN CONCEPT

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





WHITE SPIRE BIRCH



SKY ROCKET JUNIPER



ANGELINA SEDUM



IVORY HALO RED TWIG
DOGWOOD



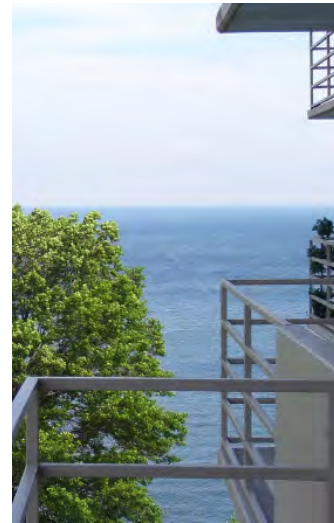
GREEN MOUNTAIN
BOXWOOD

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | LANDSCAPE DESIGN

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | ARCH. INSPIRATION

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





WEST ELEVATION

SCALE: 1/16" = 1'-0"



EAST ELEVATION

SCALE: 1/16" = 1'-0"

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE ELEVATIONS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





SOUTH ELEVATION - LAKE AVE. BLDG

SCALE: 1/8" = 1'-0"

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | LAKE AVE SOUTH EL.

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





ROOF
42'-0"

PARAPET
38'-7 1/8"

ROOF DECK
34'-1 1/8"

THIRD FLOOR
21'-7 3/4"

SECOND FLOOR
11'-3 7/8"

FIRST FLOOR
1'-0"

EAST ELEVATION - LAKE AVE. BLDG

SCALE: 1/8" = 1'-0"

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | LAKE AVE EAST EL.

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





ROOF
42'-0"

PARAPET
38'-7 1/8"

ROOF DECK
34'-1 1/8"

THIRD FLOOR
21'-7 3/4"

SECOND FLOOR
11'-3 7/8"

FIRST FLOOR
1'-0"

NORTH ELEVATION - LAKE AVE. BLDG

SCALE: 1/8" = 1'-0"

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | LAKE AVE NORTH EL.

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





WEST ELEVATION - LAKE AVE. BLDG

SCALE: 1/8" = 1'-0"

23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | LAKE AVE WEST EL.

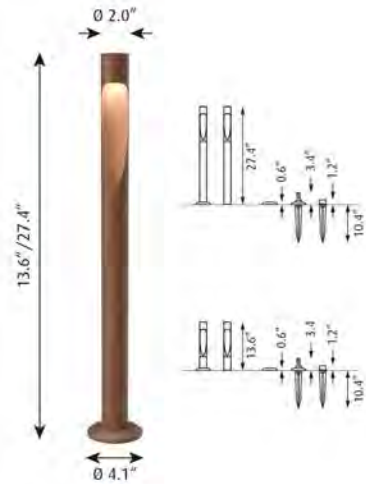
The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



louis poulsen

FLINDT GARDEN BOLLARD

Designed by Christian Flindt



23138S 04.10.25

LAKWOOD TOWNHOMES | LAKEWOOD OHIO | FF&E

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.







Du Mor

FREELAND
VENTURES 

RDL
ARCHITECTS



Key Features

-  Dimmable
-  OK For Outdoor Use
-  Contract Grade

Whether inside or outside, the Vue LED Indoor/Outdoor Wall Sconce by Hinkley Lighting provides a versatile, minimalist solution for your lighting needs. Its design is tall and slim, made out of finished Aluminum and Acrylic, and contains an integrated LED light source which elicits a warm, encompassing spill once lit. Can be installed horizontally or vertically depending on need.

Cleveland-based Hinkley is driven by a passion to combine design and function to create exceptional lighting solutions. Family-owned Hinkley began as a traditional lantern company in 1922, and, still today, they produce top quality outdoor lighting. Hinkley has also expanded to include a full range of interior lighting solutions, including chandeliers, sconces, pendants and vanity lights.

Details:

- Versatile, minimalist design
- Integrated LED light source
- Can be installed horizontally or vertically
- Material: Aluminum
- Dimmable: Yes
- Location Rating: ETL Listed Wet
- ADA Compliant: This design satisfies the requirements of the Americans with Disabilities Act.
- Title 24 Compliant: This design is compliant with California's expansive Title 24 energy use regulations.
- OK for Outdoor Use
- Made In China

Lamp Type	LED Built-in	Color Temp	2700 (Warm)
Total Lumens	1200	CRI	90
Total Watts	15.00	Equivalent Halogen, CFL or LED Bulb Can Be Used	No
Volts	120		

Dimensions:

Small Option Backplate: Width 5", Height 6"

Small Option Fixture: Width 5", Height 14.75", Depth 3", Weight 2Lbs

Large Option Backplate: Width 5", Height 6"

Large Option Fixture: Width 5", Height 26", Depth 3", Weight 3.5Lbs

Compare Brightness:



23138S 04.10.25

LAKWOOD TOWNHOMES | LAKWOOD OHIO | FF&E

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-25-25

Permit No.: BBS25-000019

Applicant Name: Taylor Hannah, L3 Sign & Image

Project Address: 15620 Detroit Ave.

Project Name: Revelations

Project: Applicant proposes illuminated tenant sign on the front, side, and rear of the building.



Taylor Hannah <taylor@l3sign.com>

New Sign Design & Quote

Mary Costanzo <mary.costanzo@hotmail.com>
To: Hannah Taylor <taylor@l3sign.com>

Tue, Jan 7, 2025 at 10:25 AM

Hi I have samples, the bronze looks good. We will go with black letters. I will get all the tenants names together and send to you. Will you be able to give me the approximate price per tenant sign or is it the same per signs no matter what letters?

Mary A. Costanzo
Life is full of beauty

On Jan 3, 2025, at 12:22 PM, Mary Costanzo <mary.costanzo@hotmail.com> wrote:

Hi

[Quoted text hidden]

Gayle

15620 Detroit Ave - Parcel 31133020
ABR Sign Application

Full Parcel & Surrounding Parcels/Roads





15620 Detroit Ave
Parcel 31133020
ABR Sign Application


Close-Up of Parcel with
Measurements and Approx.
Location of Wall Signs





 Front Sign


 Rear Sign

 Side Sign

 Frontage - 81'

 Side Street
Frontage - 111'

 Distance from Wall
to outer edge of
sidewalk - 11'



Directional Photos

Across Street



East Facing



West Facing



North Facing

Project: Revelations Salon

Project Location: 15620 Detroit Ave Lakewood, OH 44107

Client: Mary Costanzo



212 Warden Ave.
Elyria, OH
44035

These are original designs or concepts and are the property of L3 Sign & Image and may not be shown to any individuals other than the addressee without the written consent of L3 Sign & Image. Should these designs be used in anyway other than as intended by the addressee, design changes will apply.

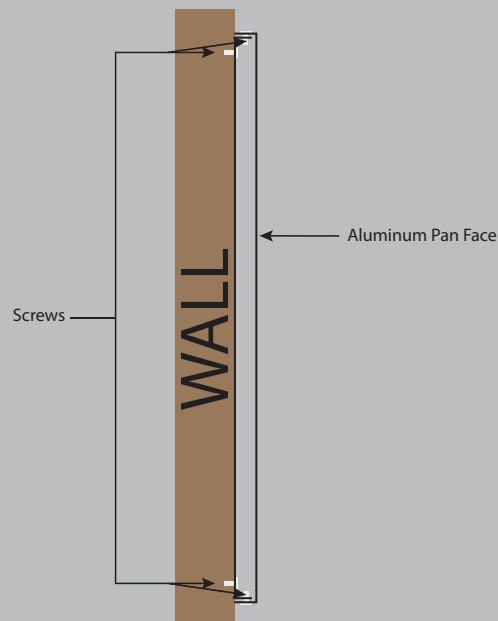
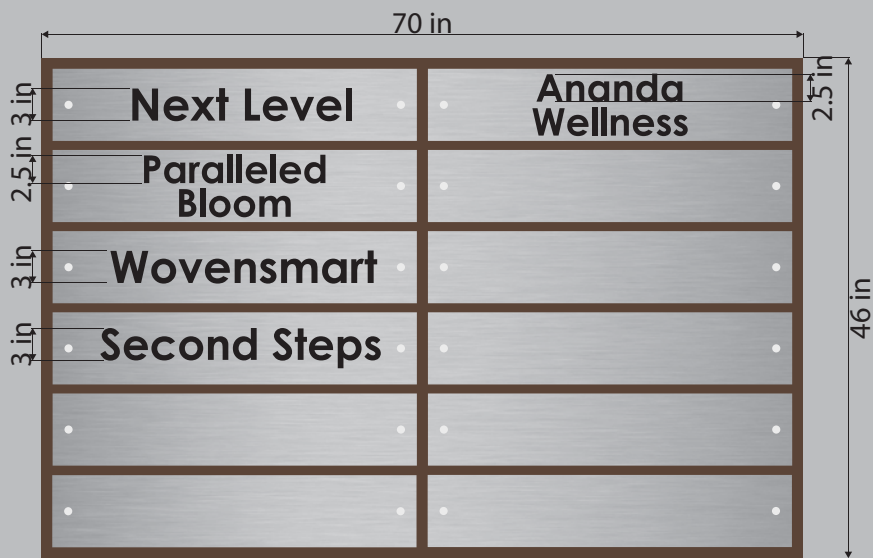
Client Signature:

Date Issued: 11/20/24

Revision Date: 02/10/25

Revision #:

70" x 46" Bronze aluminum non-illuminated pan face w/ 33 1/2" x 6 1/2" Aluminum tenant panels w/ direct print brushed aluminum finish & applied vinyl lettering, mounted to pan face using standoffs



Project: Revelations Salon

Project Location: 15620 Detroit Ave Lakewood, OH 44107

Client: Mary Costanzo



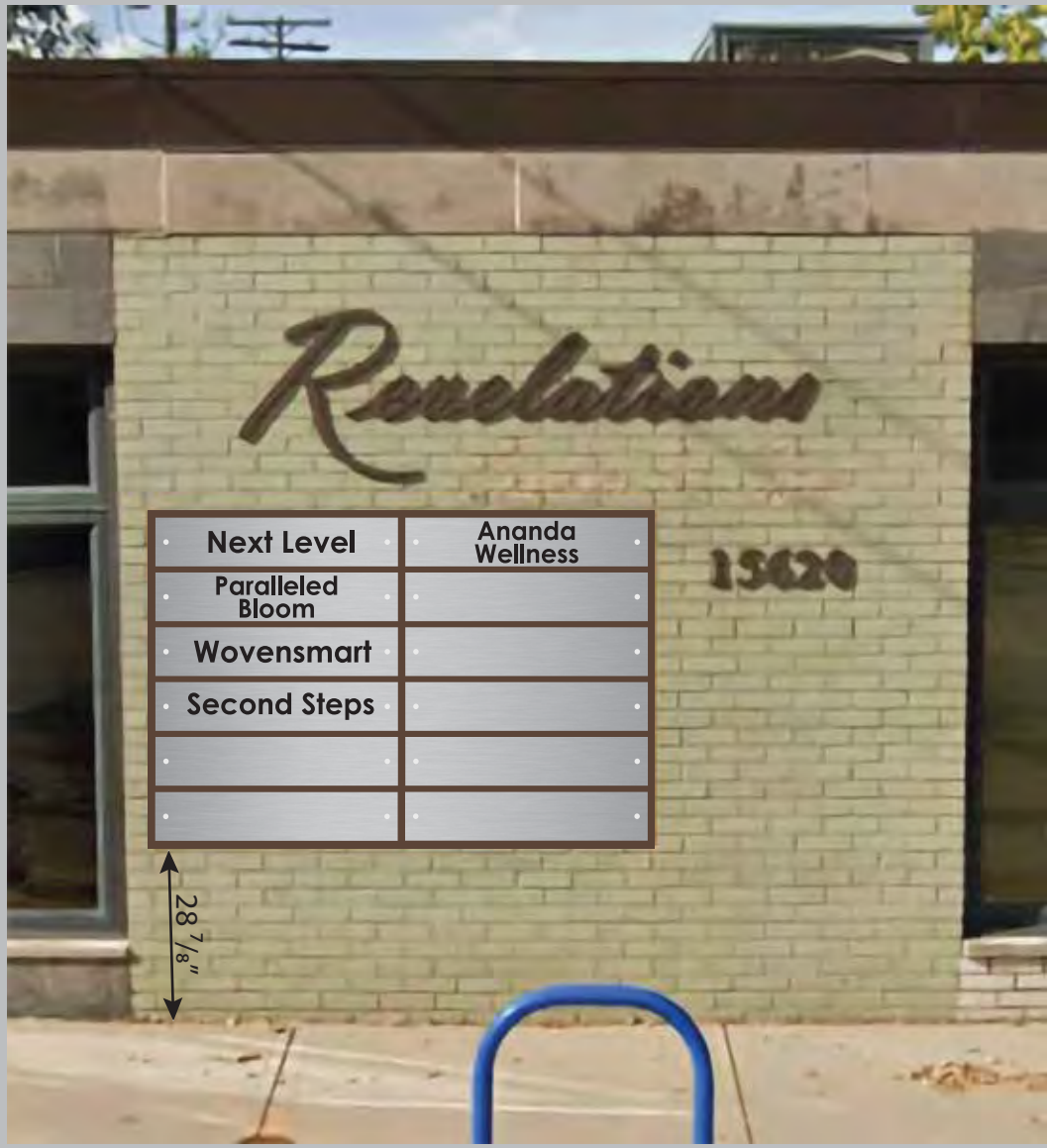
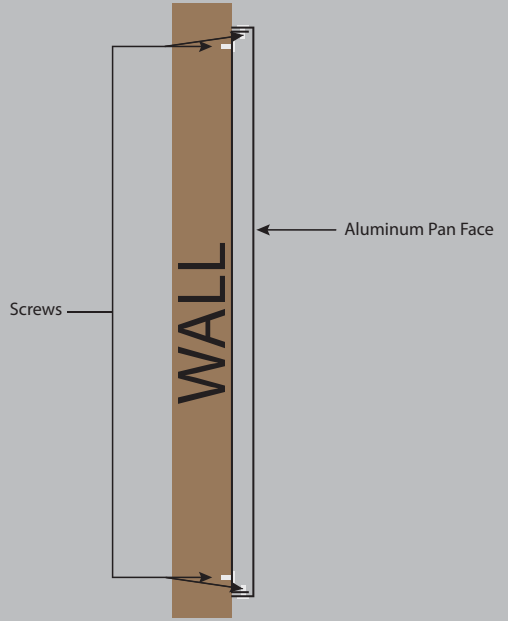
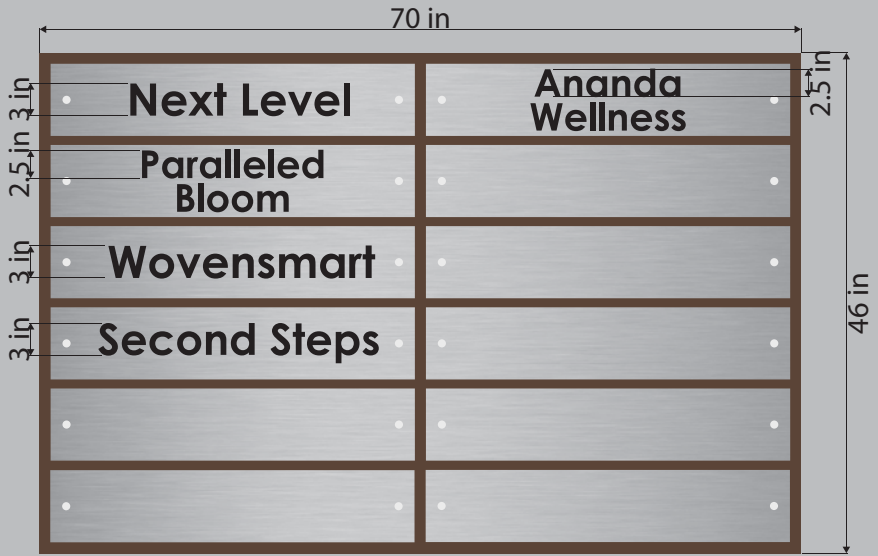
212 Warden Ave.
Elyria, OH
44035

These are original designs or concepts and are the property of L3 Sign & Image and may not be shown to any individuals other than the addressee without the written consent of L3 Sign & Image. Should these designs be used in anyway other than as intended by the addressee, design changes will apply.

Client Signature: _____

Date Issued: 11/20/24 | Revision Date: _____ | Revision #: _____

70" x 46" Bronze aluminum non-illuminated pan face w/ 33 1/2" x 6 1/2" Aluminum stencil panels w/ direct print brushed aluminum finish & applied vinyl lettering, mounted to pan face using standoffs



Project: Revelations Salon

Project Location: 15620 Detroit Ave Lakewood, OH 44107

Client: Mary Costanzo



212 Warden Ave.
Elyria, OH
44035

These are original designs or concepts and are the property of L3 Sign & Image and may not be shown to any individuals other than the addressee without the written consent of L3 Sign & Image. Should these designs be used in anyway other than as intended by the addressee, design changes will apply.

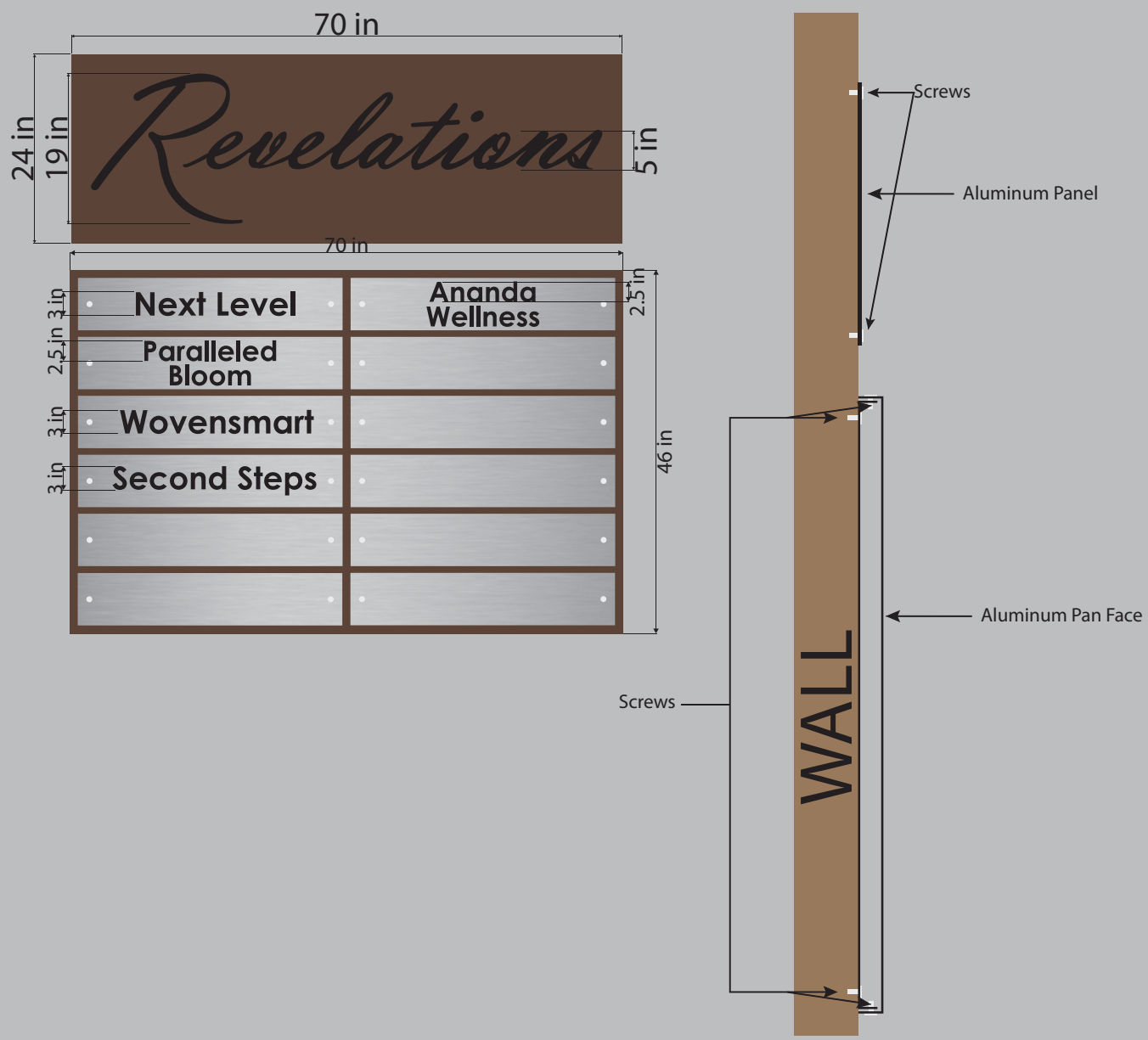
Client Signature: _____

Date Issued: 11/20/24

Revision Date: _____

Revision #: _____

70" x 46" Bronze aluminum non-illuminated pan face w/ 33 1/2" x 6 1/2" Aluminum tenant panels w/ direct print brushed aluminum finish & applied vinyl lettering, mounted to pan face using standoffs, 70" x 24" bronze aluminum panel w/ applied black vinyl lettering mounted above pan face



Project: Revelations Salon

Project Location: 15620 Detroit Ave Lakewood, OH 44107

Client: Mary Costanzo



212 Warden Ave.
Elyria, OH
44035

These are original designs or concepts and are the property of L3 Sign & Image and may not be shown to any individuals other than the addressee without the written consent of L3 Sign & Image. Should these designs be used in anyway other than as intended by the addressee, design changes will apply.

Client Signature: _____

Date Issued: 11/20/24 | Revision Date: 02/10/25 | Revision #: _____



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-26-25

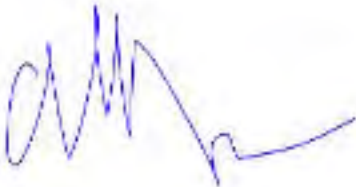
Permit No.: BBS25-000021

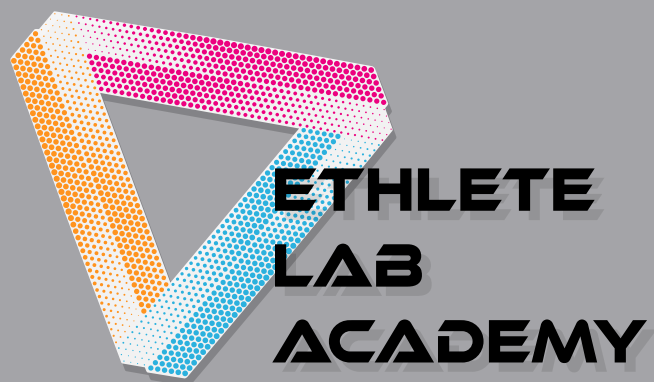
Applicant Name: Abby Ayers

Project Address: 14414 Detroit Ave.

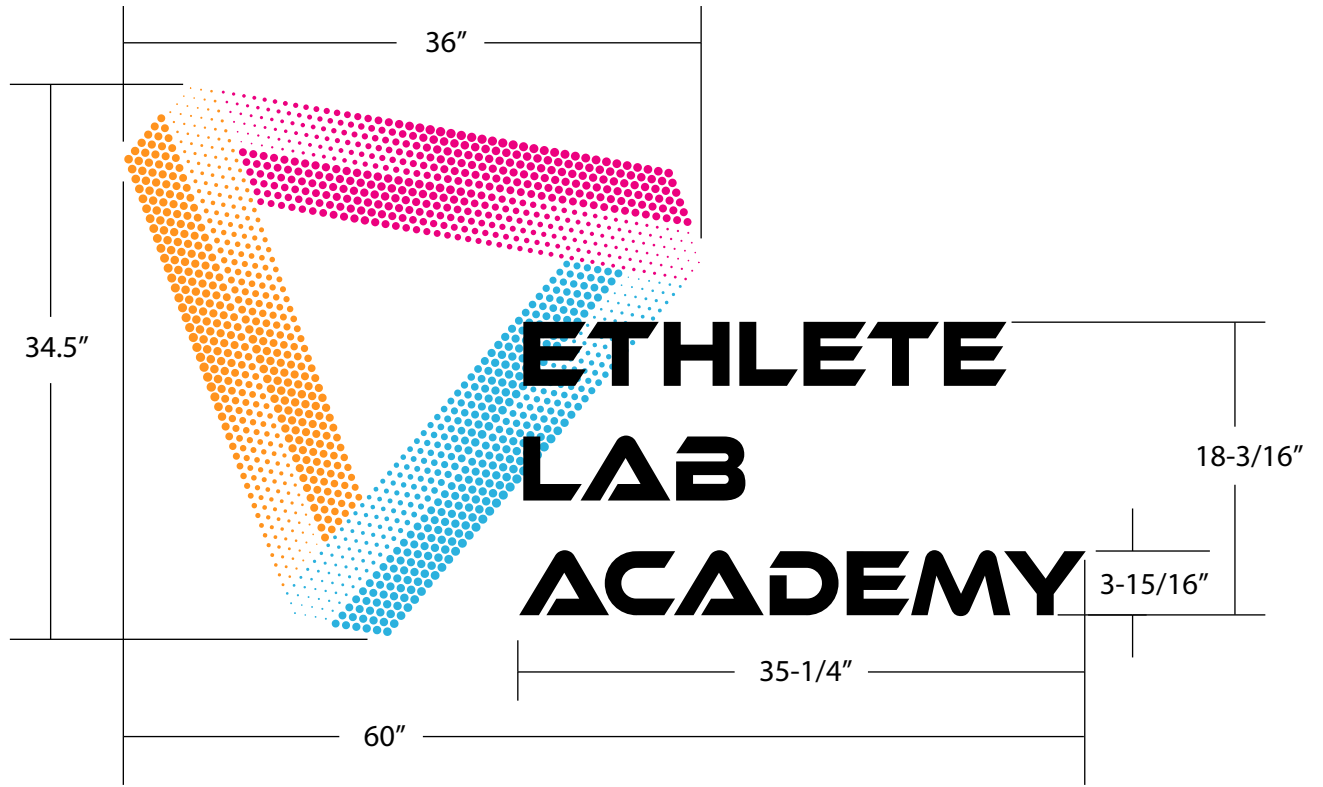
Project Name: Ethlete Lab Academy

Project: Applicant proposes a wall sign and a blade sign.





RECEPTION – COMP



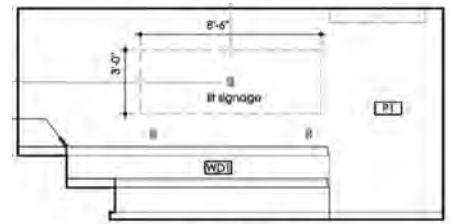
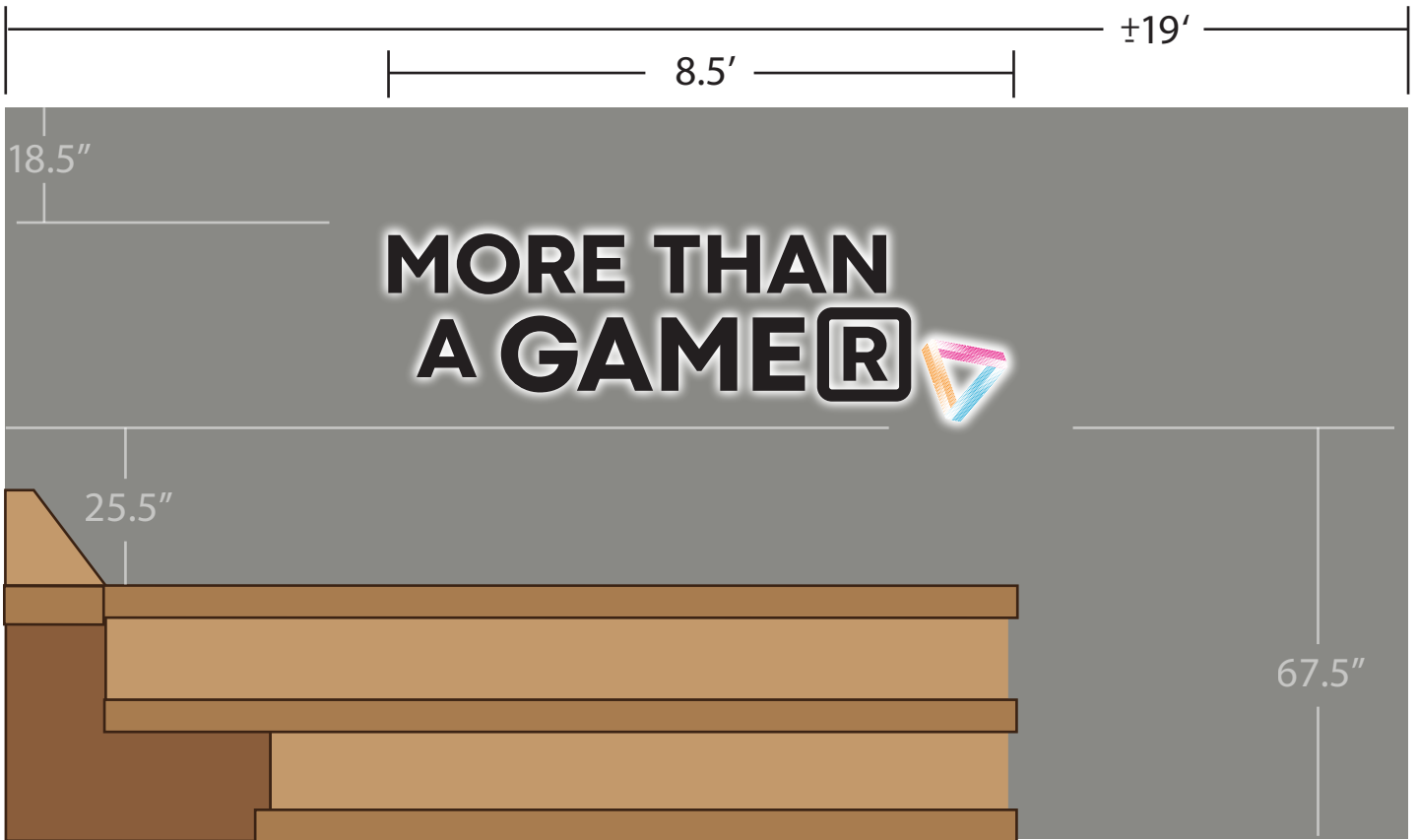
RECEPTION – SCALE



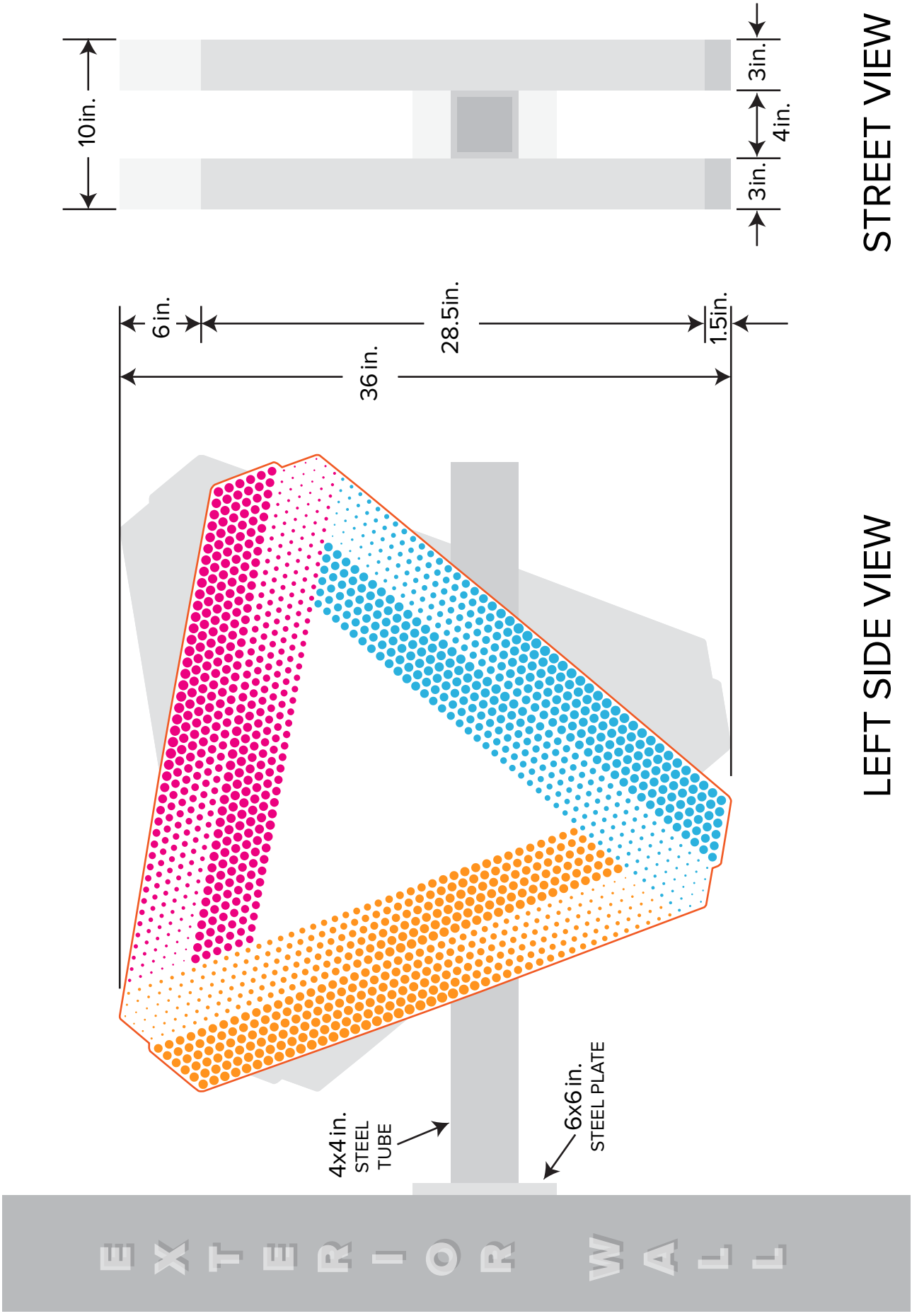
OUTSIDE WALL – COMP



OUTSIDE WALL – SCALE



BLADE SIGN





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-27-25

Permit No.: BBS25-000023

Applicant Name: Marchila Benn

Project Address: 17106 Detroit Ave.

Project Name: Couth

Project: Applicant proposes back-lit metal letters in the sign band.

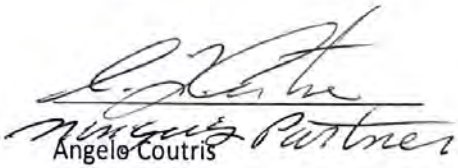
Letter of Authorization from Property Owner

March 17, 2025

To Whom It May Concern,

I, Angelo Coutris, (property owner) hereby authorize Marchila Benn and Anthony Isom, representatives for Couth Space to make application for exterior sign placement at 17106 Detroit Avenue, Lakewood, Ohio.

Thank you



Angelo Coutris

16926 Detroit Ave.

Lakewood, OH

(440) 343-4051



48 in

COUTH

10 in

Mockup



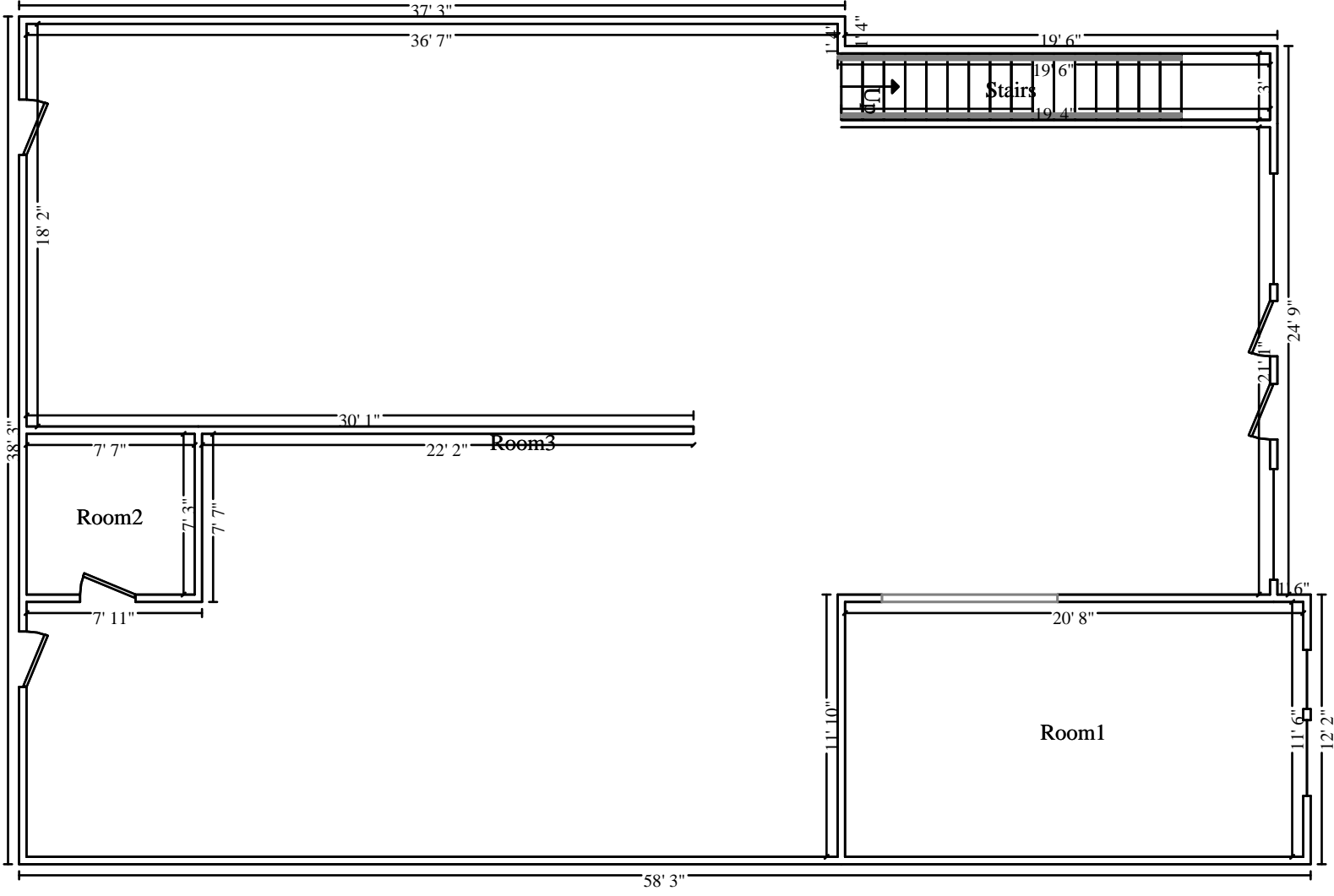
Quote Details

ANTHONY ISOM

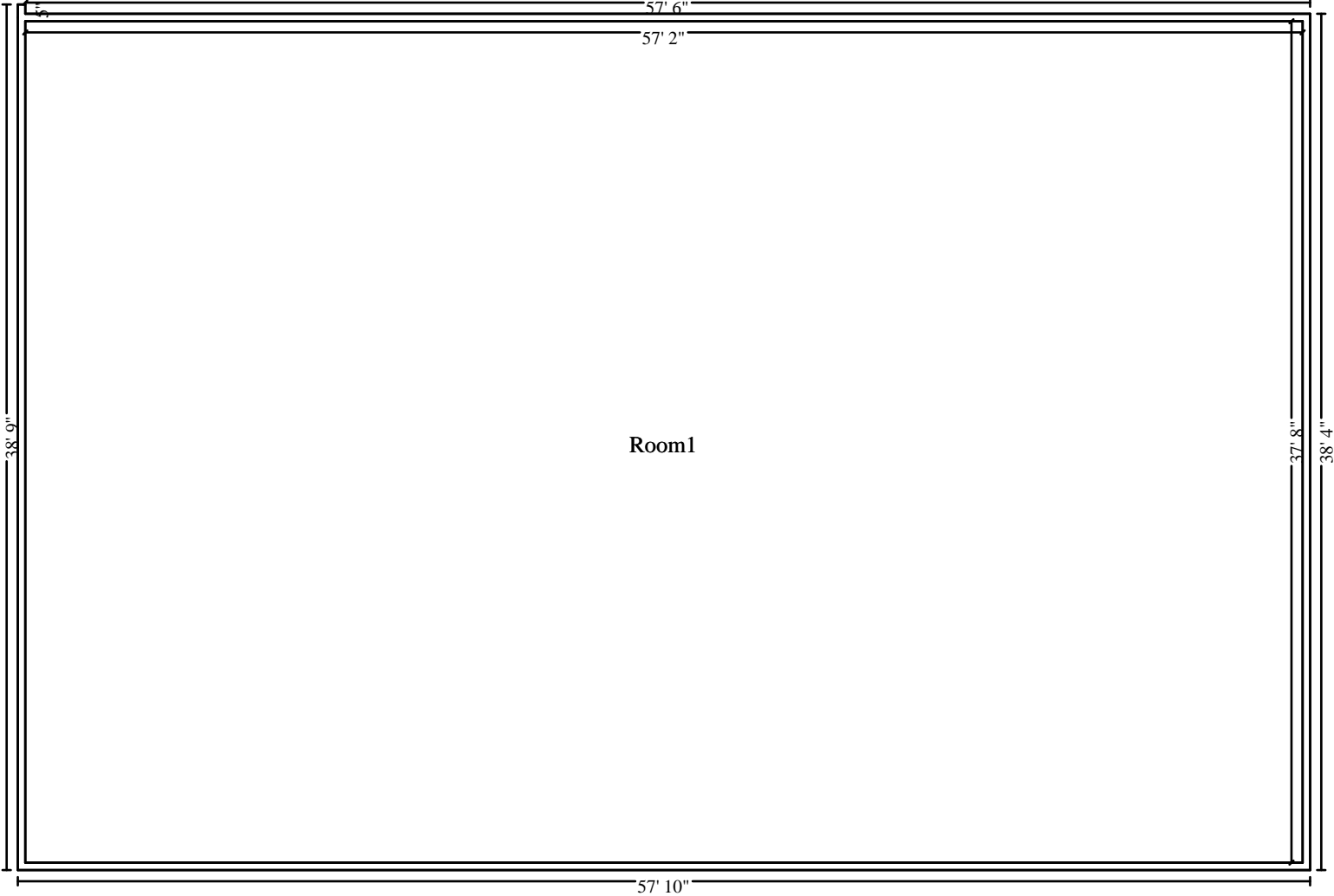
SIGN TYPE	: 3D Metal Back-Lit
COLOR	: Same As Mockup
FINISH	: Matte
ILLUMINATED	: Yes
UL CERTIFIED	: On Demand
INSTALLATION	: On Demand
PERMIT	: On Demand

Sign Details

Size	medium
Dimensions	48 in x 10 in
Price	690 USD



Main Level





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-28-25

Permit No.: BBS25-000025

Applicant Name: Stephen Foster, The Sign & Graphics Firm, LLC

Project Address: 1360 W. 117th St.

Project Name: Flower Child Vintage

Project: Applicant proposes two wall signs (one new and one relocated from previous store).

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, sweeping initial "S".

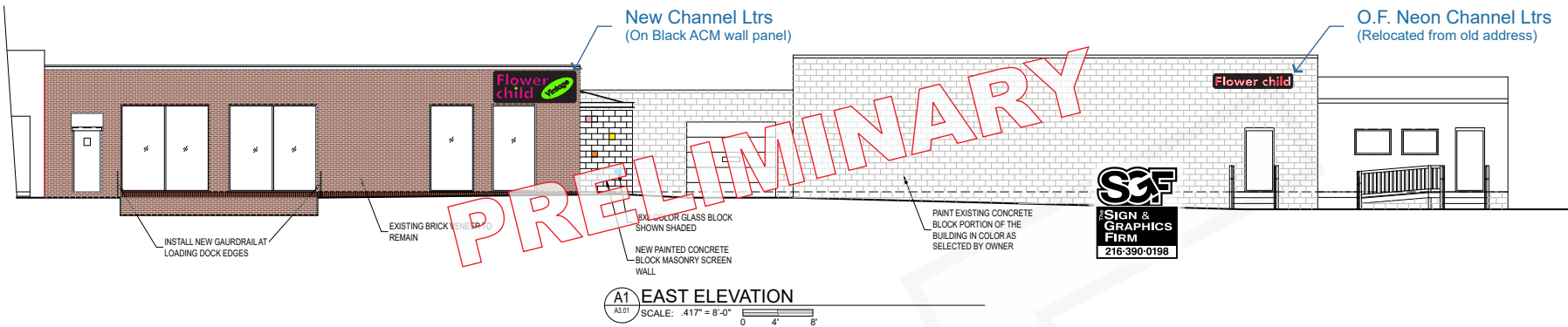
Steve Foster

The Sign & Graphics Firm

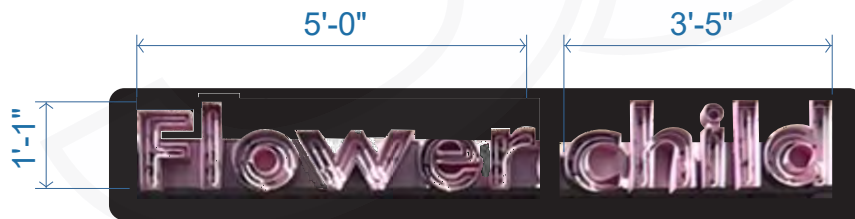
(216) 390-0198



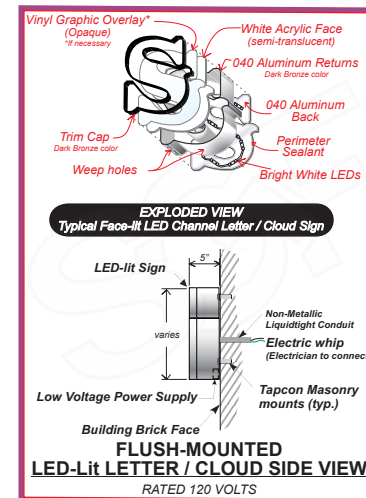
Handwritten signature in blue ink, appearing to read "L. J. Cole".



New Channel Letter Sign
(On Black ACM wall panel)



Existing O.F. Neon Channel Letter Sign
(On Black ACM wall panel, relocated from previous store)



NOTE: Renderings are approximate representations of final production.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
Flower Child Vintage

ADDRESS:
1360 W. 117 Street
Lakewood, OH 44107

THE SIGN & GRAPHICS FIRM





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-29-25

Permit No.: BBS25-000029

Applicant Name: Natalie Bottomley, NRKA Corp. dba Fastsigns 223201

Project Address: 15023 Madison Ave.

Project Name: The Fruit Stand

Project: Applicant proposes illuminated channel letters mounted to raceway and two capsule signs.



FASTSIGNS 2118 <fastsigns.2118@fastsigns.com>

Re: Lakewood

1 message

Jason Carpinelli <jasoncarpinelli@gmail.com>
To: FASTSIGNS 2118 <fastsigns.2118@fastsigns.com>

Mon, Feb 17, 2025 at 3:06 PM


Approved.

On Mon, Feb 17, 2025 at 1:18 PM FASTSIGNS 2118 <fastsigns.2118@fastsigns.com> wrote:


Hi Jason,

See proof below and let us know what you think. The main sign is exactly the same as the others but will have black trim and returns. The other is an illuminated capsule for the Elmwood side. Also black trim and returns.

Let me know what you think. Once you approve, I will provide an estimate.

 FASTSIGNS <i>Make Your Statement™</i>	OF BROADVIEW HEIGHTS 1100 W Royalton Road, Suite 1 Broadview Heights, OH 44147	(440)817-0700 2118@fastsigns.com www.fastsigns.com/2118	CUSTOMER INFO
			DATE: 2/14/25
			INVOICE#: 10,708
			CUSTOMER NAME: The Fruit Stand
			ADDRESS:
			DIMENSIONS: <i>In art window</i>
			DESCRIPTION: Channel letters & Capsule
			MATERIAL: Channel letters & Capsule
			QTY: 2
			NOTES:


Grey not a part of artwork



Channel letters:
160.6"W x 19"H

14"H letters
19"H logo

Grey not a part of artwork



Capsule:
30"W x 29"H

This rendering is the intellectual property of FASTSIGNS of Broadview Heights. Artwork and rendering may not be used without permission from owner.

Natalie Bottomley



FASTSIGNS of Broadview Heights | 2118@fastsigns.com

[1100 W. Royalton Road, Suite A | Broadview Heights | Ohio | 44147](#)

O: 1 (440) 817-0700 | www.fastsigns.com/2118

CUSTOMER INFO

DATE: 3/20/25

INVOICE#: 10,729

CUSTOMER NAME:
The Fruit Stand

ADDRESS:
15023 Madison Ave

DIMENSIONS:
In page 1

DESCRIPTION:

Illuminated channel letters
mounted to a raceway. Raceway secured
to brick facade with appropriate masonry
hardware. Sign connected to building circuit

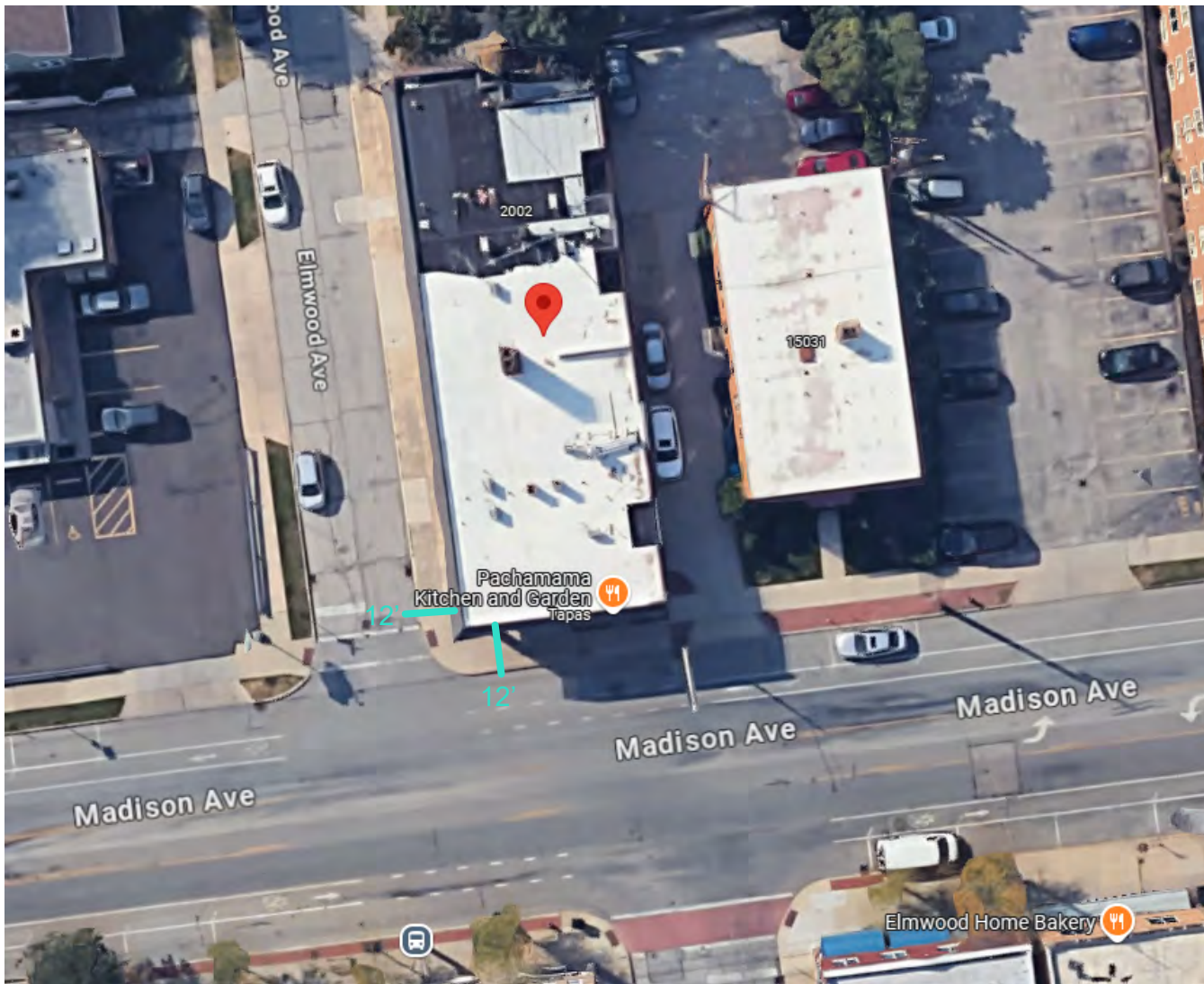
Capsule sign stud mounted to wall,
connected to power supply interior wall.

MATERIAL:

Channel letters &
Capsule

QTY: 2

NOTES:



CUSTOMER INFO

DATE: 3/20/25

INVOICE#: 10,729

CUSTOMER NAME:
The Fruit Stand

ADDRESS:
15023 Madison Ave

DIMENSIONS:
In page 1

DESCRIPTION:
Illuminated channel letters
mounted to a raceway. Raceway secured
to brick facade with appropriate masonry
hardware. Sign connected to building circuit

Capsule sign stud mounted to wall,
connected to power supply interior wall.

MATERIAL:
Channel letters &
Capsule

QTY: 2

NOTES:



CUSTOMER INFO

DATE: 3/20/25

INVOICE#: 10,729

CUSTOMER NAME:
The Fruit Stand

ADDRESS:
15023 Madison Ave

DIMENSIONS:
In art window

DESCRIPTION:

Illuminated channel letters mounted to a raceway. Raceway secured to brick facade with appropriate masonry hardware. Sign connected to building circuit

Capsule sign stud mounted to wall, connected to power supply interior wall.

MATERIAL:

Channel letters & Capsule

QTY: 2

NOTES:

Brown not a part of artwork



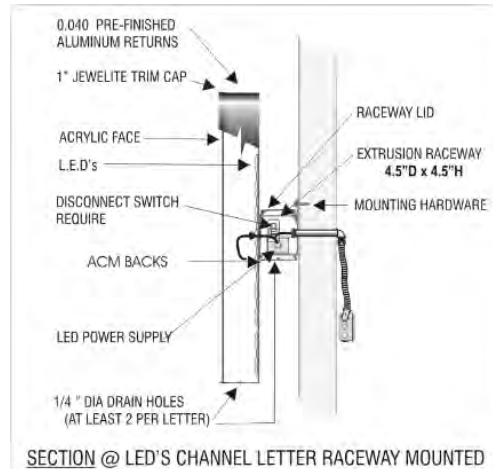
Channel letters Total:
161"W x 19"H
14"H letters
19"H logo

Brown not a part of artwork

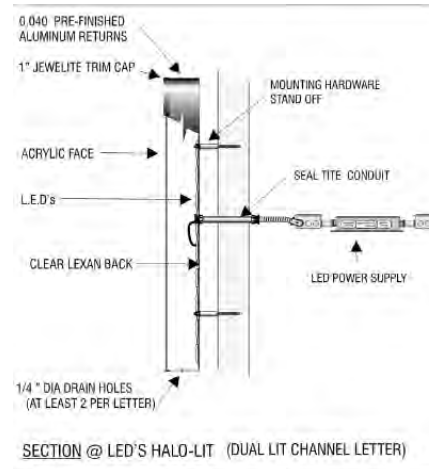


Capsule:
30"W x 29"H

For Channel Letters on Raceway:



For Capsule:





City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-30-25

Permit No.: BBS25-000022

Applicant Name: Gary R. Fischer, Fischer & Associates Architects Inc.

Project Address: 1464 Riverside Dr.

Project Name: n/a

Project: Applicant proposes the construction of a new home with attached garage.

Re: 1464 Riverside Drive

To Whom it may concern:

This document provides consent for Gary Fischer to act on my behalf as Agent for the BZA for the property located at 1464 Riverside Drive

Respectfully:

Linda Fredrickson.

RIVERSIDE DR.

PLANTING SCHEDULE	
A	DWARF JAPANESE MAPLE - CRIMSON QUEEN
B	HYDRANGEA - ENDLESS SUMMER - SUMMER CRUSH
C	LEUCOTHOE - EVERGREEN
D	BOXWOOD - WINTERGREEN



JAPANESE MAPLE



HYDRANGEA

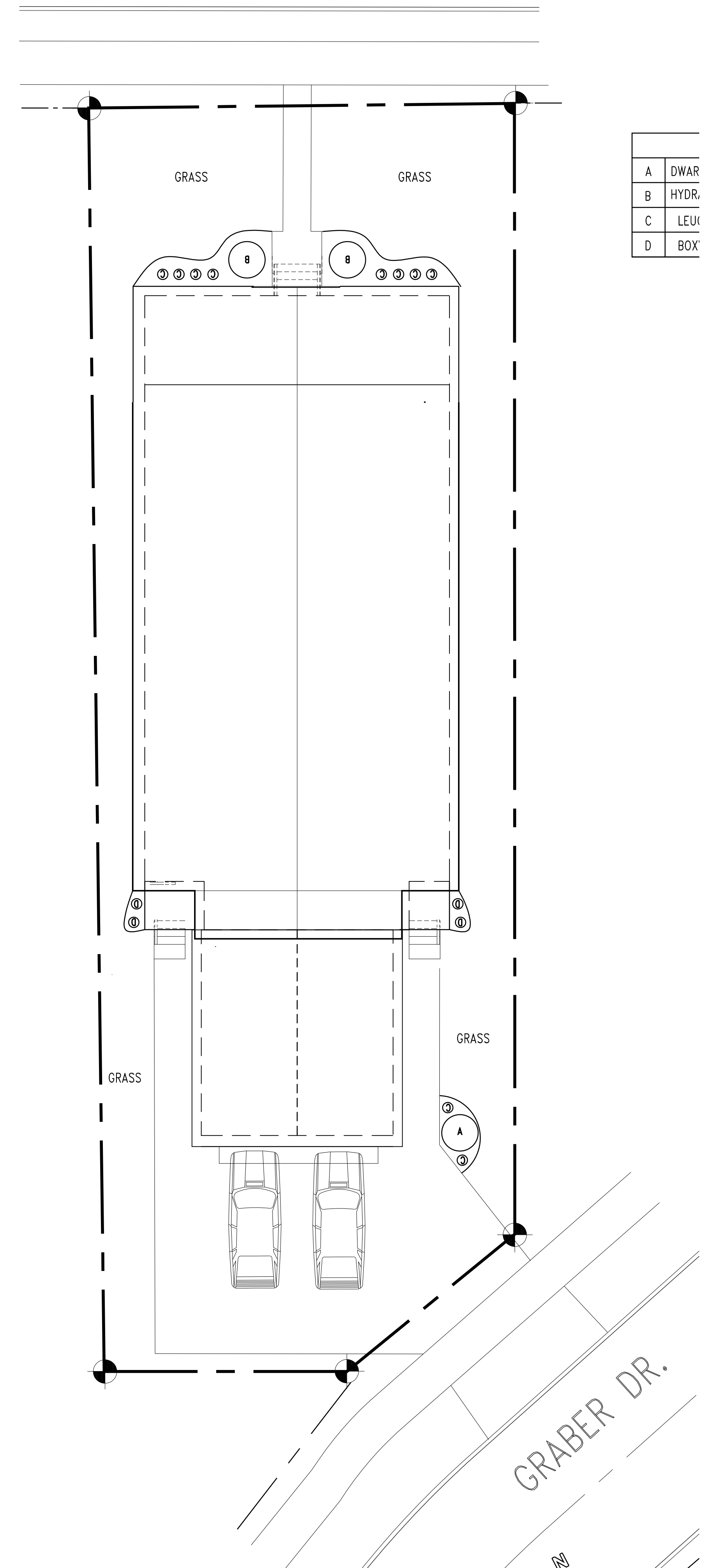


LEUCOTHUE



BOXWOOD

A	DWAR
B	HYDR.
C	LEUK
D	BOX



FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street
Lorain, Ohio 44052
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021
ISSUE: DATE:

NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

Client Name/Project Name/Address

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name
LANDSCAPE PLAN

Fischer Project Number

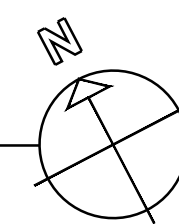
22.113

SHEET #

L-100

Seal

LANDSCAPE PLAN
1/8" = 1'-0"



1464 RIVERSIDE DRIVE

(New House & Garage Addition)

1464 Riverside Drive – Lakewood, Ohio 44107

GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

GOVERNING CODE: LATEST (R.C.O. 2024 RESIDENTIAL BUILDING CODE INCLUDING AMENDMENTS GROUPS AND ALL APPLICABLE STATE & LOCAL APPLICABLE STATE OF OHIO AND LOCAL CODES AND ORDINANCES.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IT IS SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL & ELECTRICAL INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENTS BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. SECURE ALL WORK TO REMAIN. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. DEMO. PLAN & NOTES/G-100.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT, WHERE APPLICABLE. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANOR TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

STRUCTURAL NOTES: (GENERAL)

1. THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.

2. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

3. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

DESIGN CRITERIA:

- DEAD LOAD 1ST. FLOOR – 10 PSF LIVE LOAD FLOOR – 40 PSF
- DEAD LOAD 2ND. FLOOR/PORCH – 10 PSF LIVE LOAD FLOOR – 30 PSF
- DEAD LOAD ROOF – 20 PSF LIVE LOAD ROOF – 25 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD – 30 PSF
- SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

CONCRETE AND MASONRY (WHERE APPLICABLE)

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONC. FOOTINGS TO BE SET ON MIN. 1,500 PSF SOIL BEARING.
- EXTERIOR CONC. FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.
- CONC. BLOCK: ASTM C90 (HOLLOW) ASTM C145 (SOLID).
- MORTAR: TYPE S, MIN. COMPRESSIVE STRENGTH: 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- JOINT REINFORCING: STANDARD DURAWALL, MILL GALVANIZED FINISH.
- ALL C.M.U. SHALL BE MADE USING DRY BLOCK.
- PROVIDE UNITS OF SIZE INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE OR FINISH CANNOT BE PRODUCED FROM STANDARD SHAPES. TYPICAL ALL BRICK VENEER THROUGHOUT, WHERE APPLICABLE.

ROUGH CARPENTRY

- SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
 - NATIONAL DESIGN SPECIFICATION FOR WOOD & METAL FRAME CONSTRUCTION.
 - U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
 - APA CONSTRUCTION GUIDE – RESIDENTIAL.
- CONNECTIONS:
 - PLYWOOD TO RAFTERS/JOISTS ROOFS & FLOORS – USE 8D NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS.

ROUGH CARPENTRY (CONTINUED)

- ALL CONNECTIONS OF STRUCTURAL BEAMS & RIDGE MEMBERS SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
- ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD OR METAL TREATMENT MATERIAL UTILIZED USING HCC. OR SS WHERE APPLICABLE.
- CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 30 2"x8" HEADER WITH 20 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED OR STRICT. REQUIRED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 20 2"x6" HEADER WITH 20 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
- ALL SOLID BLOCKING, (S.B.) AT EXTERIOR OPENINGS, BEARING POINTS AND EXTERIOR CORNERS AS REQUIRED AND SHOWN ON DRAWINGS SHALL BE 302" x 6", FOR INTERIOR 302x4 WALLS, STRICT. SET ALL ON SOLID BEARING. SOLID BLOCKING AT BEARING POINTS HIDDEN IN WALLS SHALL HAVE 2x4 LATERAL BRACING TO NEXT STUDS @2'-0" O.C. HORIZONTAL.
- PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY ROOM AND ACCESSORIES.
- DOUBLE JOISTS UNDER PARTITIONS, AT FLOOR OPENINGS IN A MANOR TO AFFORD STRUCTURAL INTEGRITY.
- ALL NEW INTERIOR AND EXTERIOR STAIRS AND STEPS SHALL HAVE MAX. 8.25" RISERS AND MIN. 10" TREADS, TYP. U.O.N.. V.I.F. ALL ELEVATION CHANGES PRIOR TO START OF ANY WORK.
- ALL NEW EXTERIOR WALL INSULATION SHALL BE MIN. R-20. ALL NEW EXTERIOR ROOF INSULATION SHALL BE MIN R-49. FLOOR ABOVE BASEMENT SPACE SHALL BE R-30. TYP. IN A MANOR COMPLETE BUILDING ENVELOPE.
- WHERE BEAMS MAY END ON OPEN POCKET, PROVIDE BEAM ATTACHMENT BY WELDING OR BOLTED CLIP ANGLE EACH SIDE W/ NOT LESS THAN ONE 1/2" BEAM BOLT AND ONE 1/2" WALL ANCHOR PER ANGLE, AS REQUIRED FOR ADEQUATE STRUCT. SUPPORT, WHERE MAY BE APPLICABLE.

FINISHES

- ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE SELECTION BY OWNER.
- ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. COORDINATE WITH OWNER FOR MANUF. AND ACCESSORIES.
- ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED OR ARCHITECT APPROVED EQUIVALENT. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

CUSTOM FINISH SPECIAL NOTES:

- ALL INTERIOR FLOOR FINISH SHALL BE SELECTION BY OWNER.
- ALL INTERIOR TRIM SHALL BE FINISH WOOD INCLUDING BUT NOT LIMITED TO BASE, DOOR TRIM AND WINDOW TRIM. SELECTION BY OWNER.
- ALL COUNTER TOPS SHALL BE PER OWNERS SELECTION.
- ALL KITCHEN & OTHER CABINETS/VANITIES SHALL BE FULL CUSTOM.
- ALL EXTERIOR WINDOWS AND DOORS SHALL BE INSUL. AS SELECTED BY OWNER
- ALL EXTERIOR FINISHES SHALL BE NEW TO REPLACE EXT'G. SELECTED BY OWNER INCLUDING BUT NOT LIMITED TO SIDING, TRIM, DECKING & ROOFING U.O.N..
- COORDINATE ALL WITH OWNER, U.O.N..

SHOP DRAWINGS

MIN. 4 COPIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- MASONRY UNITS, MORTAR, GROUT, REINFORCEMENT & ACCESSORIES
- WINDOWS, DOORS AND HARDWARE
- CABINETS & COUNTERS PER OWNERS SELECTION
- MECHANICAL & ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES
- KITCHEN COUNTERS, CABINETS, FIXTURES & ACCESSORIES
- STAIRS, RAILING, GUARD & HAND RAILS
- FLASHINGS, CAULKING & SEALANTS
- INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK
- EXTERIOR FINISHES
- ROOFING, ROOFING MATERIALS, GUTTERS & DOWNSPOUTS
- FIRE PLACES, CHIMNEYS & EJECTORS

GENERAL CONSTRUCTION NOTES:

FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.

- NEW WET AREAS. USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOPUP.
- ALL DIMENSIONS REFERENCE FROM CONCRETE/MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
- BRACE ALL INTERIOR PARTITIONS TO STRUCT. OF ADJACENT WALLS, FLOOR BELOW, CEILING &/OR ROOF ABOVE CEILING AS REQUIRED TO PREVENT WALLS FROM FLEXING.
- ALL NEW DOOR & WINDOW HEADS SHALL BE AT 6'-8" A.F.F. U.O.N..
- ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
- FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, CLOSET SHELVING/RODS, BATHROOM FIXTURES & ACCESSORIES, ETC.
- CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS OPENING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.
- VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE SELECTED MANUFACTURER'S REQUIREMENTS.
- IN AREAS WHERE EXISTING FINISHING MATERIALS ARE TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISHES IN A MANOR TO MAINTAIN LEVEL UNIFORM TRANSITION.

ENGINEERING COORDINATION

PLUMBING:

COORD. WITH FLOOR PLANS/A-100 FOR SCHEMATIC PLUMBING FIXTURE LOCATIONS. REFERENCE SPECS. & RISER DIAGRAMS /MPE-100.

H.V.A.C.

PROVIDE H.V.A.C. ADDITIONS & ALTERATIONS AS REQUIRED TO ACCOMMODATE BUILDING RENOVATION LAYOUT. INSTALL PER SELECTED MANUF. SPECS. & INSTALLATION INSTRUCTIONS. COORD. WITH OWNER FOR NUMBER AND LOCATION OF ZONES. REF. MECHANICAL SPECS/MPE-100. FILED UNDER SEPARATE PERMIT.

ELECTRICAL:

COORDINATE WITH FLOOR PLANS/A-100 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS & ELECTRICAL ENGINEERING SPECS. & SCHEDULE/MPE-100.

SPECIAL CONTRACTORS NOTE:

ARCHITECT IS RESPONSIBLE FOR ARCHITECTURAL DESIGN AND DRAFTING ONLY. ALL INFORMATION SUPPLIED BY OWNER.
VERIFY ALL DETAILS INCLUDING BUT NOT LIMITED TO SITE CONDITIONS, CITY UTILITY REQUIREMENTS & STANDARDS, AND STRUCTURAL LOADS AND BEARING (WHERE APPLICABLE).

GENERAL DEMOLITION NOTES: (WHERE APPLICABLE)

- ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
- COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS.
- CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE SCOPE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
- PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE RENOVATION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:
 - FIRE DETECTORS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL
 - DEBRIS DISPOSAL AND DUMPSTER
 - INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS
 - EXISTING STRUCTURAL ELEMENTS
- PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
- PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILINGS AS REQUIRED TO ACCOMMODATE EXISTING BUILDING NEW RENOVATION LAYOUT.
- CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
- CONTACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
- CONTRACTOR SHALL GIVE OWNER FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
- COORDINATE UTILITY SERVICE OUTAGES WITH THE APPLICABLE LOCAL UTILITY COMPANIES.
- ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.



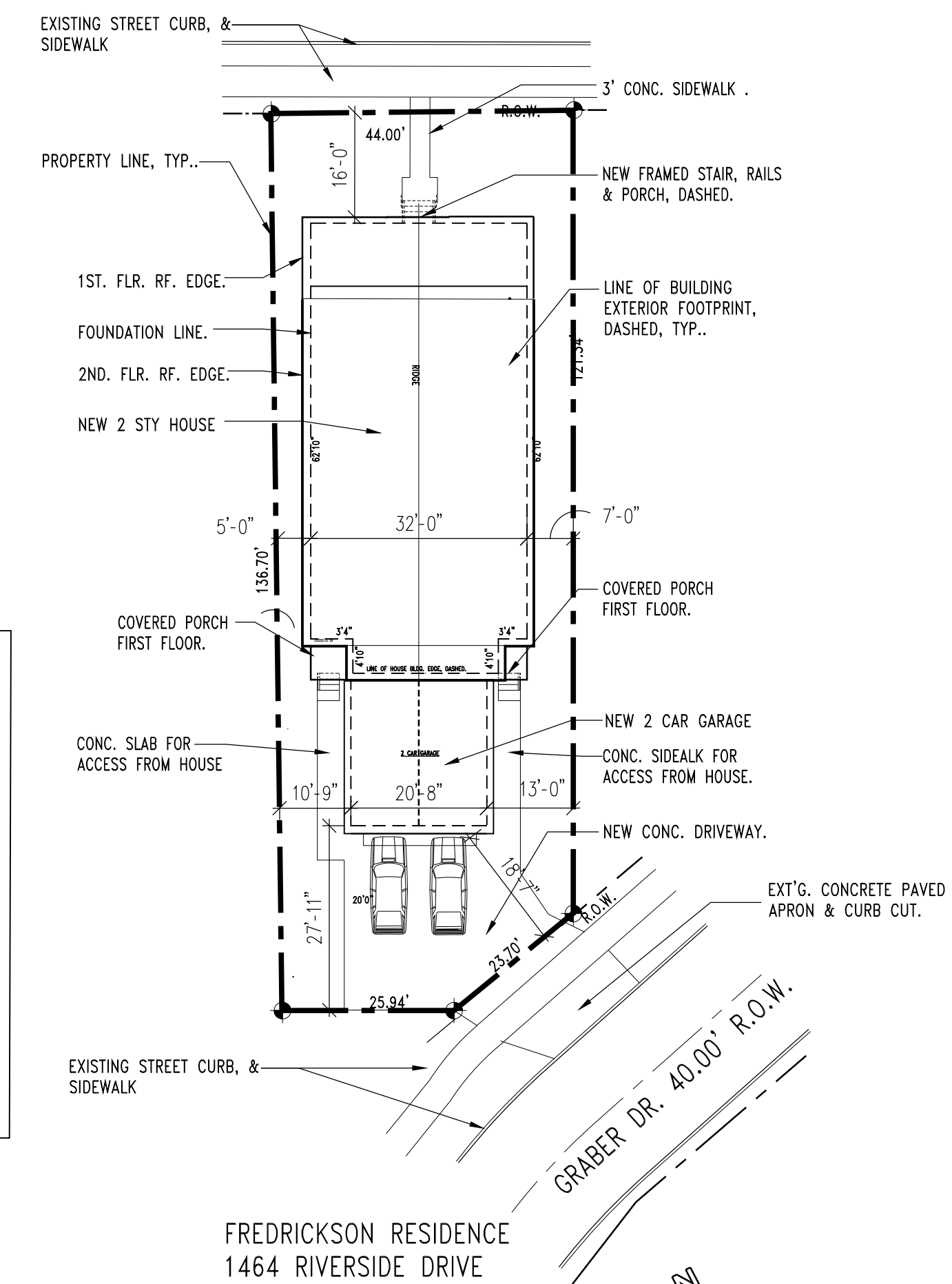
AERIAL SITE LOCATION MAP

1" = 30'-0"



RIVERSIDE DR. 57.00' R.O.W.

LOT SIZE	- 5,875 SQ. FT.
HOUSE	- 2,216 SQ. FT.
NEW GAR.	- 453 SQ. FT.
LOT COVERAGE	- 46% INCL. GAR. & PORCHES.
IM. SURF. BLDG. DRIVE & S.W.-5,754 SQ. FT. = 63%	



FREDRICKSON RESIDENCE
1464 RIVERSIDE DRIVE

ARCHITECTUAL SITE PLAN

1" = 20'-0"



FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021

ISSUE: DATE:

NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

Client Name/Project Name/Address

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name

COVER SHEET-GENERAL NOTES-
ARCH. SITE PLAN-AERIAL SITE MAP

Fischer Project Number

22.113

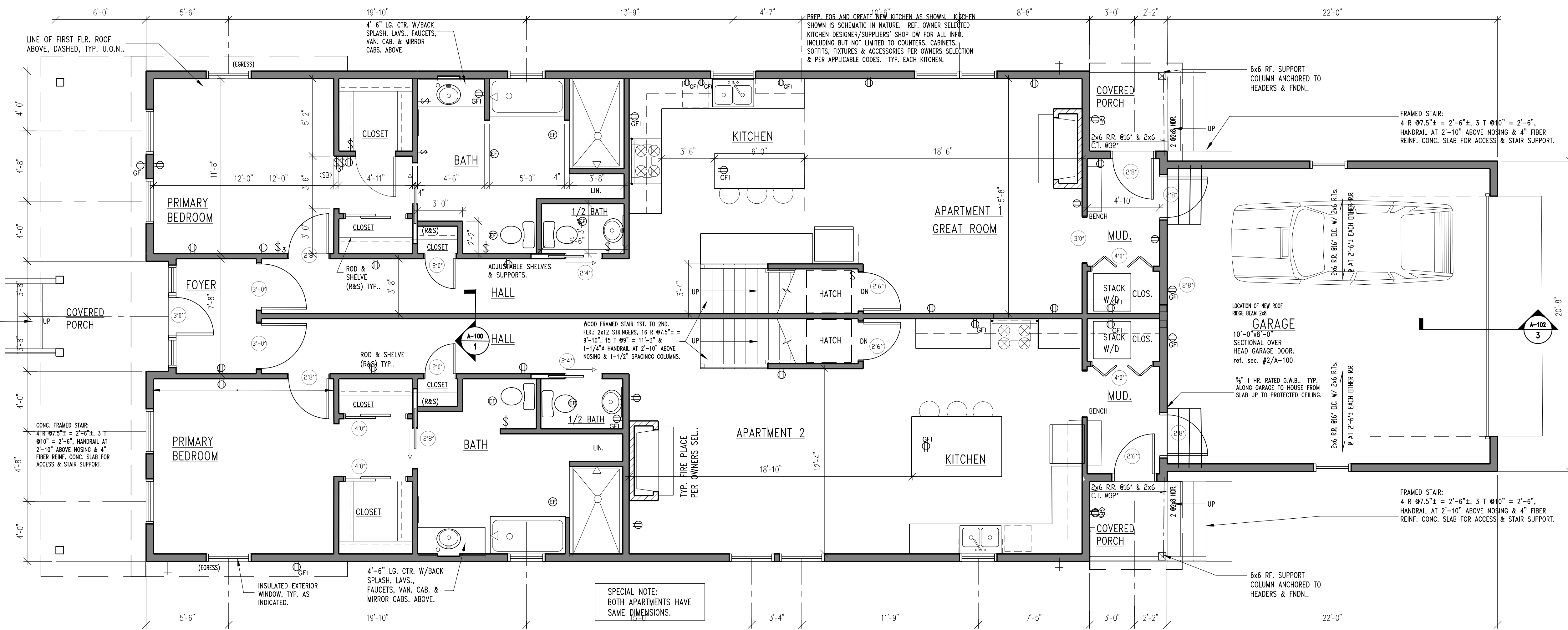
SHEET #

G-100

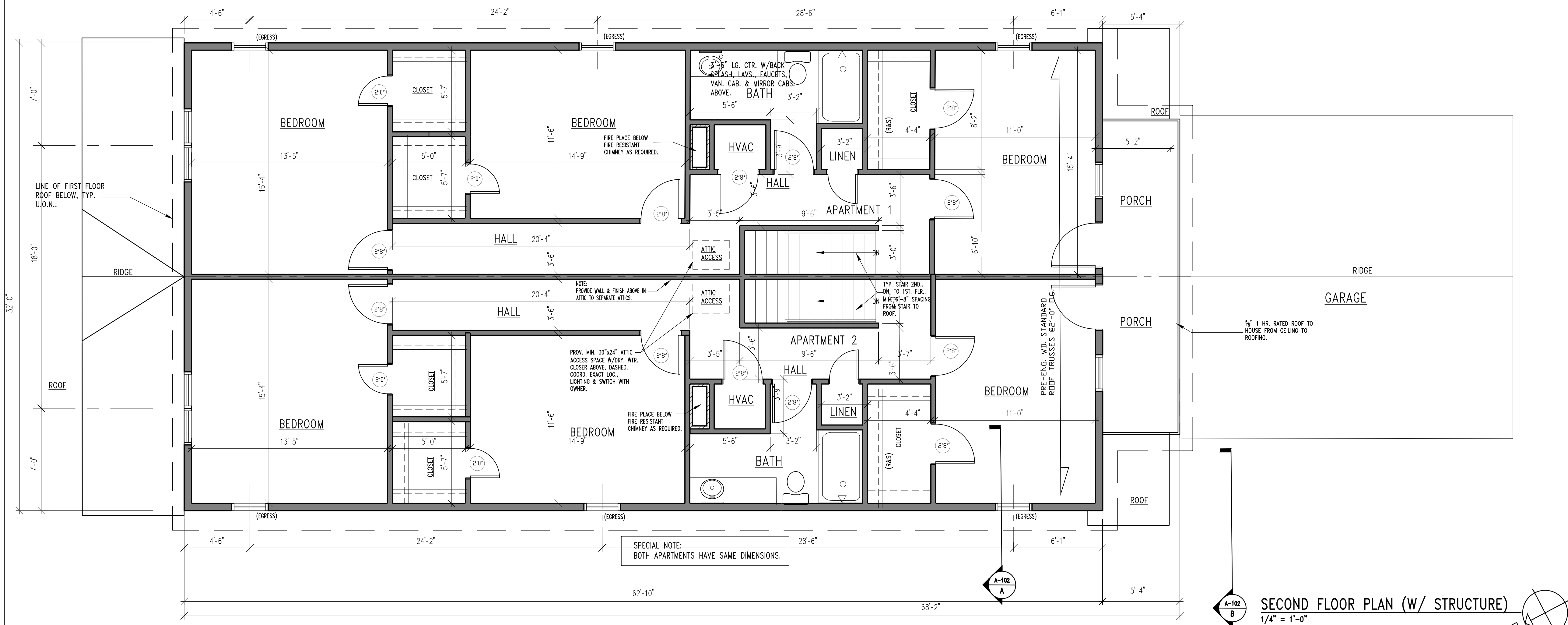
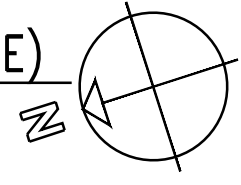
Seal



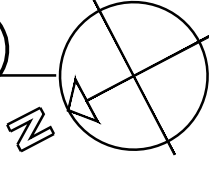
NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24



FIRST FLOOR PLAN (W/ STRUCTURE)
 1/4" = 1'-0"



SECOND FLOOR PLAN (W/ STRUCTURE)
 1/4" = 1'-0"



1464 Riverside Drive
 (NEW HOUSE & GARAGE ADDITION)
 1464 Riverside Drive
 Lakewood, Ohio 44107

Drawing Name
 FLOOR PLANS W/ GARAGE DEMOLITION-
 STRUCTURAL DETAILS

Fischer Project Number
 22.113
 SHEET #

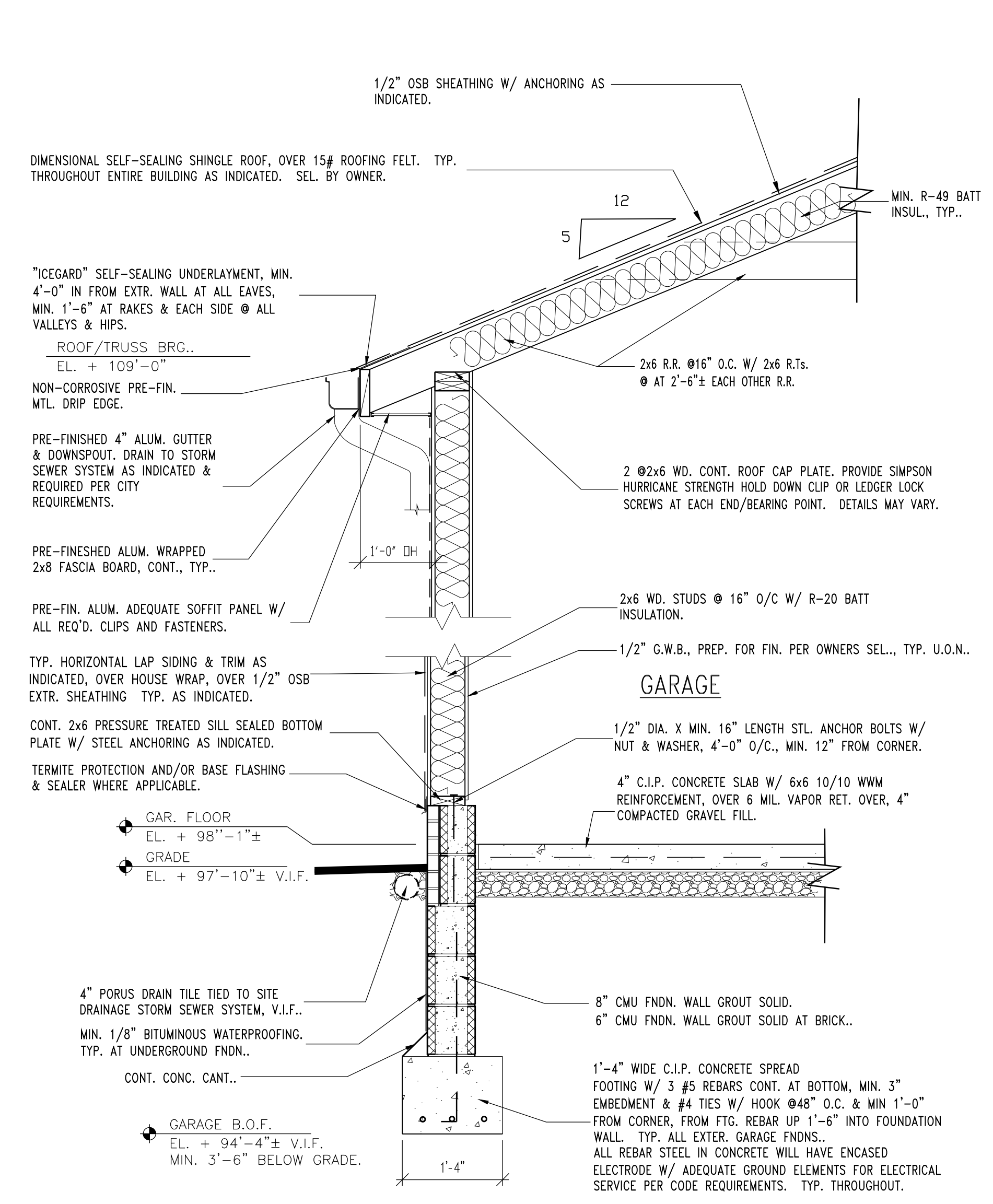
A-101

Seal

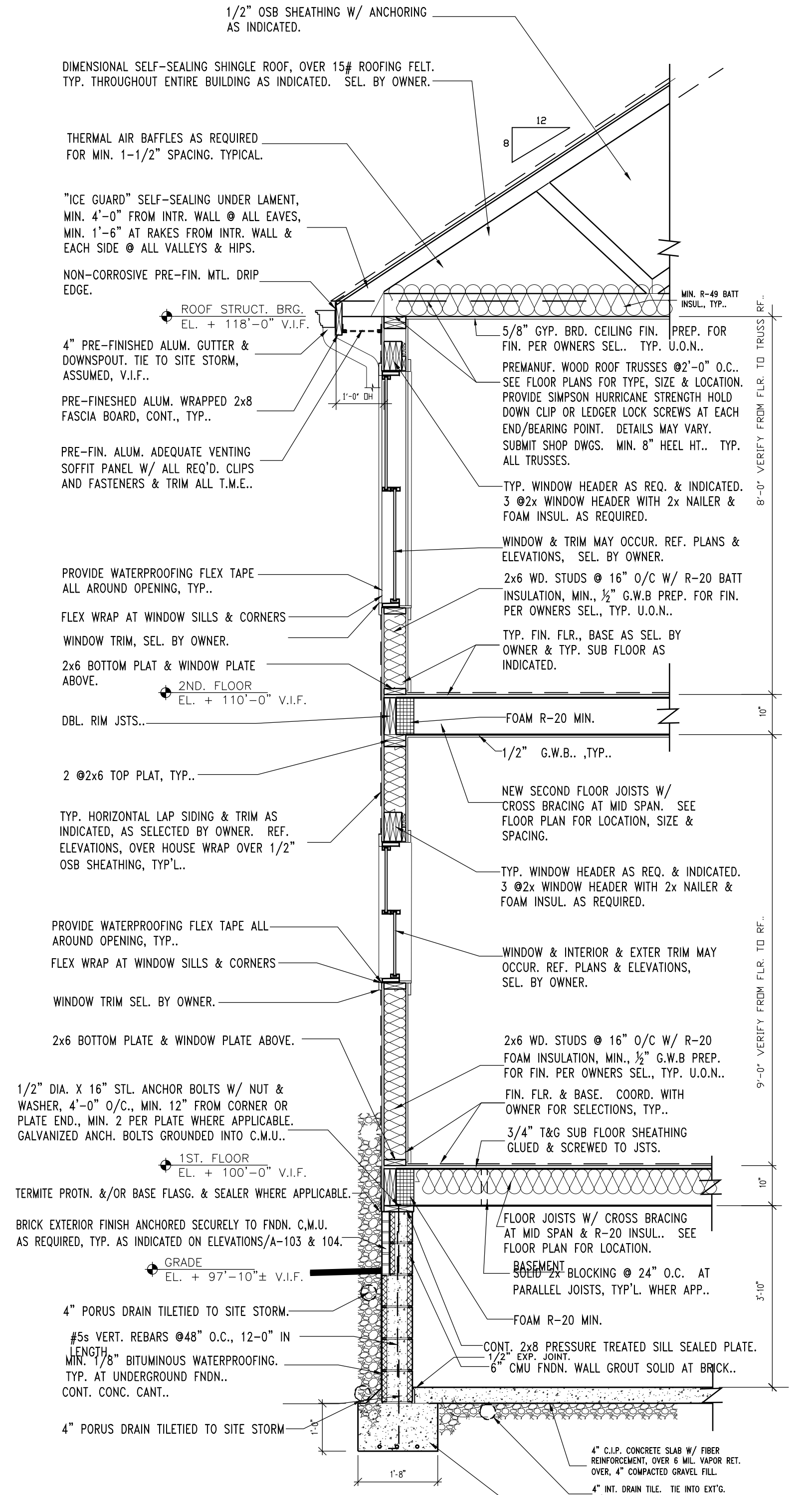


NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/05/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

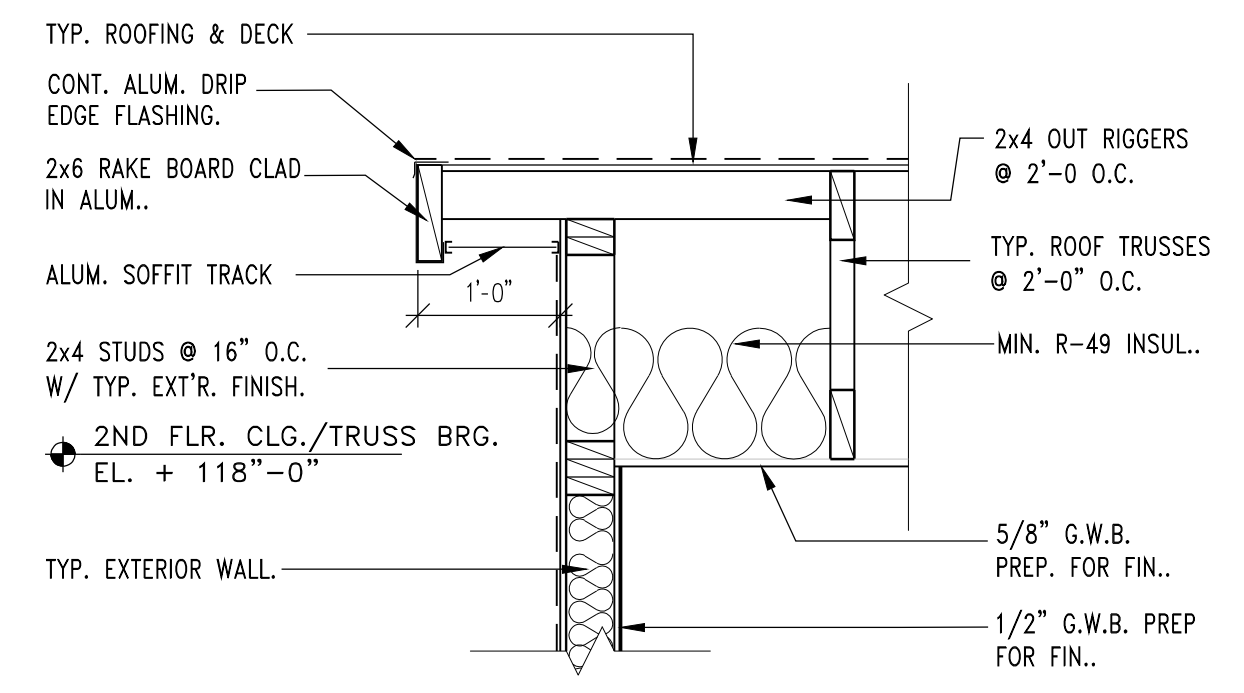
1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)
 1464 Riverside Drive
 Lakewood, Ohio 44107



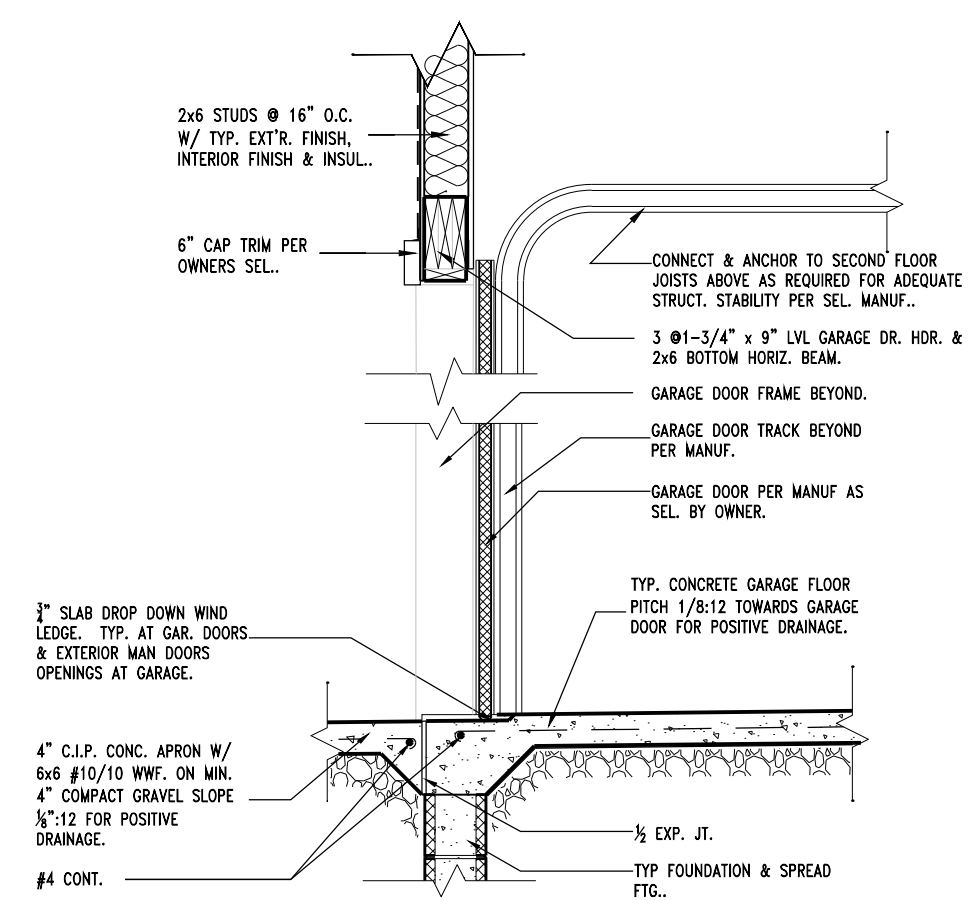
B GARAGE WALL & FDN. SECTION
 3/4" = 1'-0"



A BASEMENT, FIRST & SECOND FLOOR & ROOF SECTION
 1/2" = 1'-0"



4 ROOF RAKE SECTION
 3/4" = 1'-0"



3 GARAGE DOOR SECTION
 1/2" = 1'-0"



Fischer & Associates	© 2021
ISSUE:	DATE:
NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

Client Name/Project Name/Address

1464 Riverside Drive
 (NEW HOUSE & GARAGE ADDITION)
 1464 Riverside Drive
 Lakewood, Ohio 44107

Drawing Name
 ELEVATIONS

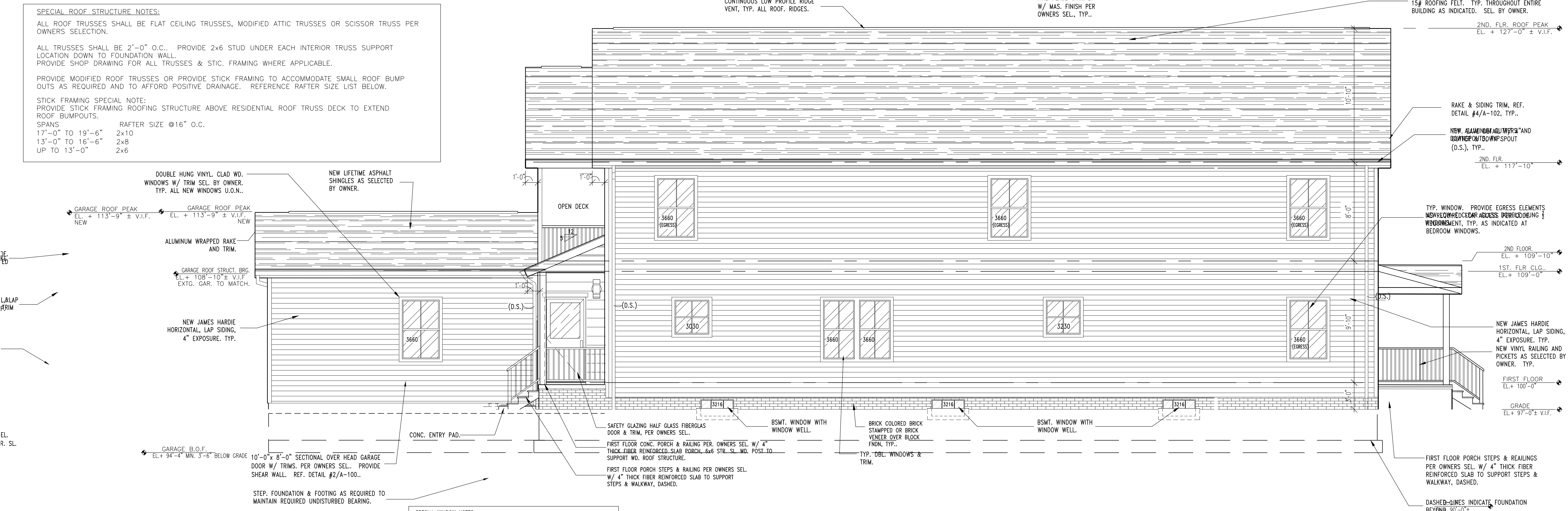
Fischer Project Number

22.113

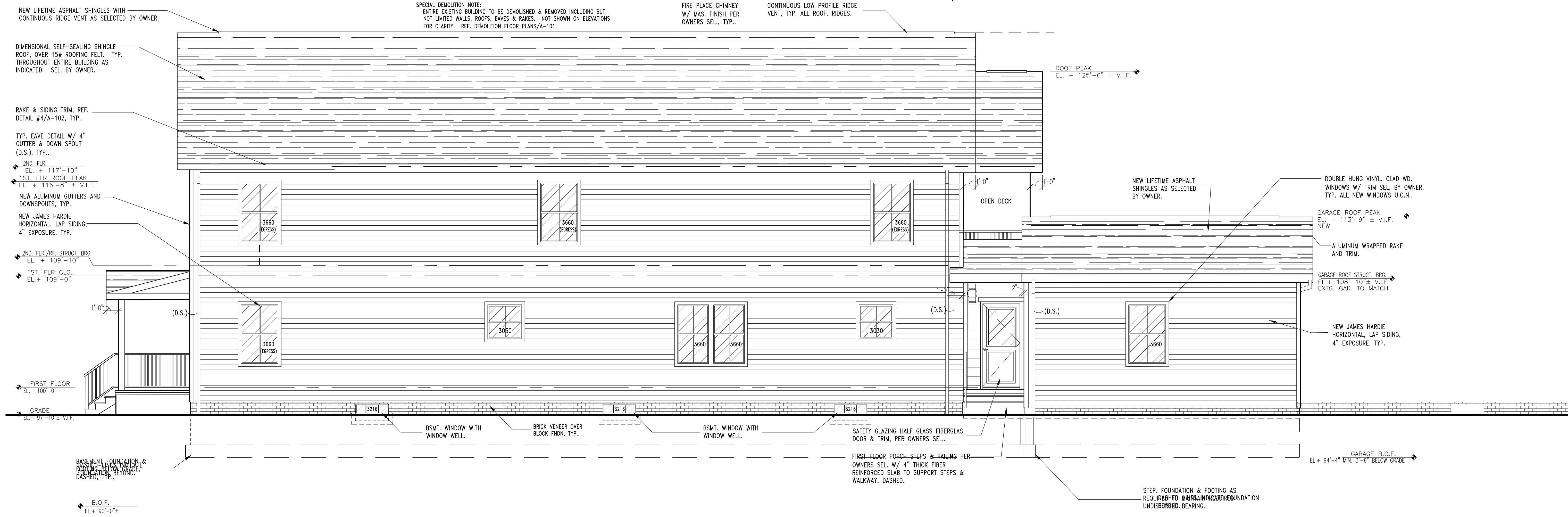
SHEET #

A-103

Seal



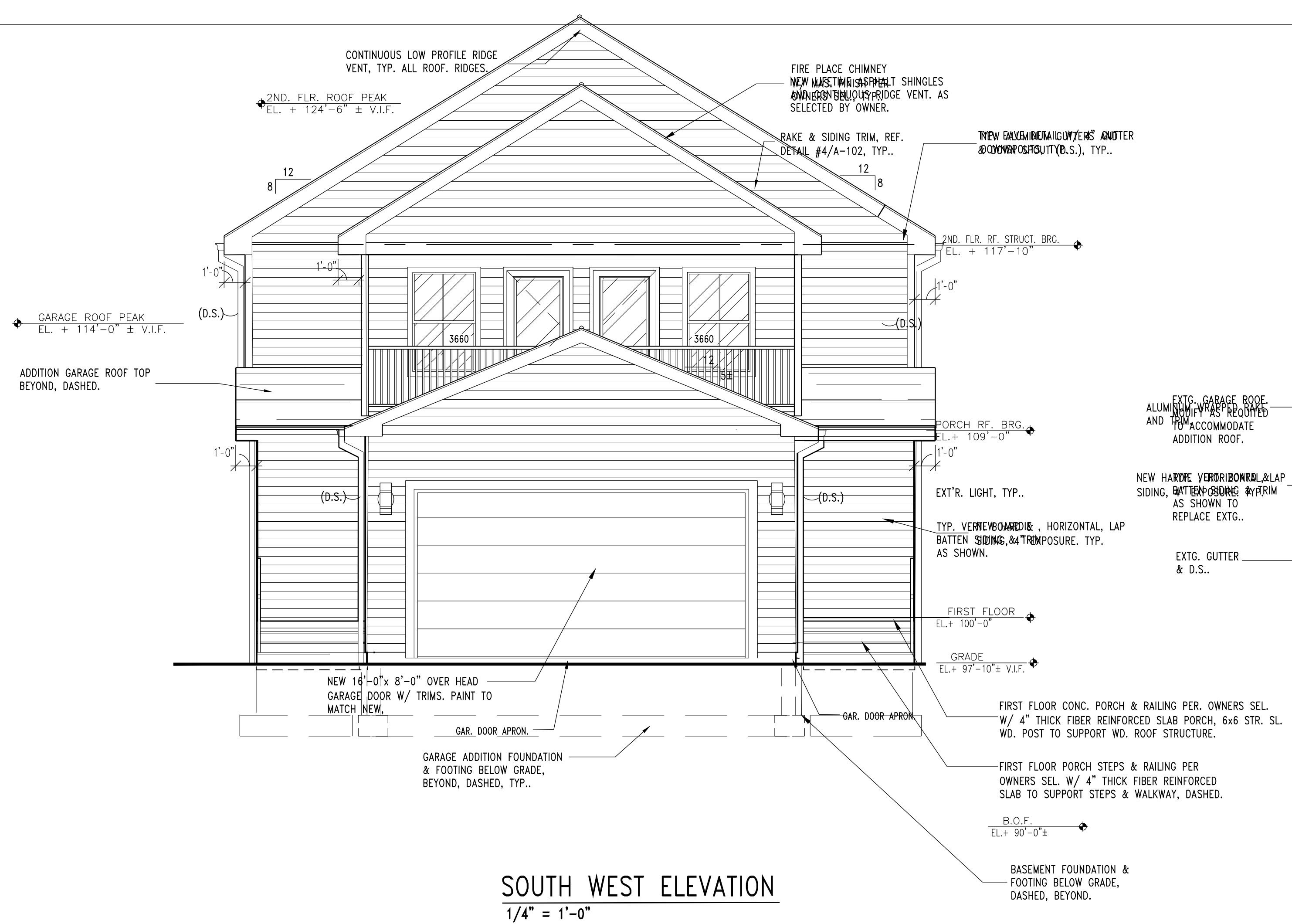
SOUTH EAST ELEVATION
 1/4" = 1'-0"



NORTH WEST ELEVATION
 1/4" = 1'-0"

NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

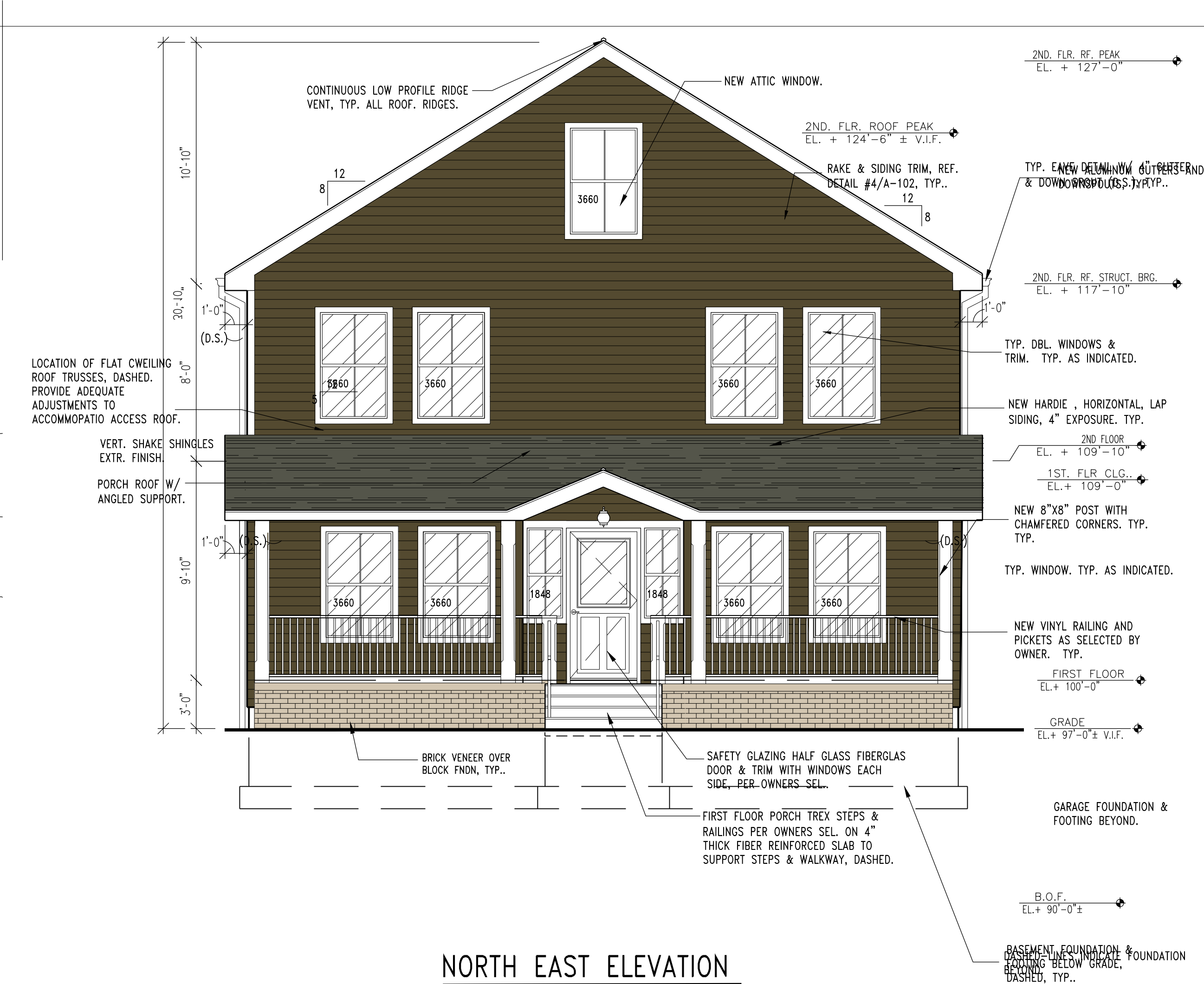
1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)
1464 Riverside Drive
Lakewood, Ohio 44107



SOUTH WEST ELEVATION
1/4" = 1'-0"

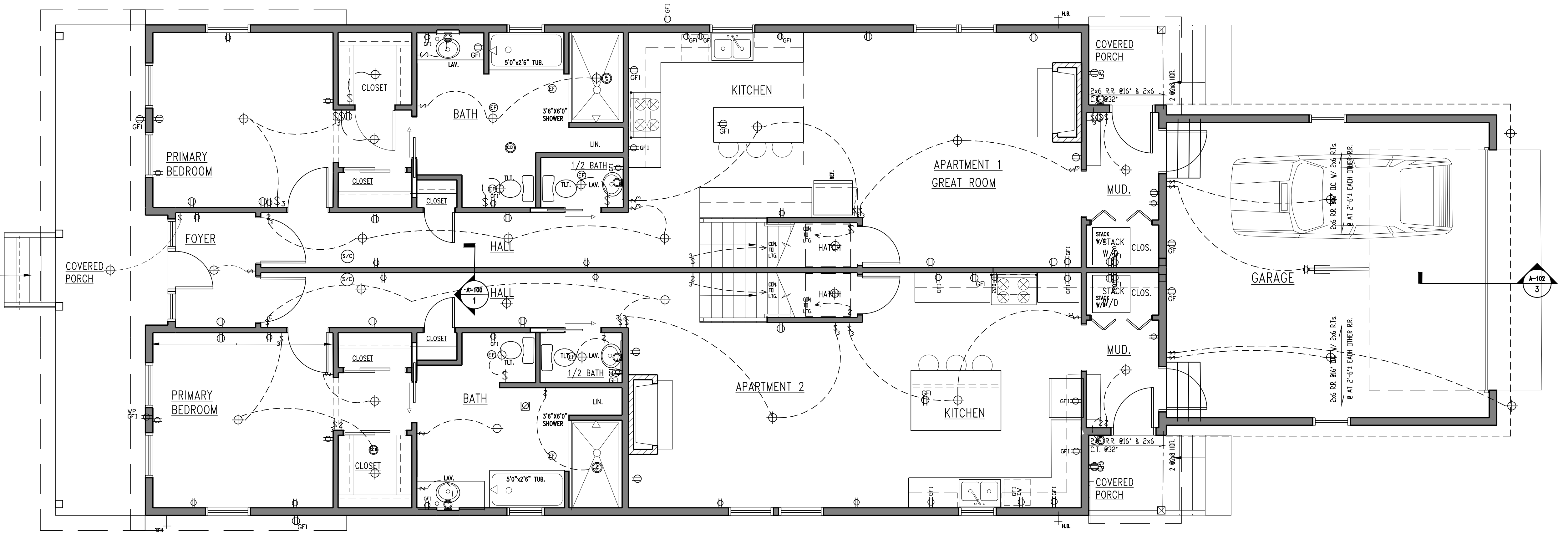
EXTC. GARAGE ROOF ALUMINUM WRAP AS REQUIRED TO ACCOMMODATE ADDITION ROOF.
NEW HARDIE VERTICAL LAP SIDING, BATTEN SIDING & TRIM AS SHOWN TO REPLACE EXTC..
EXTC. GUTTER & D.S..
B.O.F. EL+ 90'-0"±

NI
CI



NORTH EAST ELEVATION
1/4" = 1'-0"

B.O.F. EL+ 90'-0"±

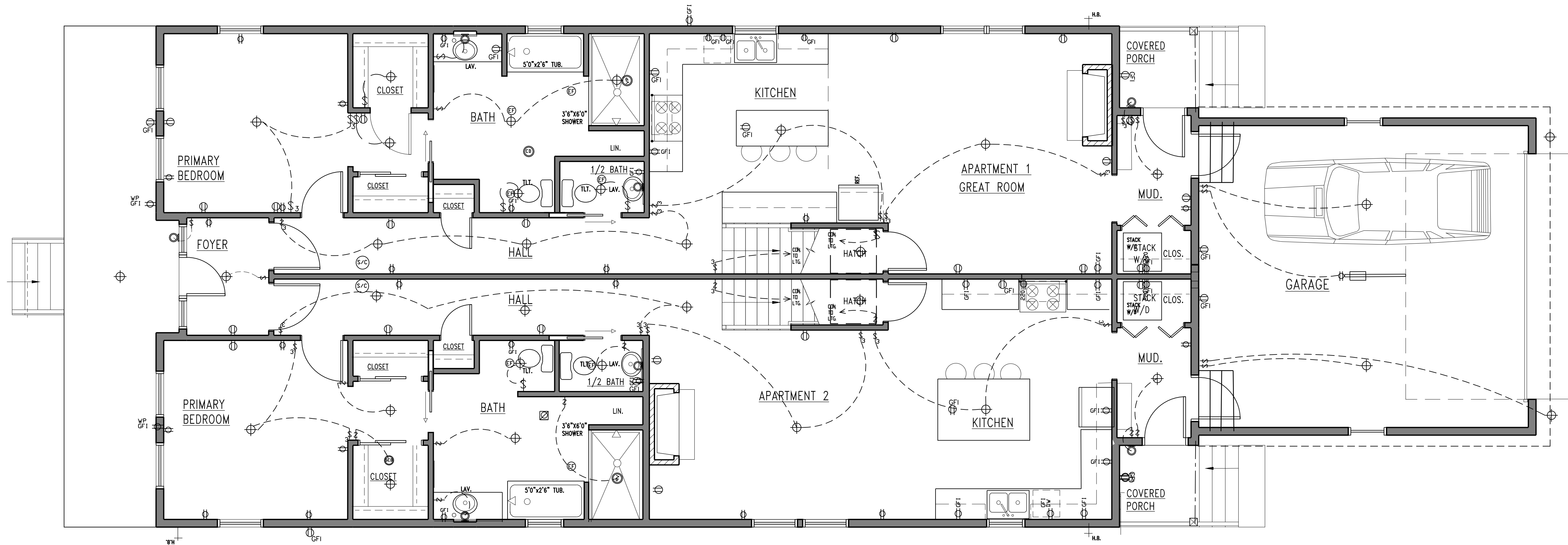


FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

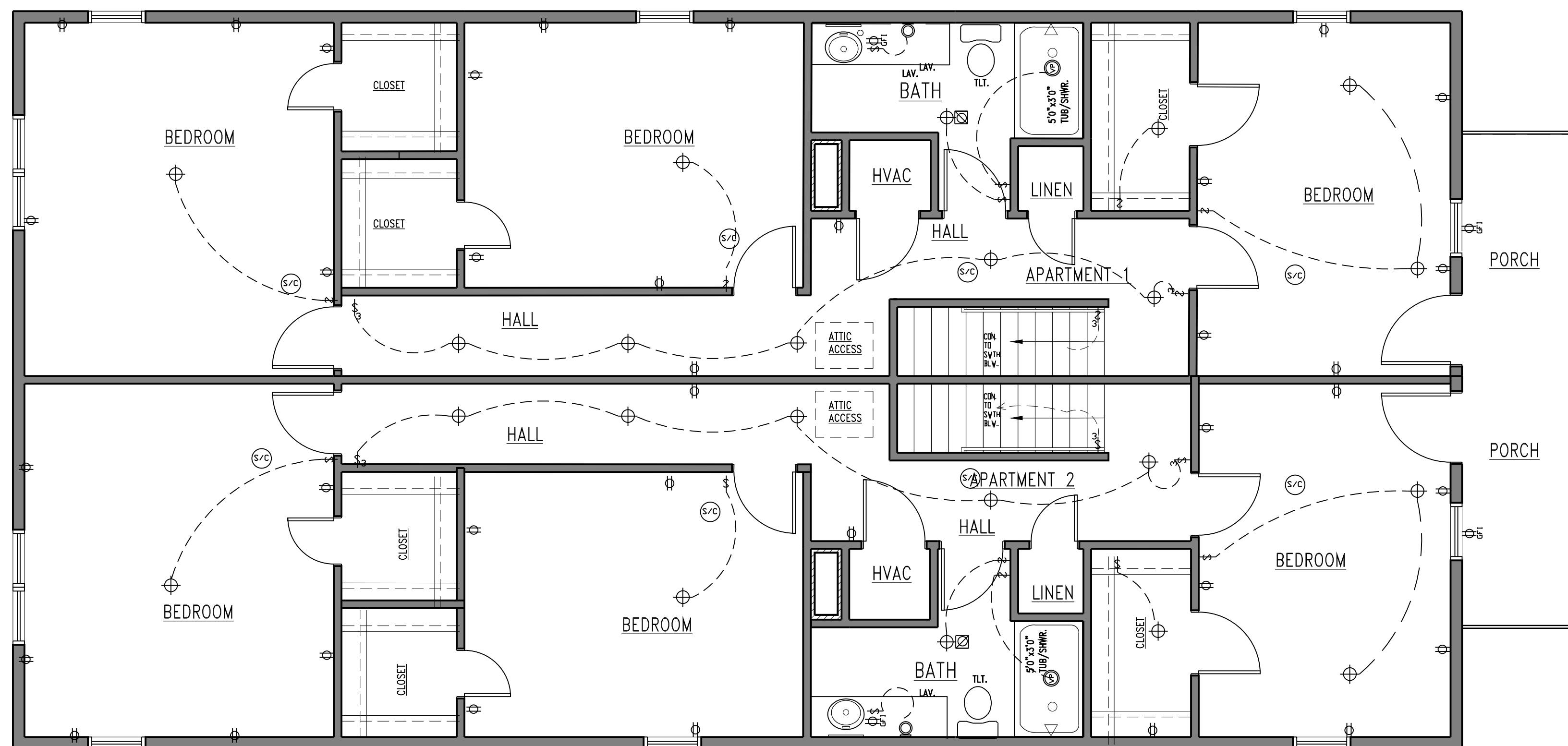
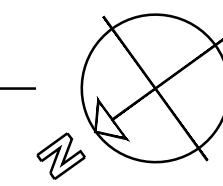




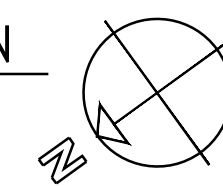
NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELV'S. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24



FIRST FLOOR ELECTRICAL PLAN
NO SCALE



SECOND FLOOR ELECTRICAL PLAN
NO SCALE



ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
⊕	CEILING LIGHT
⊙	WALL MOUNT'D. WEATHER PROOF EXTERIOR LIGHT
⊕/⊙	CEILING FAN/LIGHT COMBO (F/L)
⊕	75 CFM EXHAUST FAN
⊕	VAPORPROOF LED
⊕	ELECTRIC PANEL
⊕	AFCI OUTLET
⊕	220V OUTLET
⊕	GFI OUTLET #3'-6" AFF. UDN.
⊕	WEATHERPROOF GFI OUTLET
⊕	LED SURFACE LIGHT
⊕	SWITCH
⊕	SWITCH 3-WAY
⊕	FAN SWITCH
⊕	COMBO SMOKE DETECTOR/ALARM & C/O DETECTOR/ALARM

SPECIAL FIXTURE NOTES:
 ALL CEILING FANS TO BE WIRED FOR FAN & LIGHT EACH ON THEIR OWN SWITCHES.
 PROVIDE EXHAUST FAN & GRILL WITH 4" DUCT EXTENDED TO WALL OR ROOF EXTERIOR WITH PRESSURE ACTIVATED VENT. TYP. AT ALL EXHAUST FAN LOCATIONS INDICATED. ALL CEILING FANS TO BE WIRED FOR FAN & LIGHT EACH ON THEIR OWN SWITCHES.
 PROVIDE CEILING MTD. LIGHT FIXTURES & SWITCH AT A ATTIC ACCESS. COORD. EXACT AMOUNT LIGHTS. LOCATION WITH OWNER.
 ALL ELECTRICAL FIXTURES AND LOCATIONS SHOWN ON PLANS ARE SCHEMATIC IN NATURE. FINAL SELECTION AND LOCATIONS SHALL BE BY OWNER PER APPLICABLE CODES.
 ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUITING AND PANEL BALANCING DIAGRAMS TO BUILDING ELECTRICAL DEPARTMENT. ALL IN COMPLIANCE WITH N.E.C..
 ALL POWER OUTLETS SHALL BE ARC RESISTANT.
 ALL LIGHTS SHALL BE LED.
 COMBO SMOKE DETECTOR/ALARM & C/O DETECTOR/ALARMS SHALL BE INTERCONNECTED, HARDWIRED W/ BATTERY BACKUP. EACH OUTSIDE SLEEPING AREA SHALL INCLUDE PHOTO ELECTRIC TECH..
 ALL G.F.I. & WP GFI OUTLETS SHALL BE WATER & WEATHER PROTECTED AS REQUIRED PER APPLICABLE CODE COMPLIANCE.

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)
1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name

ENGINEERING FLOOR PLANS-DETAILS

Fischer Project Number

22.113

SHEET #

MPE-100

Seal

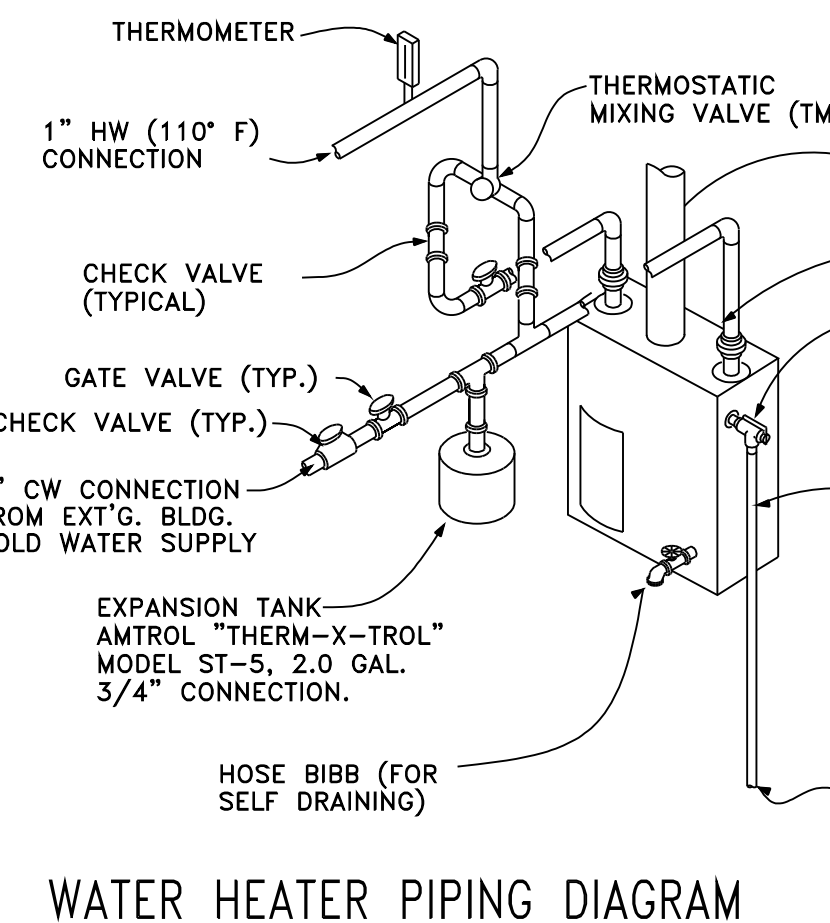
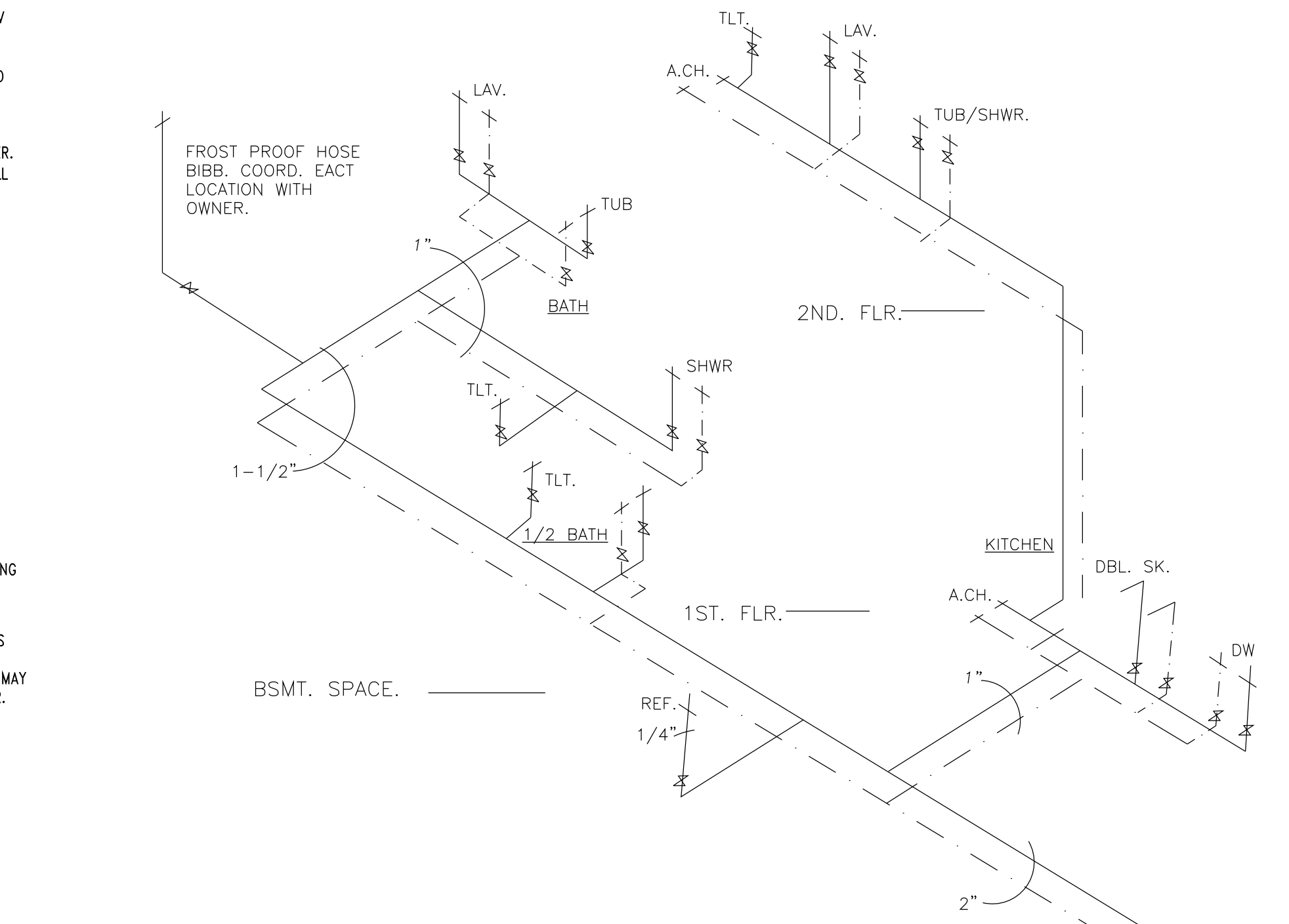
SPECIFICATIONS – ELECTRICAL WORK

- THE GENERAL CONDITIONS OF THE CONTRACT, THE SUPPLEMENTARY CONDITIONS AND ALL THE SECTIONS OF DIVISION 1, TOGETHER WITH THE FOLLOWING SPECIFICATIONS ARE A PART OF THE CONTRACT FOR THE WORK COVERED HEREIN. PROVIDE AS-BUILT DRAWINGS, GUARANTEE ALL MATERIAL AND LABOR FOR ONE YEAR FROM DATE OF PROJECT ACCEPTANCE BY OWNER. REPAIR ALL DEFECTIVE MATERIAL AT NO CHARGE DURING GUARANTEE PERIOD.
 - THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO ADDITIONAL COMPENSATION SHALL BE AWARDED WHERE EXTRA LABOR OR MATERIAL ARE REQUIRED BECAUSE OF UNFAMILIARITY.
- ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. THE ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED TO PERFORM THE ELECTRICAL WORK.
- THE DRAWINGS INDICATE DIAGRAMMATICALLY THE LOCATION OF ELECTRICAL DEVICES, EQUIPMENT AND FIXTURES, AND THE METHOD OF CONNECTION. THE DRAWINGS DO NOT INDICATE EVERY CONNECTION IN DETAIL OR ALL FITTINGS FOR A COMPLETE SYSTEM. MATERIAL OR LABOR WHICH IS NOT INDICATED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS, BUT IS ABSOLUTELY NECESSARY TO COMPLETE THE WORK, SHALL BE PROVIDED.
- BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE SIGNING THE CONTRACT OR PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT IN WRITING WILL CAUSE THE ARCHITECT'S INTERPRETATION OF THE CONTRACT DOCUMENTS TO BE FINAL.
- THE ELECTRICAL CONTRACTOR SHALL REFER TO PLANS AND SPECIFICATIONS OF THE OTHER TRADES FOR ELECTRICAL WORK PERTAINING TO THE INSTALLATION OF OTHER TRADES. COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO RESOLVE INTERFERENCES WITHOUT ADDITIONAL COST TO THE OWNER.
- THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO WHERE APPLICABLE:
 - POWER BRANCH CIRCUIT PANELBOARDS, FEEDERS, CONDUIT, BRANCH CIRCUITS, OUTLETS AND WIRING.
 - LIGHTING FIXTURES, LAMPS, MOUNTING HARDWARE, CONDUIT & WIRING.
 - EMERGENCY LIGHTING INCLUDING TESTING.
 - ALL EXCAVATION, CONCRETE AND BACKFILL WORK; ALL CHANNELING, CONCRETE PATCHING WORK REQUIRED FOR ELECTRICAL WORK EXCLUSIVELY.
 - NECESSARY CABINETS AND PULL BOXES.
 - CONNECTION OF ALL HVAC AND PLUMBING EQUIPMENT PER MANUFACTURER'S DRAWINGS. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS.
 - TEMPORARY CONSTRUCTION POWER AND LIGHTING TO ACCOMMODATE ALL TRADES.
 - GROUNDING OF ALL SYSTEMS AND EQUIPMENT.
 - ALL EQUIPMENT AND MATERIAL SHALL BE NEW AND BEAR U.L. LABELS AND LISTINGS.
 - SUBMIT 6 SETS OF SHOP DRAWINGS FOR ALL EQUIPMENT PRIOR TO ORDERING FOR THE PROJECT.
 - COORDINATE WORK WITH THE OTHER TRADES FOR SPACE REQUIREMENTS, DISCREPANCIES OR CONFLICT OF WORK. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE ELECTRICAL WORK. VERIFY EXACT LOCATIONS OF DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
 - ROMEX MAY BE USED WHERE ALLOWED BY CODE. ANY CONDUIT SHALL BE E.M.T. WITH SET SCREW FITTINGS CONCEALED ABOVE GRADE. CONDUIT SUPPORTS, FASTENERS, ETC. SHALL BE GALVANIZED AND CORROSION RESISTANT. SUPPORT CONDUIT FROM BUILDING STRUCTURE ONLY. DO NOT USE CEILING HANGER WIRES THE USE OF PERFORATED METAL STRAPS IS NOT PERMITTED ON THE PROJECT. CONDUITS INSTALLED BELOW GRADE OR FLOOR SLAB SHALL BE PVC SCHEDULE 40 WITH RGS-UL-6 TRANSITION PRIOR TO EXITING ABOVE GRADE. PROVIDE & INSTALL YELLOW MARKER TAPE IN ALL EXTERIOR CONDUIT TRENCHES, 12" BELOW GRADE. ABSOLUTELY NO PVC SHALL BE PERMITTED ABOVE FLOOR LINE WITHIN BUILDING. TYPE NM CABLE IS NOT PERMITTED ON THE PROJECT. OUTLET BOXES IN DRY LOCATIONS SHALL BE GALVANIZED STEEL TYPE, 1-1/2" DEEP MINIMUM, SINGLE OR GANG STYLE OF SIZE TO ACCOMMODATE DEVICES NOTED. BOXES SHALL BE EQUIPPED WITH PLASTER RINGS AS NECESSARY.
 - ROMEX FOR HVAC AND PLUMBING EQUIPMENT CONNECTIONS SHALL BE LIQUID TIGHT FLEXIBLE METAL CONDUIT, 1/2" MINIMUM SIZE.
 - FIRE STOP ALL FIRE RATED FLOOR AND WALL PENETRATIONS PER UL APPROVED METHOD, SUCH AS RTV FOAM (NON-DELETERIOUS). CONDUIT STUBS FOR TELEPHONE, SHALL BE SEALED BY ELECTRICAL CONTRACTOR WITH RTV FOAM AFTER CABLE INSTALLATION BY RESPECTIVE CONTRACTORS. RACEWAY PASSING FROM THE INTERIOR TO THE EXTERIOR OF THE BUILDING SHALL BE FILLED WITH AN APPROVED MATERIAL TO PREVENT THE CIRCULATION OF WARM AIR TO A COLDER SECTION OF THE RACEWAY.
 - ROMEX MAY BE USED WHERE ALLOWED BY CODE. WIRE SHALL HAVE SOLID OR STRANDED COPPER CONDUCTORS FOR #10 AND #12 WIRE AND STRANDED COPPER CONDUCTORS FOR WIRE #8 AND LARGER. WIRE SHALL HAVE 600VOLT THHN/THWN INSULATION. MINIMUM SIZE WIRE SHALL BE #12 AWG. TAG ALL CONDUCTORS AT TERMINATIONS AT JUNCTION BOXES WITH BRADY LABELS. TORQUE TERMINATIONS PER MANUFACTURER'S RECOMMENDATIONS.

- COLOR CODE WIRING AS FOLLOWS: 240/120 VOLTS
BLACK A WHITE N
RED B GREEN G
- PANEL DIRECTORIES SHALL BE TYPED. PROVIDE AND INSTALL ENGRAVED PHENOLIC NAME PLATES FOR MOTOR STARTERS, PANELBOARDS, SAFETY SWITCHES, ETC.
 - TEST WIRING SYSTEMS FOR SHORTS AND GROUNDS PRIOR TO ENERGIZING CIRCUITS. CONNECT ALL HVAC EQUIPMENT PER APPROVED MANUFACTURER'S DRAWINGS. TEMPERATURE CONTROL WIRING, CONDUIT AND DEVICES SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR. SEE MECHANICAL SPECIFICATIONS.
 - ALL EQUIPMENT INSTALLED ON EXTERIOR SHALL BE WEATHERPROOF. EXTERIOR BUILDING DEVICES AND FIXTURES SHALL BE SECURED WITH STAINLESS STEEL SCREWS, PENETRATE ROOF, WHERE NECESSARY, WITH PATE CURBS. COORDINATE LOCATION WITH ARCHITECT AND ROOFING CONTRACTOR.
 - VERIFY CEILING CONSTRUCTION WITH THE GENERAL CONTRACTOR & COORDINATE LIGHT FIXTURE MOUNTING WITH CEILING CONSTRUCTION. SUPPORT ALL RECESSED LIGHTING FIXTURES INDEPENDENTLY OF CEILING SUSPENSION SYSTEMS. INSTALL LIGHT FIXTURES TO PRECLUDE CONTACT WITH INSULATION MATERIAL.
 - WIRING DEVICE COVER PLATES SHALL BE SMOOTH, HIGH IMPACT, NYLON, IVORY COLOR. WIRING DEVICES SHALL BE AS LISTED IN THE SYMBOL LEGEND ON THE DRAWINGS. THE WIRING DEVICES LISTED ARE INDICATED TO DEFINE THE TYPE AND QUALITY OF EQUIPMENT REQUIRED. THE ELECTRICAL CONTRACTOR MAY SUBMIT SIMILAR WIRING DEVICES AS MANUFACTURED BY COOPER WIRING DEVICES OR PASS & SEYMOUR.
 - GROUNDING OF EQUIPMENT AND DEVICES SHALL COMPLY WITH N.E.C. ARTICLE 250 AND AUTHORITY HAVING JURISDICTION. PROVIDE AND INSTALL A SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS. PROVIDE GROUNDING OF FOUNDATION REIN. PER N.E.C. 250.52.
 - THE ELECTRICAL CONTRACTOR IS CAUTIONED THAT THE BUILDING IS OCCUPIED AND WORK SHALL NOT INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING AND ITS TENANTS. THE PROJECT SHALL BE MANNED AT ALL TIMES BY A COMPETENT FOREMAN.

SPECIFICATIONS – MECHANICAL WORK

- GENERAL
 - THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE INSTALLATION OF H.V.A.C., AND PLUMBING SYSTEMS AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN.
 - ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE CODES AND ORDINANCES. MECHANICAL CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, LICENSES, INSPECTIONS, ETC., AS REQUIRED FOR COMPLETION OF ALL WORK.
 - MECHANICAL CONTRACTOR SHALL VISIT SITE BEFORE SUBMITTING HIS BID, AND NOTE THE WORK THAT WILL BE REQUIRED, AND THE NATURE OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. NO CLAIMS FOR "EXTRA" COMPENSATION DUE TO UNFAMILIARITY WITH EXISTING CONDITIONS AND/OR DESIGN DRAWINGS OR SPECIFICATIONS WILL BE CONSIDERED.
 - CUTTING AND PATCHING OF STRUCTURES AS REQUIRED FOR THE INSTALLATION OF WORK SHALL BE INCLUDED IN THIS CONTRACT.
 - MECHANICAL CONTRACTOR SHALL INCLUDE ALL EXCAVATION AND BACKFILLING REQUIRED FOR UNDERGROUND PIPING.
 - ALL MATERIALS USED FOR THIS WORK SHALL BE NEW AND BEAR U.L. LABEL WHEN REQUIRED.
 - MECHANICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT, MATERIALS AND HVAC DUCTWORK LAYOUT FOR APPROVAL PRIOR TO INSTALLATION.
 - ANY SUBSTITUTIONS OF MATERIALS OR EQUIPMENT SPECIFIED MUST BE APPROVED BY OWNER.
 - MECHANICAL CONTRACTOR SHALL GUARANTEE ALL WORK, INCLUDING MATERIAL AND WORKMANSHIP, FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.
- PLUMBING & ACCESSORIES
 - SANITARY WASTE & VENT PIPING & FITTINGS SHALL BE PVC SCHEDULE 40 DRAINAGE PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPE IS NOT PERMITTED IN RETURN AIR CEILING PLENUMS. WASTE AND VENT PIPING IN RETURN AIR PLENUM AND WHERE PVC IS NOT ALLOWED SHALL BE "NO-HUB" CAST IRON STANDARD WEIGHT WITH CAST IRON FITTINGS.
 - DOMESTIC WATER: COPPER TYPE "L" HARD, WITH WROUGHT COPPER FITTINGS, 95-5 SOLDER JOINTS, 2" AND SMALLER UNDER FLOOR SHALL BE TYPE "K" SOFT COPPER.
 - VALVES: GATE - 2" AND SMALLER CRANE #428, GLOBE - 2" AND SMALLER CRANE #7, CHECK VALVE - 2" AND SMALLER CRANE #57, GAS COCK - CRANE #1228. EQUIVALENT VALVES BY POWELL OR FAIRBANKS ARE ACCEPTABLE.
 - HANGERS: INSULATED HANGERS - GRINNELL FIGURE 260. PROVIDE 18 GAUGE GALVANIZED STEEL SHIELD OVER INSULATION. UNINSULATED HANGERS - GRINNELL FIGURE 260, SPACED AT 10'-0" O.C. FOR PIPES 1-1/2" AND LARGER AND 6'-0" O.C. FOR PIPES 1-1/4" AND SMALLER.
 - SLEEVES: PROVIDE SLEEVES FOR ALL PIPES PASSING THROUGH WALLS AND FLOORS, SCHEDULE 40, MACHINE CUT PIPE. SLEEVE SIZE TO PROVIDE MINIMUM 1/4" CLEARANCE ON ALL SIDES OF INSULATED AND NON-INSULATED PIPES, WITH ENDS OF SLEEVES PARTITION FACE. THE VOID BETWEEN SLEEVE AND PIPE SHALL BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO MAINTAIN INTEGRITY OF FIRE RATING.
 - PLUMBING FIXTURES: FURNISH AND INSTALL PLUMBING FIXTURES COMPLETE WITH TRIM, HANGERS, CARRIERS, TRAPS, SUPPLIES, STOP VALVES, ANCHORS, AND SUPPORTS. EXPOSED TRIM SHALL BE CHROME PLATED. PROVIDE CHROME PLATED ESCUTCHEONS AT ALL PIPES PENETRATING WALLS. FAUCETS SHALL HAVE RENEWABLE SEATS AND DISCS. FLUSH VALVES SHALL HAVE STOPS, VACUUM BREAKERS AND METAL HANDLES. FIXTURES SHALL BE KOHLER, CRANE OR AMERICAN STANDARD.
 - FLOOR DRAIN: JESAM SERIES 30000-S WITH DOUBLE DRAINAGE FLANGE, SATIN BRONZE STRAINER AND TRAP PRIMER CONNECTION.
 - CLEANOUT: FLUSH FLOOR TYPE JESAM #58000 SATIN NIKALOY TOP AND MARKED "C.O.". WALL CLEANOUTS SHALL BE JESAM #58770 WITH SQUARE ACCESS COVER, POLISH NIKALOY FINISH.
 - SHOCK ABSORBERS: PROVIDE AND INSTALL ON BRANCH WATER LINE TO EACH GROUP OF FIXTURES A FACTORY-BUILT SHOCK ABSORBER TO PREVENT WATER HAMMER. ZURN Z-17W, JOSAM OR J.R. SMITH.
 - WALL HYDRANT: NON-FREEZE WALL HYDRANT SHALL BE ZURN Z-1521 ANTI-SIPHON AND AUTOMATIC DRAINING.



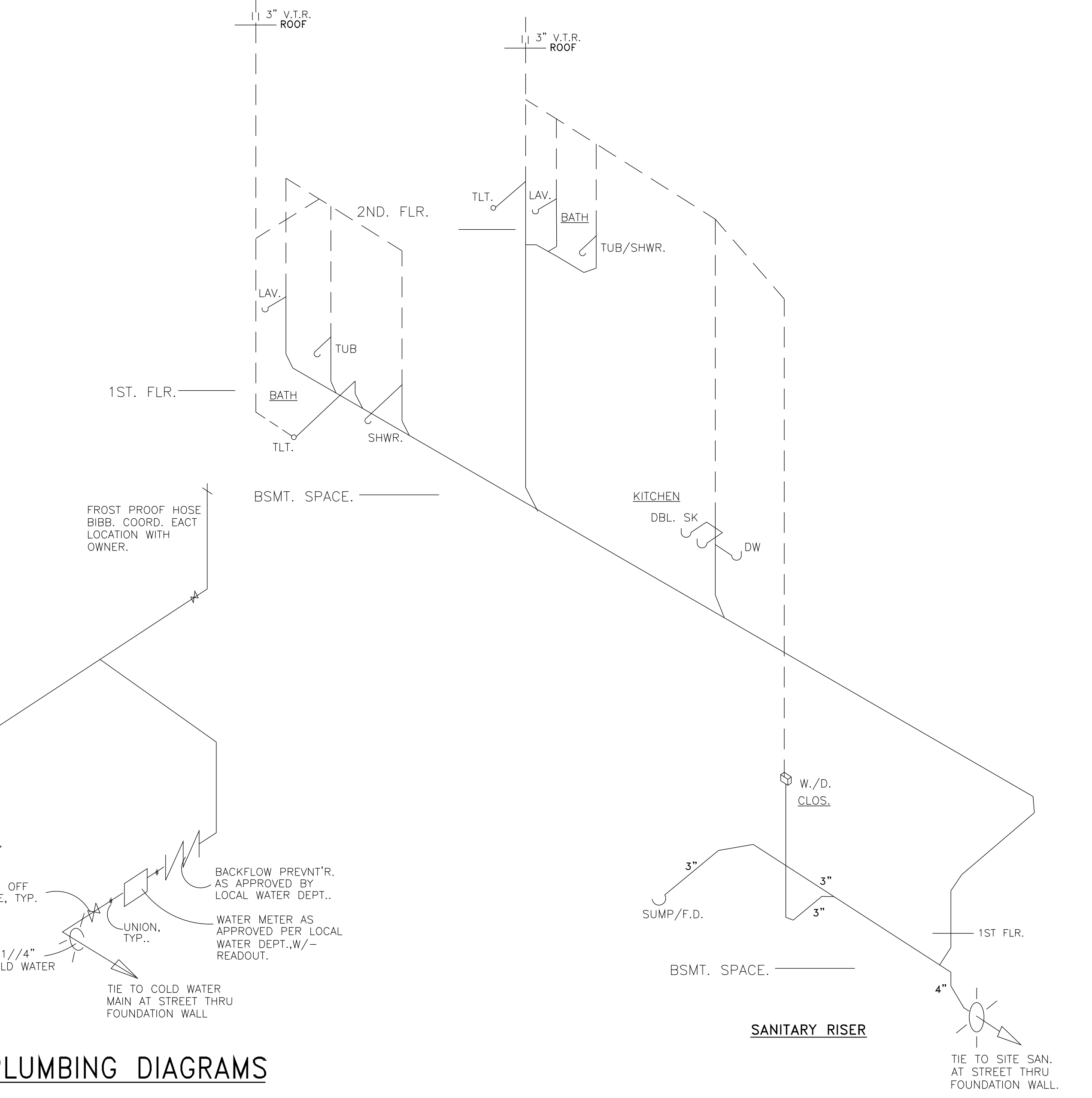
WATER HEATER PIPING DIAGRAM

SPECIFICATIONS – MECHANICAL WORK (CONTINUED)

- TRAP PRIMER: PRECISION PLUMBING PRODUCTS, INC. MODEL "OREGON #1", ZURN OR JOSAM. UNIT SHALL BE ASSE APPROVED AND CAPABLE OF SERVING 1 TO 8 FLOOR DRAINS. INSTALL TRAP PRIMER WHERE SHOWN OR AS REQUIRED BY CODES. PRIMER SHALL BE ACCESSIBLE FOR SERVICE AND SHALL HAVE SHUT-OFF VALVE IN SUPPLY LINE FOR ISOLATION. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE TRAP PRIMER FOR ALL FLOOR DRAINS/SINKS SUBJECT TO EVAPORATION PER CODES.
- VENTS AND FLASHING: RUN 4" MINIMUM VENT UP THROUGH ROOF AND EXTEND MINIMUM 12" ABOVE ROOF AND PROVIDE FLASHING.
- DOMESTIC WATER SYSTEMS SHALL BE THOROUGHLY FLUSHED AND DISINFECTED BEFORE BEING PUT INTO SERVICE PER METHODS IN ANWA C651-86 PUBLICATION "A PROCEDURE FOR DISINFECTING WATER MAINS", OR AS REQUIRED BY GOVERNING CODE. THE CONTRACTOR SHALL SUBMIT WRITTEN STATEMENT CERTIFYING THAT SYSTEM HAS BEEN PROPERLY FLUSHED, PURGED AND DISINFECTED AND DATE WHEN WORK WAS PERFORMED.
- H.V.A.C. WORK:
 - SHEET METAL & ACCESSORIES:
 - ALL DUCTWORK SHALL BE MADE FROM GALVANIZED STEEL, WITH ALL CONSTRUCTION AND GAUGES CONFORMING TO ASHRAE AND SMACNA RECOMMENDATIONS. JOINTS IN SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE SEALED WITH UNITED DUCT SEALANT OR HARD CAST TYPE. ALL ROUND DUCTWORK SHALL BE SPIRAL AS MANUFACTURED BY UNITED MCWILL CO., SEMCO, LINDAR, OR AS APPROVED. ROUND DUCTWORK SHALL HAVE TELESCOPIC JOINTS SEALED WITH UNITED DUCT SEALER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL SQUARE ELBOWS SHALL HAVE TURNING VANES, CURVED ELBOWS SHALL BE FULL RADII.
 - ALL DUCTS SHALL BE ISOLATED FROM FANS BY NEOPRENE FLEXIBLE CONNECTIONS.
 - FLEXIBLE DUCT SHALL BE LISTED BY U.L. AND CONFORM TO NFPA 90A. DUCT SHALL BE CLEVALEX TYPE 12VF, OR THERMAFLEX.
 - SUPPLY AIR DIFFUSERS IN LAY-IN CEILING: TYPE A TITUS MODEL TWS & TYPE B MODEL TDC DIFFUSERS WITH OPPOSED BLADE VOLUME DAMPER. CEILING DIFFUSERS MODULE SHALL BE OF SIZE AS SHOWN ON DRAWINGS. SUPPLY AIR REGISTER SHALL BE TITUS 300 RS DOUBLE DEFLECTION WITH OPPOSED BLADE VOLUME DAMPER. EXHAUST OR RETURN AIR REGISTERS, TITUS MODEL 350RL WITH OPPOSED BLADE DAMPER. RETURN TRANSFER AIR GRILLES - TITUS 350RL. ALL WITH BAKED ENAMEL OFF-WHITE FINISH.
 - ALSO PROVIDE COMBUSTION, VENTILATION & DILUTION AIR FOR FUEL BURNING APPLICATIONS. PROVIDE COMBUSTION AIR OPENINGS IN THE AREA CONTAINING FURNACE AND WATER HEATER INCLUDING THE SPACE. OPENING SHALL BE 100 SQ. INCHES AS REQUIRED PER EQUIPMENT WITH II 12" OF TOP & BOTTOM OF ENCLOSURE. ALL AS REQUIRED PER SELECTED MANUFACTURERS EQUIPMENT & APPLICABLE CODE (R2407.5.3.1)
 - PROVIDE FIRE DAMPERS AS SHOWN & REQUIRED BY APPLICABLE CODES. FIRE DAMPERS SHALL BE U.L. LISTED & INSTALLED PER MANUFACTURER'S REQUIREMENTS - RUSKIN 180-2 STYLE "B", CLASS "A".
 - INSTALL VOLUME DAMPER IN EACH BRANCH TAKE-OFF AND TITUS #AG-45 EXTRACTORS.
 - BALANCING DAMPER IN RECTANGULAR DUCTS SHALL BE RUSKIN MODEL MD-36, ROUND DUCTS RUSKIN MODEL MDRS-25.
 - H.V.A.C. EQUIPMENT
 - EXISTING OR NEW SPLIT AIR CONDITIONING UNIT/S PER OWNER SELECTED & H.V.A.C. CONTRACTOR. UTILIZE EXT'G. OR PROVIDE NEW SPLIT AIR CONDITIONING SYSTEM/S, INCLUDING HIGH EFFICIENCY CONDENSING FURNACE WITH ELECTRONIC IGNITED GAS BURNER, FILTERS, DX-COOLING COIL AND REMOTE AIR COOLED CONDENSING UNIT AND ROOM THERMOSTAT WITH SUB-BASE. FOR PERFORMANCE SPECIFICATIONS, SEE DRAWINGS TO ACCOMMODATE NEW ADDITION & REVISIONS. EXACT LOCATION OF FURNACE & A/C ELEMENTS SHALL BE SELECTED BY OWNER PER APPLICABLE CODES.
 - EXHAUST FANS, ELECTRIC HEATERS AND ALL OTHER EQUIPMENT SEE SPECIFICATIONS AND REF. FLOOR PLAN DRAWINGS.

SPECIFICATIONS – MECHANICAL WORK (CONTINUED)

- AUTOMATIC TEMPERATURE CONTROLS
 - FURNISH AND INSTALL ELECTRONIC/ELECTRIC CONTROL SYSTEM TO PERFORM THE FUNCTIONS AS DESCRIBED UNDER THE "SEQUENCE OF OPERATION".
 - CONTRACTOR SHALL SUBMIT COMPLETE SYSTEM DESIGN DRAWINGS, SEQUENCE OF CONTROLS, CATALOG CUTS OF ALL CONTROL COMPONENTS AND WIRING DIAGRAM.
 - ALL LOW VOLTAGE CONTROL WIRING SHALL BE IN CONDUITS AND PANELS AND CONTROL WIRING SHALL CONFORM TO N.E.C. CODES AND OTHER CODES HAVING JURISDICTION.
 - ROOM THERMOSTAT (HEATING/COOLING) SHALL BE PROVIDED BY THE AIR CONDITIONING UNIT MANUFACTURER. THERMOSTAT SHALL BE ELECTRONIC PROGRAMMABLE MICRO PROCESSOR BASED AND SHALL INCLUDE SUB-BASE WITH FAN "ON-AUTO" AND SYSTEM "HEAT-COOL-AUTO-OFF" SWITCHES.
- SEQUENCE OF CONTROLS
 - ACU-1 Split System:
 - THE UNIT SHALL BE TURNED "ON" AND "OFF" FROM ROOM THERMOSTAT. FAN SHALL RUN CONTINUOUSLY WHEN BUILDING IS OCCUPIED AND OUTSIDE AIR DAMPER SHALL BE OPEN. ROOM THERMOSTAT SHALL MAINTAIN THE "SET" TEMPERATURE BY CONTROLLING THE GAS BURNER FOR HEATING OR REFRIGERATION CYCLE FOR COOLING. PROVIDE NIGHT SET BACK CONTROLS FOR WINTER MONTHS. DURING NIGHT SET BACK CONTROLS, GAS BURNER AND FAN SHALL CYCLE TO MAINTAIN "SET" TEMPERATURE AND OUTSIDE AIR DAMPER SHALL BE FULLY CLOSED.
 - IONIZATION TYPE SMOKE DETECTOR COMPLETE WITH DUCT SAMPLING CHAMBER SHALL BE LOCATED IN THE RETURN AIR DUCT OF AC UNITS SMOKE DETECTOR SHALL STOP THE FAN AND CLOSE THE OUTSIDE AIR DAMPER, SMOKE DETECTOR SHALL STOP THE FAN AND CLOSE THE OUTSIDE AIR DAMPER, IF IT SENSES PRODUCTS OF COMBUSTION IN THE AIR STREAM. THIS ITEM FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 - EXHAUST FANS SHALL BE TURNED "ON" AND "OFF" THRU LOCAL LIGHT SWITCH.
- INSULATION
 - INSULATION SHALL BE TESTED PER ASTM E-84 DESIGNATION AND SHALL MEET THE REQUIREMENTS OF FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPED LESS THAN 50.
 - DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED WITH ONE (1) INCH THICK FIBERGLASS 25 ASJ/SSL. PROVIDE VAPOR BARRIER JACKET FOR COLD WATER PIPING.
 - ALL SUPPLY AND RETURN AIR DUCTS SHALL BE INSULATED WITH ONE AND HALF (1-1/2") INCH FIBERGLASS BLANKET INSULATION WITH VAPOR BARRIER JACKET.
 - REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX INSULATION.
 - INSTALL INSULATION PER MANUFACTURER'S RECOMMENDATIONS.
- TESTING AND AIR BALANCING
 - SANITARY SEWER AND GAS PIPING SHALL BE TESTED AS REQUIRED BY LOCAL PLUMBING CODES.
 - ALL WATER PIPING SHALL BE TESTED TO 125 PSIG HYDROSTATIC PRESSURE FOR SIX (6) HOURS BEFORE IT IS CONCEALED.
 - AIR BALANCING AND TESTING SHALL BE PERFORMED BY AN INDEPENDENT AGENCY THAT IS A MEMBER OF THE ASSOCIATED AIR BALANCE COUNCIL AND IN ACCORDANCE TO LATEST A.A.B.C. FORMS, COCHRAN AIR BALANCE, KAHOE AIR BALANCE CO., OR PROFESSIONAL BALANCE CO. ARE APPROVED MEMBERS.
 - AIR DELIVERIES FOR ALL FANS, DIFFUSERS AND GRILLES SHALL BE ADJUSTED, BALANCED AND GUARANTEED TO THE AIR QUANTITIES SHOWN ON THE DRAWINGS.
 - FOR EACH AIR HANDLING OR FAN DEVICE, LIST MAKE AND MODEL NUMBER, MOTOR DATA, DESIGN AND FIELD TESTED CFM, RPM, SUCTION, DISCHARGE AND TOTAL STATIC PRESSURES, MOTOR AMPS, VOLTS, PERCENT OF LOAD, BHP, ETC. FOR EACH DIFFUSER, REGISTER, AND GRILLE, PROVIDE MODEL, MAKE, SIZE, LOCATION, FACE VELOCITY AND CFM.
 - SUBMIT FINAL DATA IN BOUND FORM WITH HARD COVER AFTER COMPLETION OF AIR BALANCING.
 - ALL AUTOMATIC TEMPERATURE CONTROLS SHALL BE ADJUSTED AND SET FOR PROPER OPERATION.



SCHEMATIC PLUMBING DIAGRAMS
NO SCALE

ENGINEERING COORDINATION:

PLUMBING
PLUMBING SYSTEM IS EXISTING & NEW. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW LAYOUT WHERE APPLICABLE. NEW PLUMBING FIXTURES SELECTED BY OWNER.
COORDINATE WITH FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR EXT'G. ALTERATIONS & NEW ADDITION SCHEMATIC PLUMBING FIXTURE LOCATIONS AND INFORMATION. PLUMBING FIXTURE SELECTIONS BY OWNER PER APPLICABLE N.E.C. CODE.
ANY PLUMBING WORK TO BE DONE BY LICENSED PLUMBING CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODE AND ORDINANCES.
PLUMBING CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.
H. V. A. C.
H.V.A.C. SYSTEM IS EXISTING AND OR NEW. TYPICAL U.O.N.. MODIFY AS REQUIRED TO ACCOMMODATE EXT'G. ALTERATIONS & NEW ADDITION LAYOUT. REF. FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR BUILDING LAYOUT. COORD SYSTEM TYPE AND DETAILS WITH OWNER. SUBMIT SHOP DRAWINGS FILED UNDER SEPARATE PERMIT.
UPGRADE & REBALANCE EXT'G. OR PROVIDE NEW SYSTEM AS REQUIRED TO ACCOMMODATE ALTERATIONS TO EXISTING & NEW ADDITION LAYOUT PER OWNERS SELECTION. INSTALL PER SELECTED MANUFACTURERS' RECOMMENDATIONS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. COORDINATE WITH OWNER FOR NUMBER AND LOCATION OF ZONES.
ALL HEATING & AIR CONDITIONING WORK TO BE DONE BY LICENSED MECHANICAL CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODE AND ORDINANCES.
MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.

ELECTRICAL

ELECTRICAL SYSTEM IS EXISTING AND NEW. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW LAYOUT.
COORDINATE WITH FLOOR PLAN ENGINEERING DRAWINGS/MPE-100 FOR EXT'G. ALTERATIONS & NEW ADDITION SCHEMATIC ELECTRICAL FIXTURE LOCATIONS AND INFORMATION. ELECTRICAL FIXTURE SELECTION BY OWNER PER APPLICABLE N.E.C. CODE.
ALL ELECTRICAL WORK TO BE DONE BY LICENSED ELECTRICAL CONTRACTOR ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DRAWINGS, PERMITS AND FEES REQUIRED BY LOCAL OR STATE OFFICIALS HAVING JURISDICTION.
SPECIAL
CAP OFF AND DISCONNECT ALL UNUSED PLUMBING, H.V.A.C. & ELECTRICAL BEHIND WALLS, IN CEILING OR UNDER FLOORS.
CONNECT ALL NEW UTILITIES TO EXISTING AND OR NEW PROJECT SPACE BUILDING UTILITY SYSTEMS. UTILIZE EXISTING BUILDING UTILITIES WHERE POSSIBLE, CODE COMPLIANT AND COST EFFECTIVE.

PLUMBING WORK NOTES:

PLUMBING SUPPLY LINES SHALL BE 1/2" U.O.N.
PLUMBING VENT LINES SHALL BE 1 1/2" U.O.N.
VENT ALL PLUMBING STACKS TO 3" V.T.R. U.O.N..
ALL WASTE PIPING UNDER SLABS SHALL 3" U.O.N..
VENT ALL PLUMBING STACKS TO REAR ELEVATION ROOFS.
SUPPLY PIPING:
COPPER OR PEX MAY BE USED WHERE ALLOWED BY CODE.

FISCHER & ASSOCIATES

F

ARCHITECTS INC.

554 West Ninth Street
Lorain, Ohio 44052
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates	© 2021
ISSUE:	DATE:
NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24
Client Name/Project Name/Address	

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)
1464 Riverside Drive
Lakewood, Ohio 44107

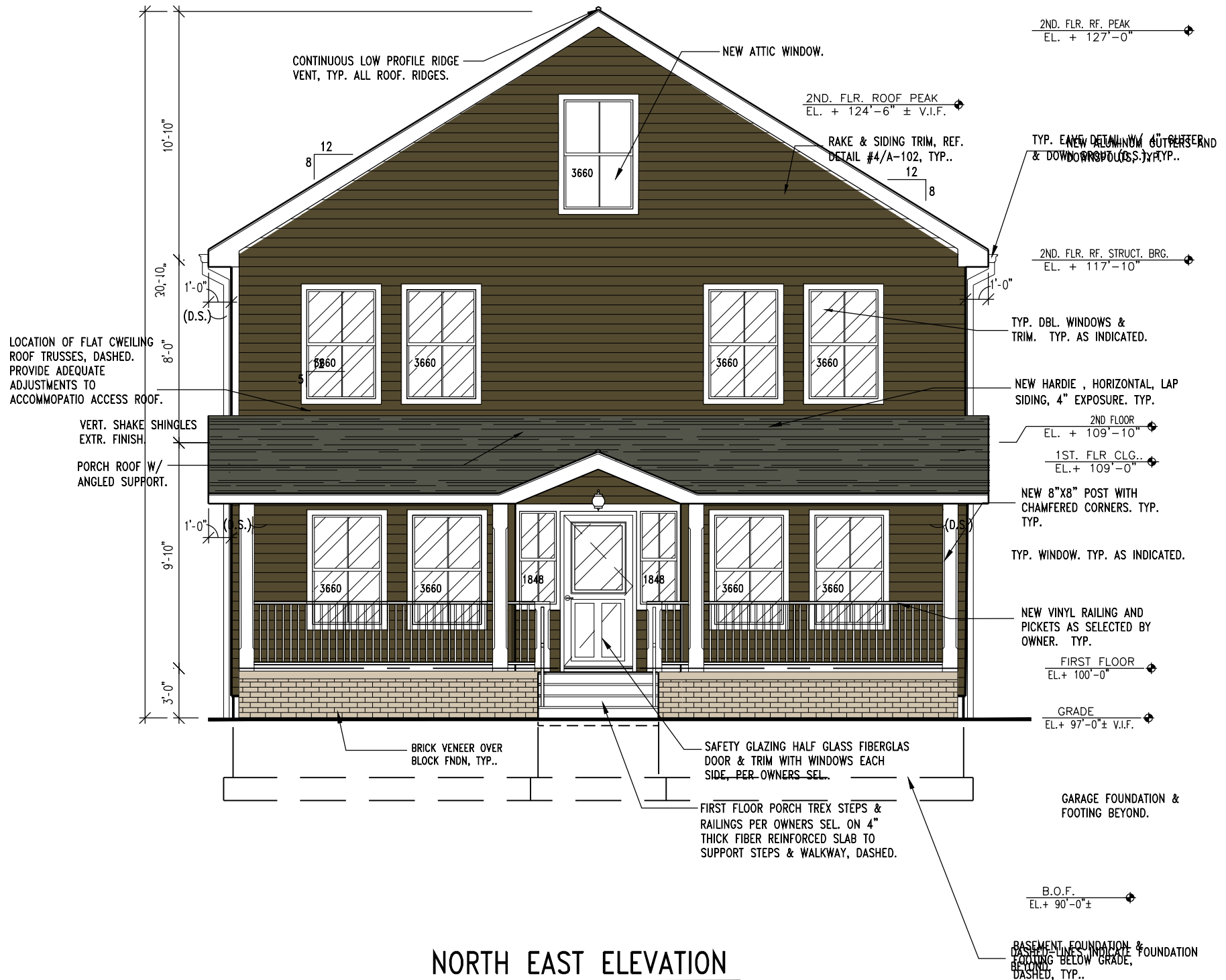
Drawing Name
**ENGINEERING SPECS-PLUMBING DETAILS-
NOTES-DETAILS**

Fischer Project Number
22.113

SHEET #

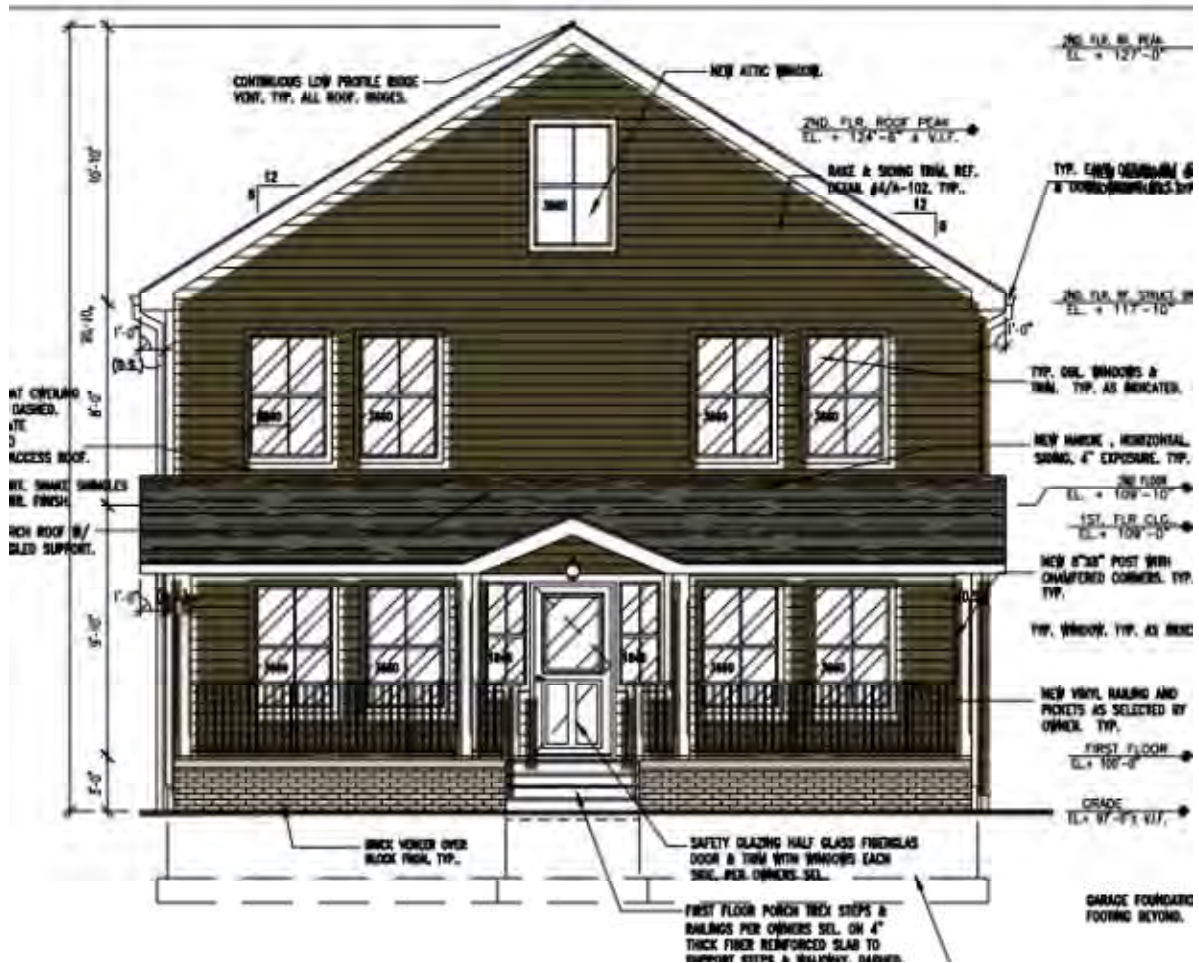
MPE-101

Seal



NORTH EAST ELEVATION

1/4" = 1'-0"



RIVERSIDE DR.

PLANTING SCHEDULE	
A	DWARF JAPANESE MAPLE - CRIMSON QUEEN
B	HYDRANGEA - ENDLESS SUMMER-SUMMER CRUSH
C	LEUCOTHOE - EVERGREEN
D	BOXWOOD - WINTERGREEN



JAPANESE MAPLE



HYDRANGEA

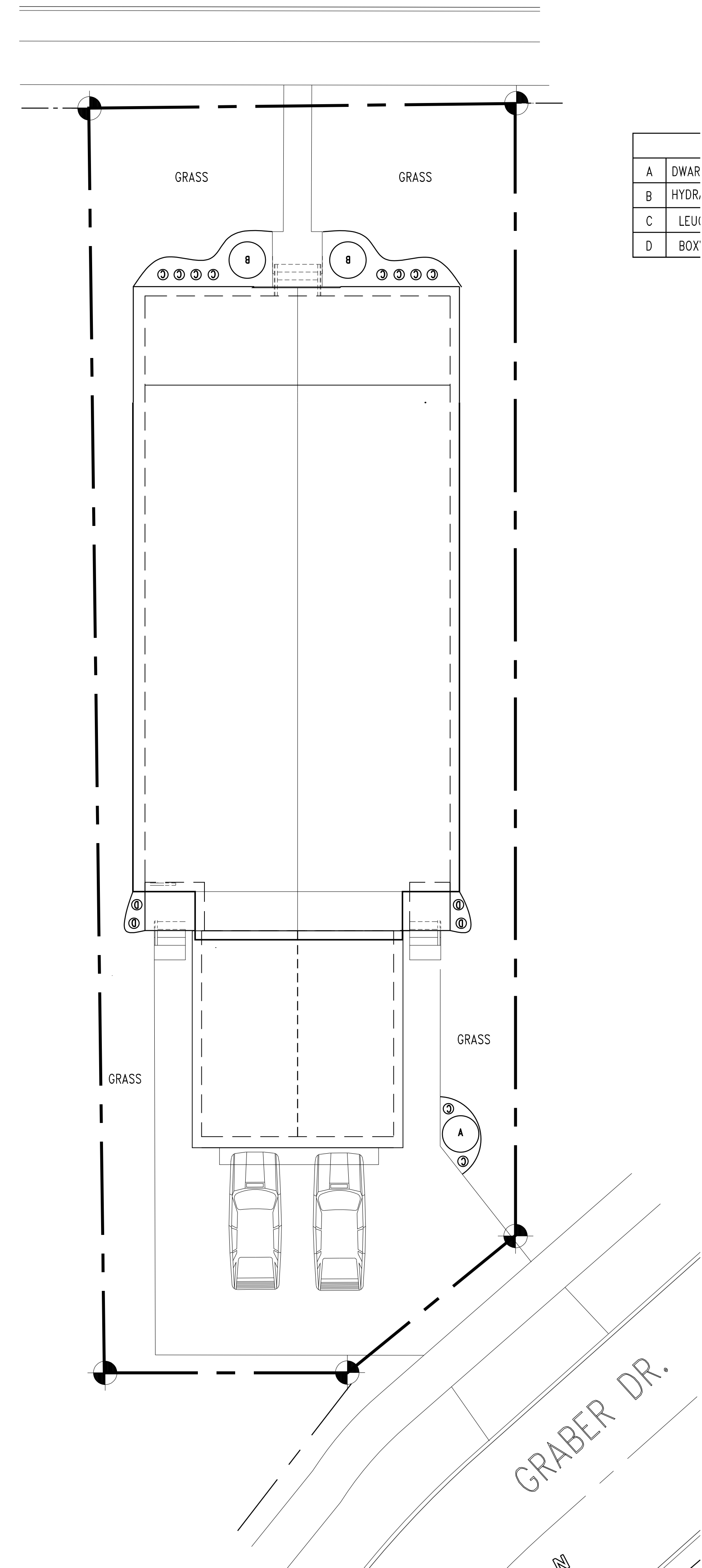


LEUCOTHUE



BOXWOOD

A	DWAR
B	HYDR.
C	LEUC
D	BOX



FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street
Lorain, Ohio 44052
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021
ISSUE: DATE:

NEW HOUSE PLAN PRELIM	03/28/23
NEW HOUSE ELEVATIONS PROGRESS	03/30/23
NEW HOUSE ELEV. & FLR. PLANS PROGRESS	04/05/23
NEW HOUSE, GAR. ADT. FINAL REVIEW	04/10/23
NEW HOUSE, GAR. ADT. PROGRESS	04/11/23
FINAL REVIEW-PERMIT	04/17/23
REVISED REVIEW-PERMIT	04/03/24

Client Name/Project Name/Address

1464 Riverside Drive
(NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive
Lakewood, Ohio 44107

Drawing Name
LANDSCAPE PLAN

Fischer Project Number

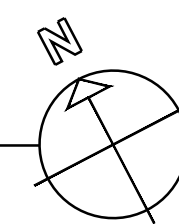
22.113

SHEET #

L-100

Seal

LANDSCAPE PLAN
1/8" = 1'-0"



ition® Colors



Pewter Gray

Ultra HD | HD

Color
Ultra
HD
HD

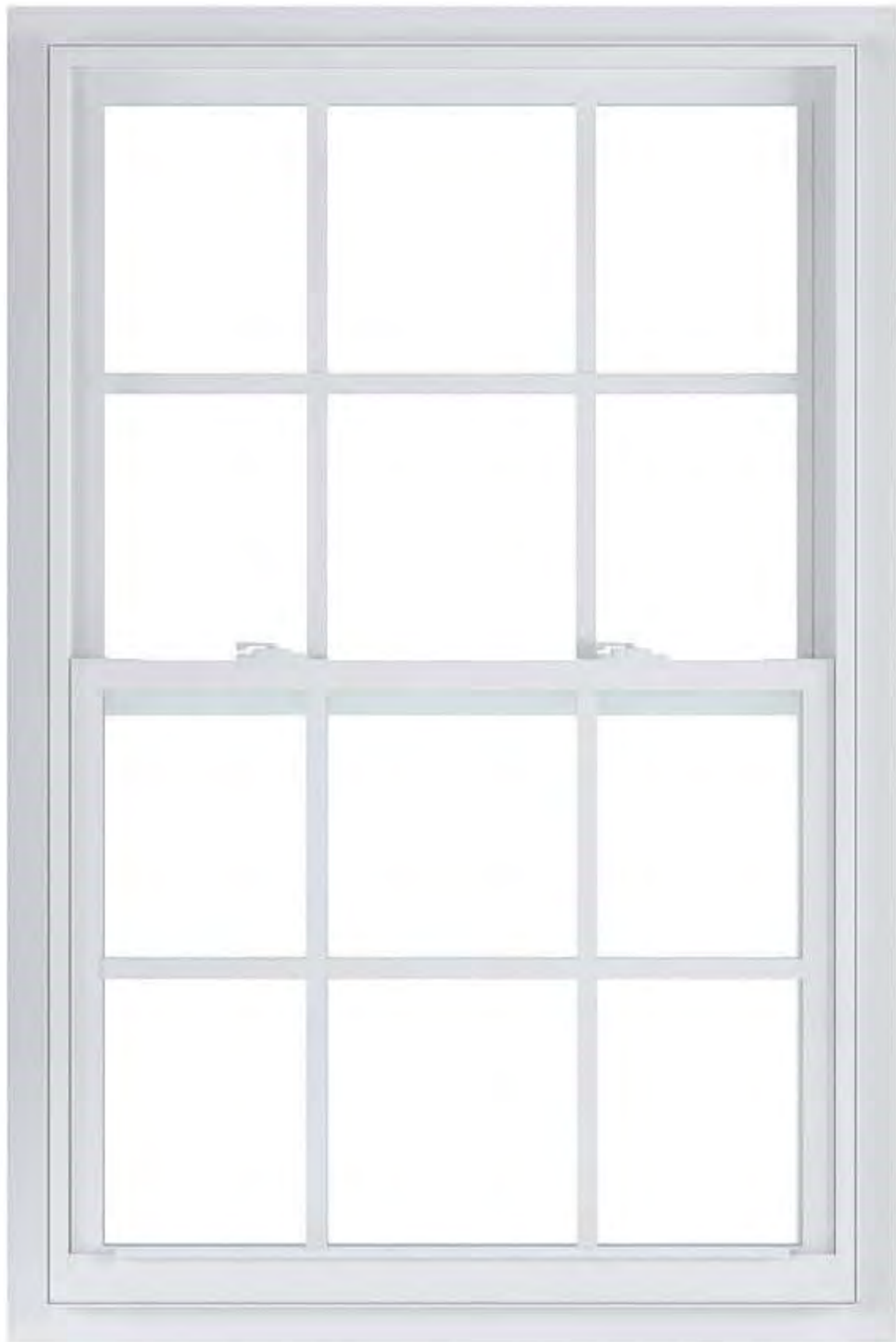








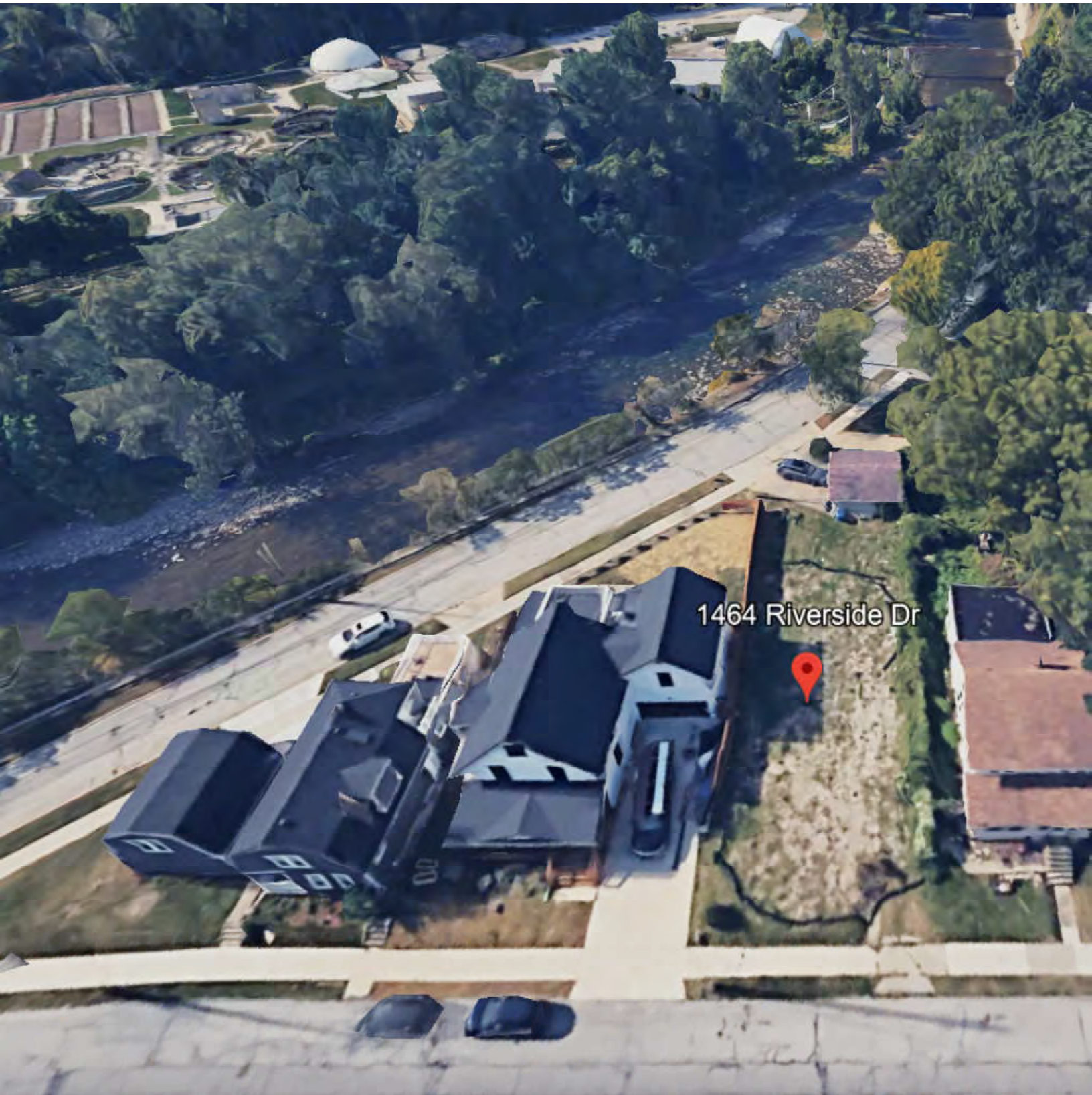






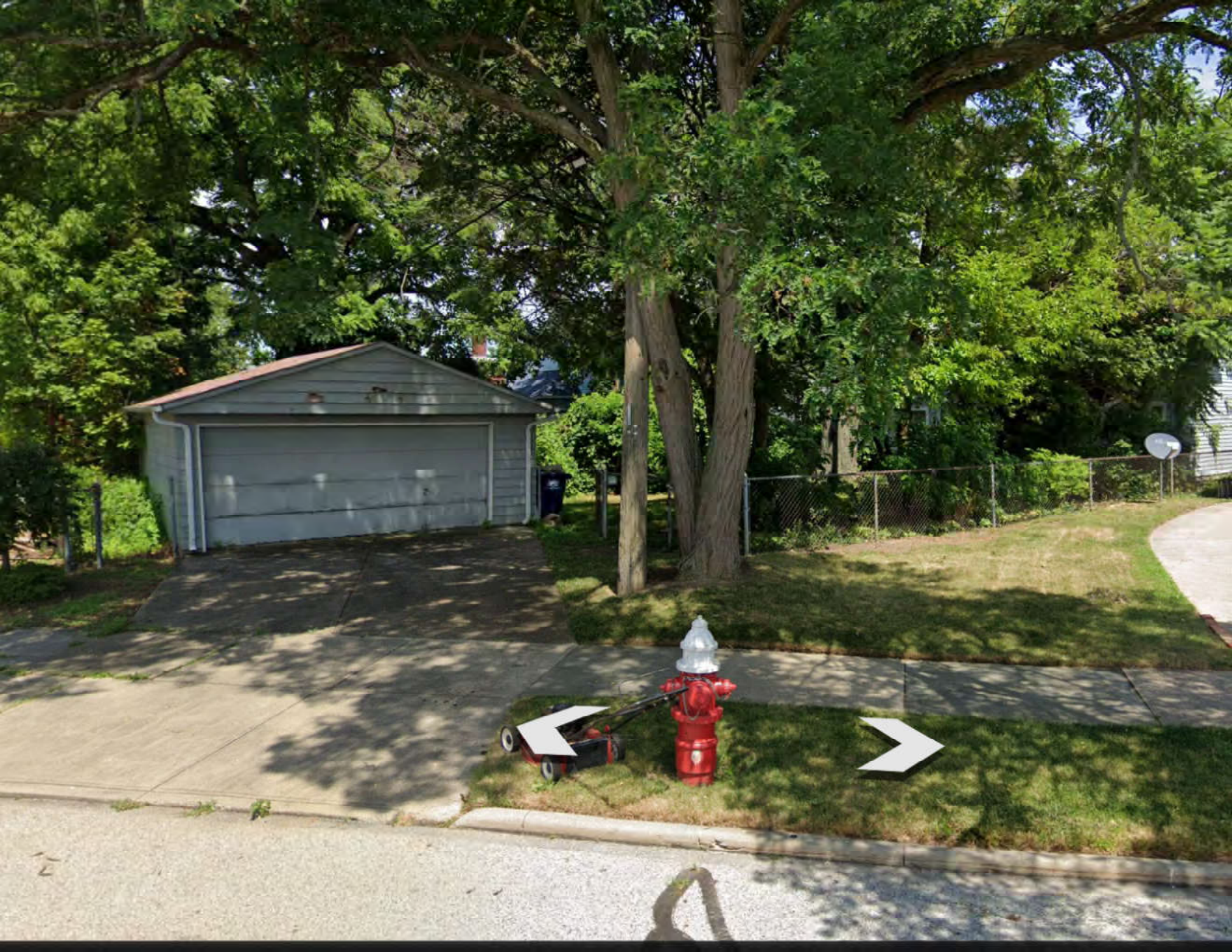






1464 Riverside Dr

















City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-31-25

Permit No.: BBS25-000024

Applicant Name: David Maddux, The Arcus Group

Project Address: 1069 Sylvan Ave.

Project Name: n/a

Project: Applicant proposes a front porch addition/renovation and rear dormer addition.



Robbie Murphy <themurphy6rob@gmail.com>

1069 Sylvan Ave Robbie Murphy

1 message

Robbie Murphy <themurphy6rob@gmail.com>
To: Dave Maddux <dmaddux@arcus-group.com>

Wed, Mar 19, 2025 at 8:57 AM

Hi Dave,

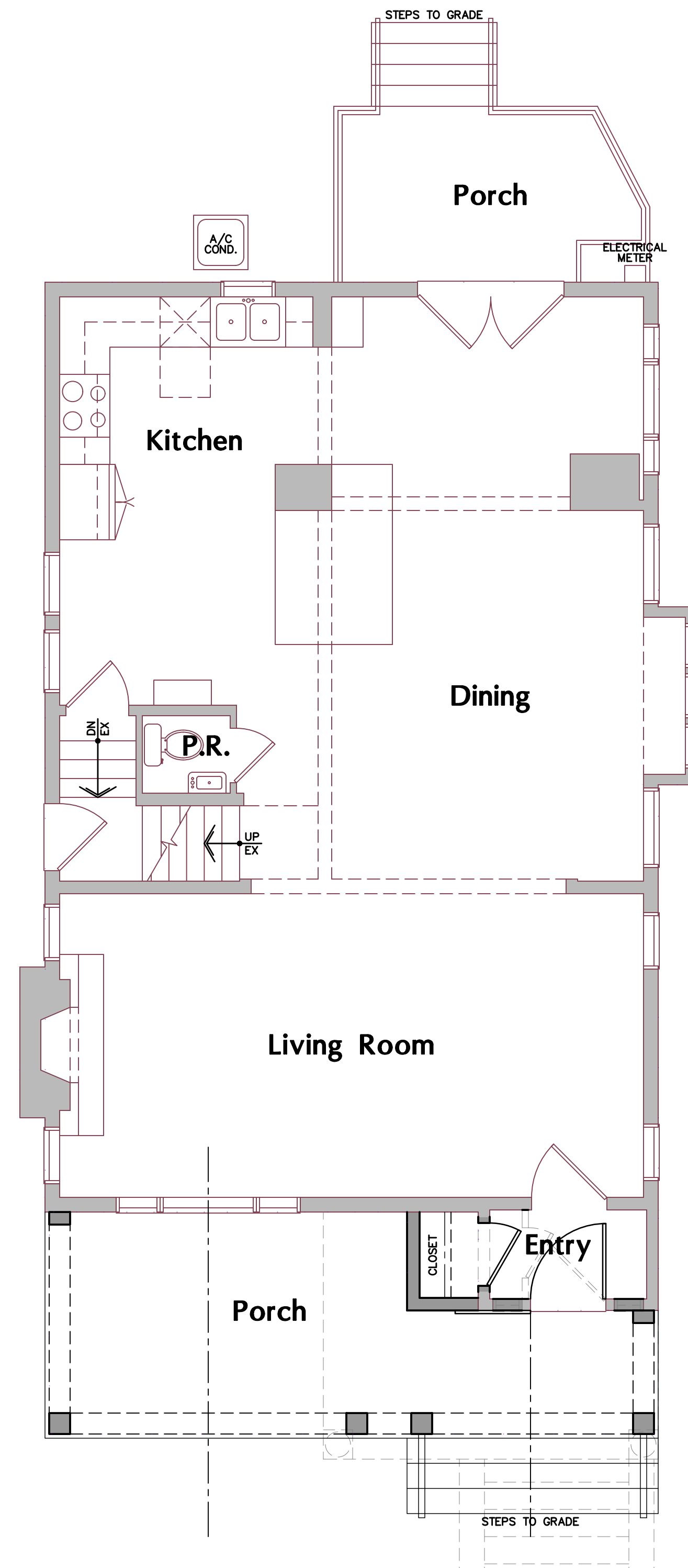
Please include this in the ABR application.

I consent to have David Maddux and his associates at the Arcus Group, Inc. represent me at any City of Lakewood Architectural Board of Review meetings, in relation to my property at 1069 Sylvan Ave. I also give my permission to board members to enter my premises as needed as a part of my application review process by scheduling with me or David.

Thank you,
Robert (Robbie) Murphy
630-777-8976

themurphy6rob@gmail.com

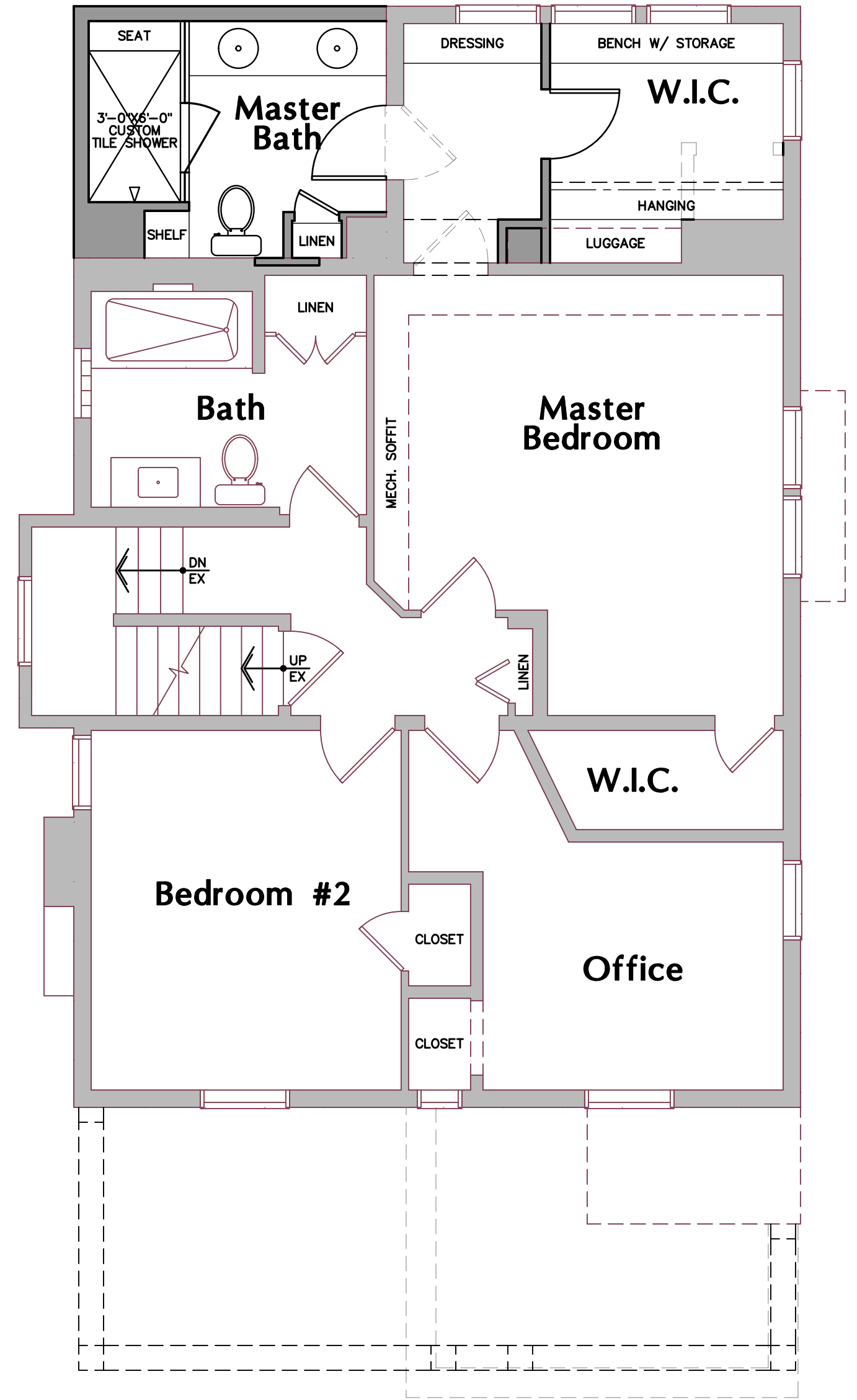




First Floor Plan

SCALE 1/4" = 1'-0"

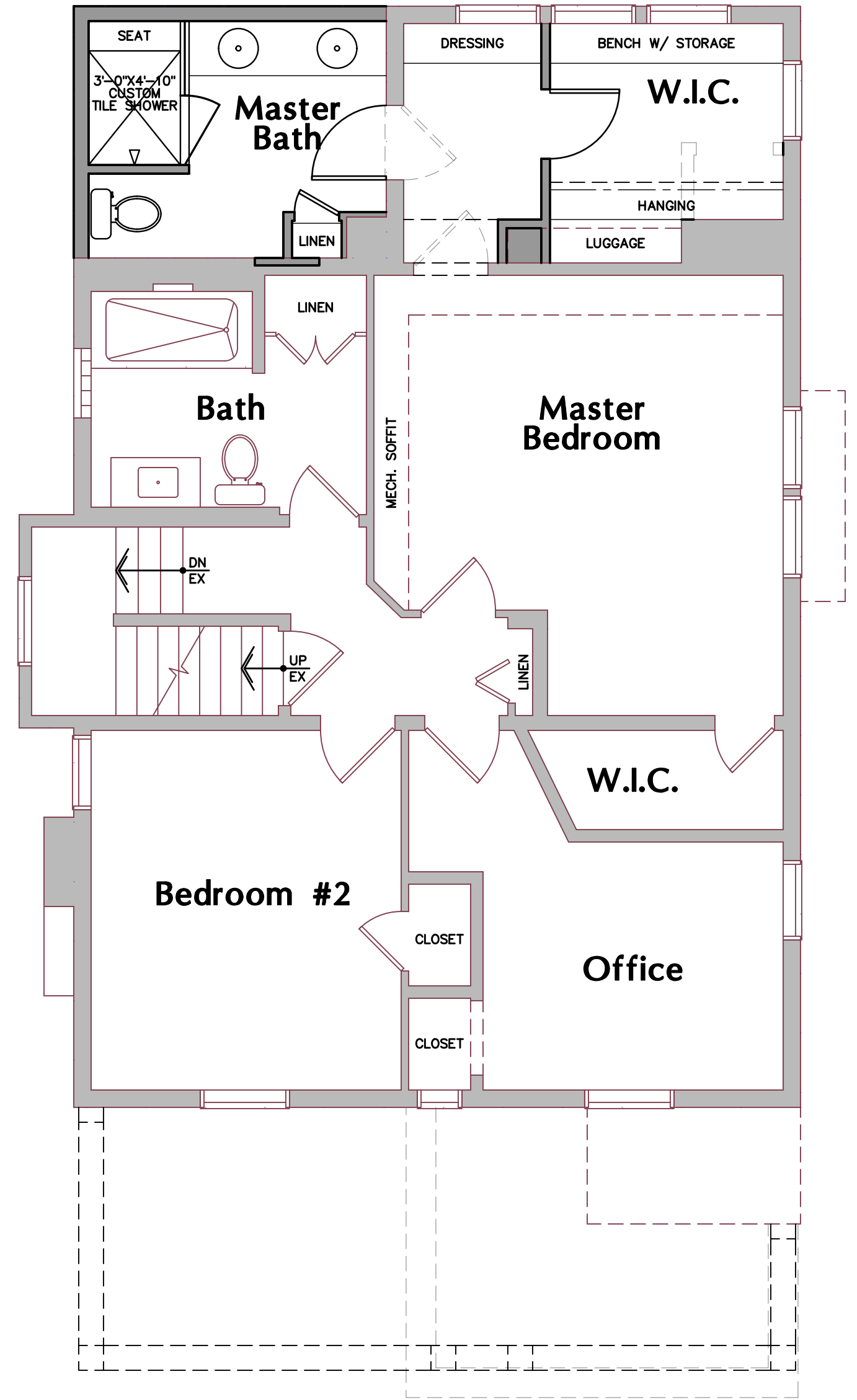
942 SQ. FT.- EXISTING FIRST FLOOR
11 SQ. FT.- CLOSET ADDITION
953 SQ. FT.- FIRST FLOOR (TOTAL)
174 SQ. FT.- FRONT PORCH ADDITION (NOT INCLUDED)
1,870 SQ. FT.- TOTAL



Scheme A Second Floor Plan

SCALE 1/4" = 1'-0"

828 SQ. FT.- EXISTING SECOND FLOOR
89 SQ. FT.- SECOND FLOOR ADDITION
917 SQ. FT.- SECOND FLOOR (TOTAL)



Scheme B Second Floor Plan

SCALE 1/4" = 1'-0"

828 SQ. FT.- EXISTING SECOND FLOOR
89 SQ. FT.- SECOND FLOOR ADDITION
917 SQ. FT.- SECOND FLOOR (TOTAL)

Preliminary Not For Construction

PRELIMINARY NOT FOR CONSTRUCTION

ISSUE	3-9-25 REVIEW
	3-7-25 REVIEW

The Murphy Residence

1069 Sylvan Avenue
Lakewood Ohio

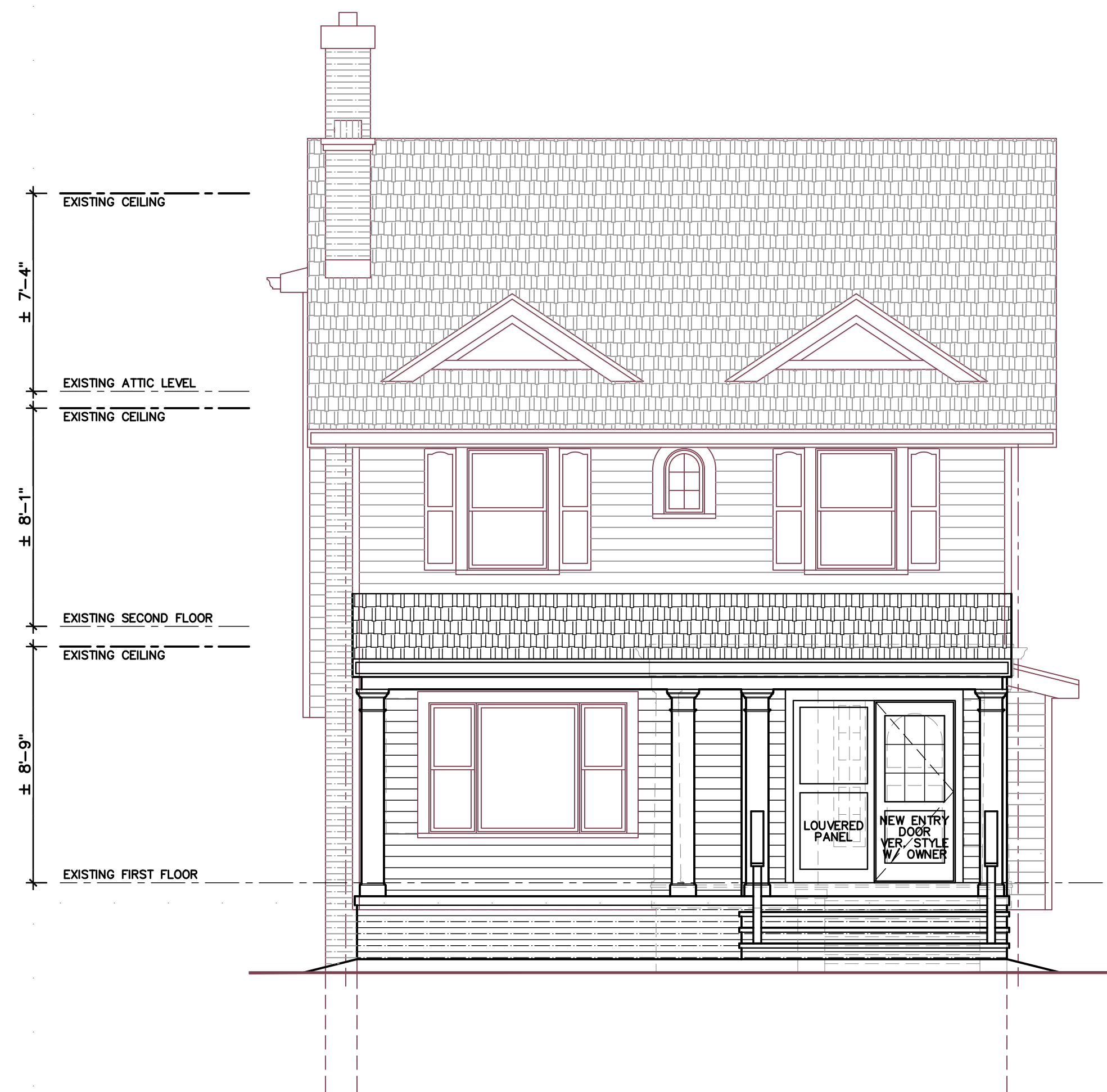
The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel. 440.356.5330

Preliminary Floor Plans

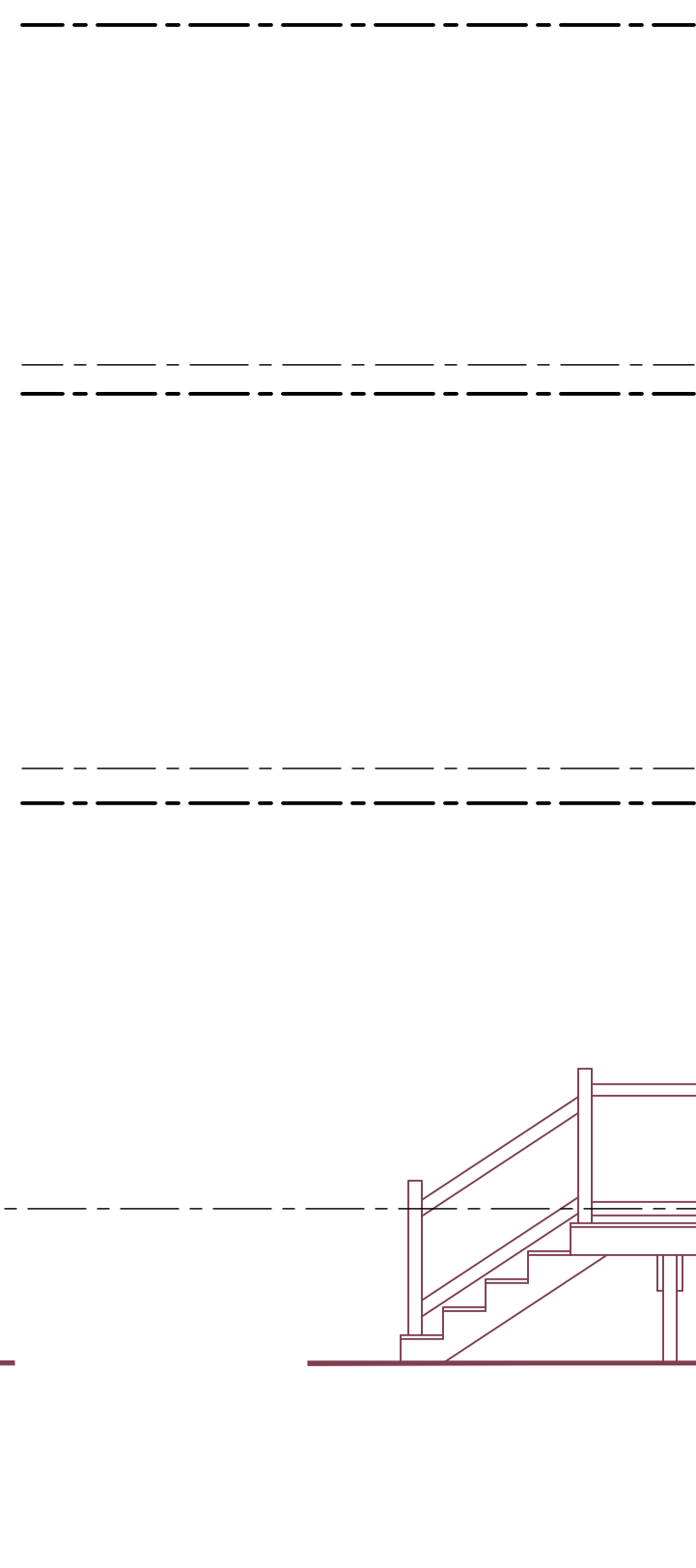
SK-1

COPYRIGHT © 2025

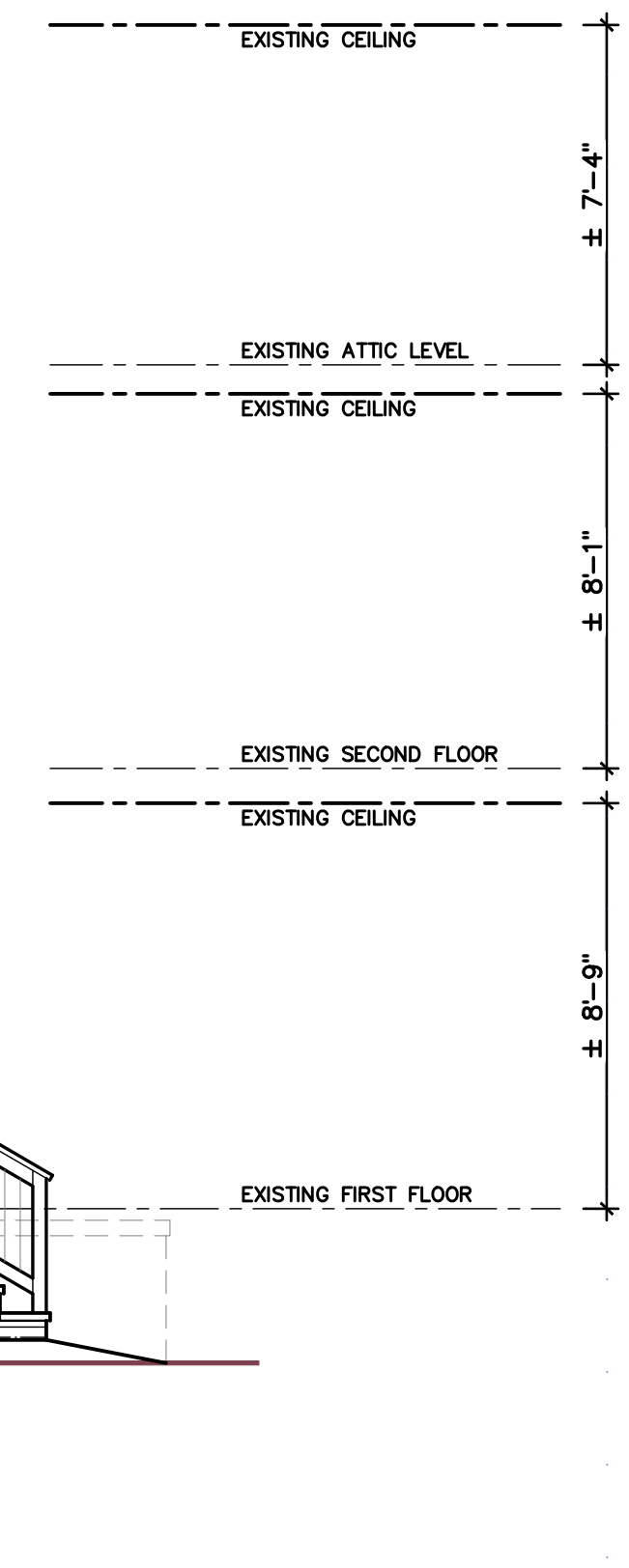
PROJECT NO:	25-05
DRAWN BY:	BCK
CHECKED BY:	DTM




Front Elevation
SCALE 1/4" = 1'-0"



Left Side Elevation
SCALE 1/4" = 1'-0"



Preliminary
Not For
Construction

PRELIMINARY NOT FOR CONSTRUCTION	
ISSUE:	
3-9-25 REVIEW	
3-7-25 REVIEW	
Ohio	
The Murphy Residence	
1069 Sylvan Avenue Lakewood	
 The Arcus Group, Inc. ARCHITECTS 1244 Smith Court Rocky River, Ohio 44116 Tel: 440.356.5330	
Preliminary Elevations	
SK-2 COPYRIGHT © 2025	
PROJECT NO.:	25-05
DRAWN BY:	BCK
CHECKED BY:	DTM









City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-32-25

Permit No.: BBS25-000027

Applicant Name: Jonathan Ziegan, Osborne Engineering

Project Address: 11810-11818 Madison Ave.

Project Name: RISE Dispensary

Project: Applicant proposes façade renovations and parking lot approval.

Ziegen, Jon

From: Anne Marie Zsamba <Anne.Zsamba@gtigrows.com>
Sent: Wednesday, October 18, 2023 4:59 PM
To: Glenn Trunley; Ziegen, Jon
Cc: Wes Enterline; Chris
Subject: RE: [EXTERNAL] Owner Authorization for Rise 11818 Madison Avenue, Lakewood, OH

Jon –

It must be noted on the submission that access to the property, particularly the interior of the dispensary, requires notice in advance and proper identification in the form of a government issued valid ID to be submitted by the municipal official so we may remain complaint with our state regulatory visitor requirements. Thank you.



Anne Marie Zsamba

Counsel, Land Use Entitlements
She/Her
c | 518.350.3639
Hours: Eastern Standard Time (EST)
325 W Huron St. No. 700 | Chicago, IL 60654

From: Glenn Trunley <Glenn.Trunley@gtigrows.com>
Sent: Wednesday, October 18, 2023 4:52 PM
To: Ziegen, Jon <jziegan@osborn-eng.com>
Cc: Wes Enterline <Wes@chrisdawsonarchitect.com>; Chris <chris@chrisdawsonarchitect.com>; Anne Marie Zsamba <Anne.Zsamba@gtigrows.com>
Subject: RE: [EXTERNAL] Owner Authorization for Rise 11818 Madison Avenue, Lakewood, OH

This email serves as authorization and consent on behalf of GTI for Jon Ziegen to sign on our behalf associated with the planning submittal to the City of Lakewood.

Thank you
Glenn



Glenn Trunley

Senior Manager, Store Design
c | 917-757-6457

325 W Huron St.
No. 700 | Chicago, IL 60654

[Facebook](#) | [Instagram](#) | [Twitter](#) | [LinkedIn](#)

From: Ziegen, Jon <jziegan@osborn-eng.com>
Sent: Wednesday, October 18, 2023 4:32 PM
To: Glenn Trunley <Glenn.Trunley@gtigrows.com>

Cc: Wes Enterline <Wes@chrisdawsonarchitect.com>; Chris <chris@chrisdawsonarchitect.com>; Anne Marie Zsamba <Anne.Zsamba@gtigrows.com>

Subject: [EXTERNAL] Owner Authorization for Rise 11818 Madison Avenue, Lakewood, OH

Glenn,

Please read the following consent associated with the planning submittal to the City of Lakewood. Please reply to this email with your consent and authorization for me to attest to this authorization on your behalf. Thank you.

By signing below, I authorize members of the City's Building Department and Planning and Development Department access verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those res property. In the case of a multi-tenant structure, the City employee with notify the building manager.

Jonathan A. Ziegan, PE

Manager of Civil Engineering | Infrastructure Group

Osborn Engineering

1111 Superior Avenue Ste 2100
Cleveland, OH 44114

p 216 861 2020 x13005 | c 440 785 4691 | jziegan@osborn-eng.com

Licensed In: OH, FL, MI, PA, CO, MS, NC



The information in this e-mail message, including any attachments, is for the sole use of the intended recipient(s) as addressed, and may contain confidential information. Any unauthorized review, use, copying, disclosure, or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message. Notice: No employee or agent is authorized to conclude any binding agreement on behalf of OSBORN ENGINEERING/OSPORTS with the recipient of this email without express written approval by an officer of our company. In no event will an email to an unintended recipient be construed as written approval.

© Copyright 2018 The Osborn Engineering Company. All rights reserved.



Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 Madison from Coutant Ave (#1)



View of 11810 Madison from Coutant Ave (#2)

Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 & 11818 Madison from intersection of Madison Ave and Coutant Ave

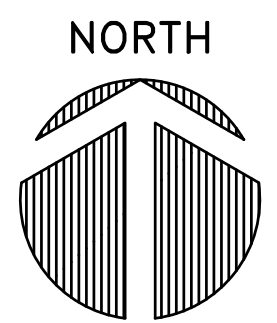
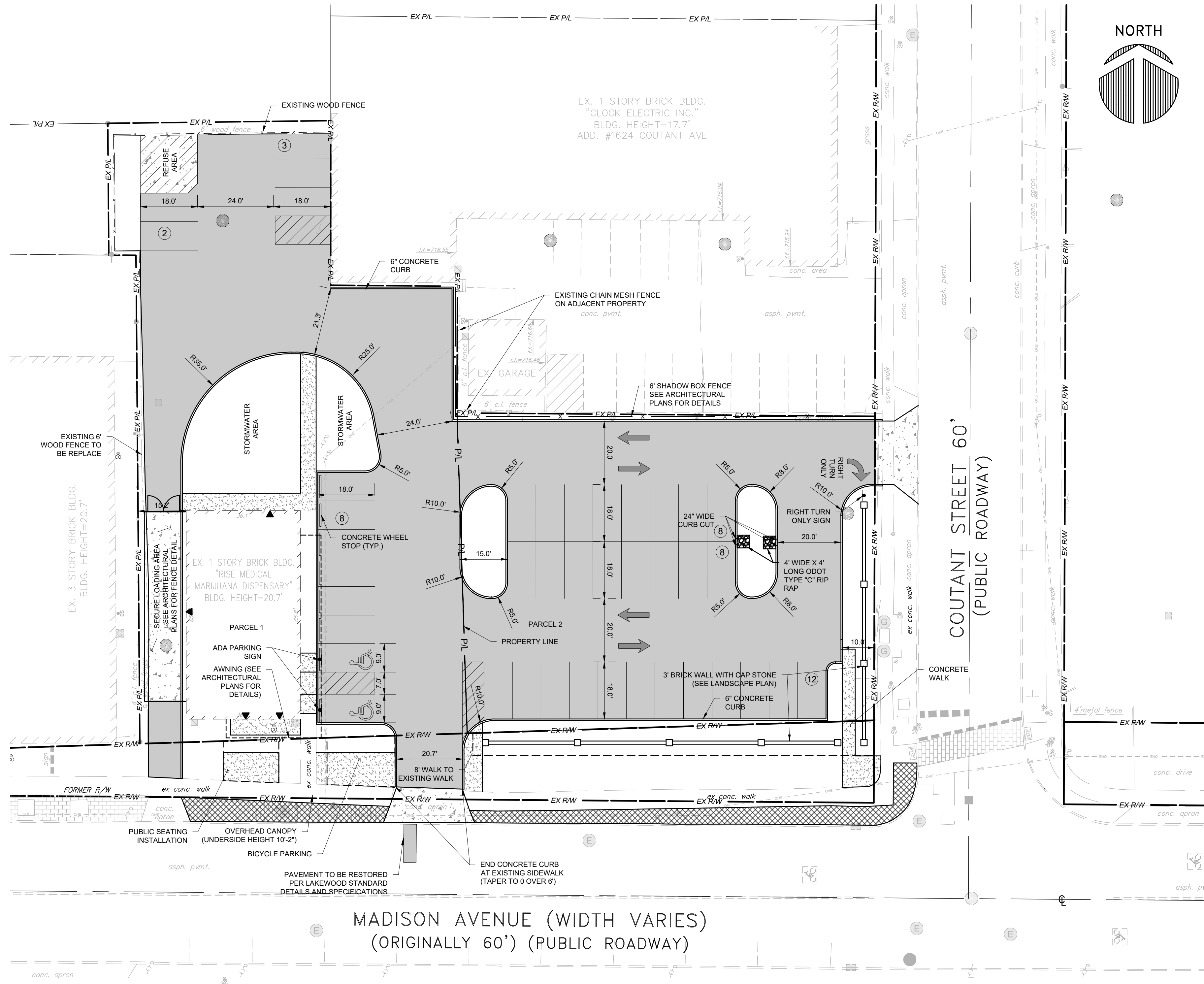


View of 11810 Madison from Madison Ave



View of 11818 Madison from Madison Ave

P:\GTI\2023\1022\000_RISE_Dispensary_Lakewood_OH\Drawings\Civil\C-400_Site_Plan.dwg
3/19/2023 10:19 AM Hinch, Jake



PARCEL 1 SUMMARY

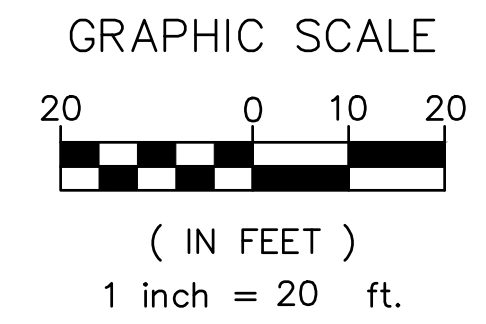
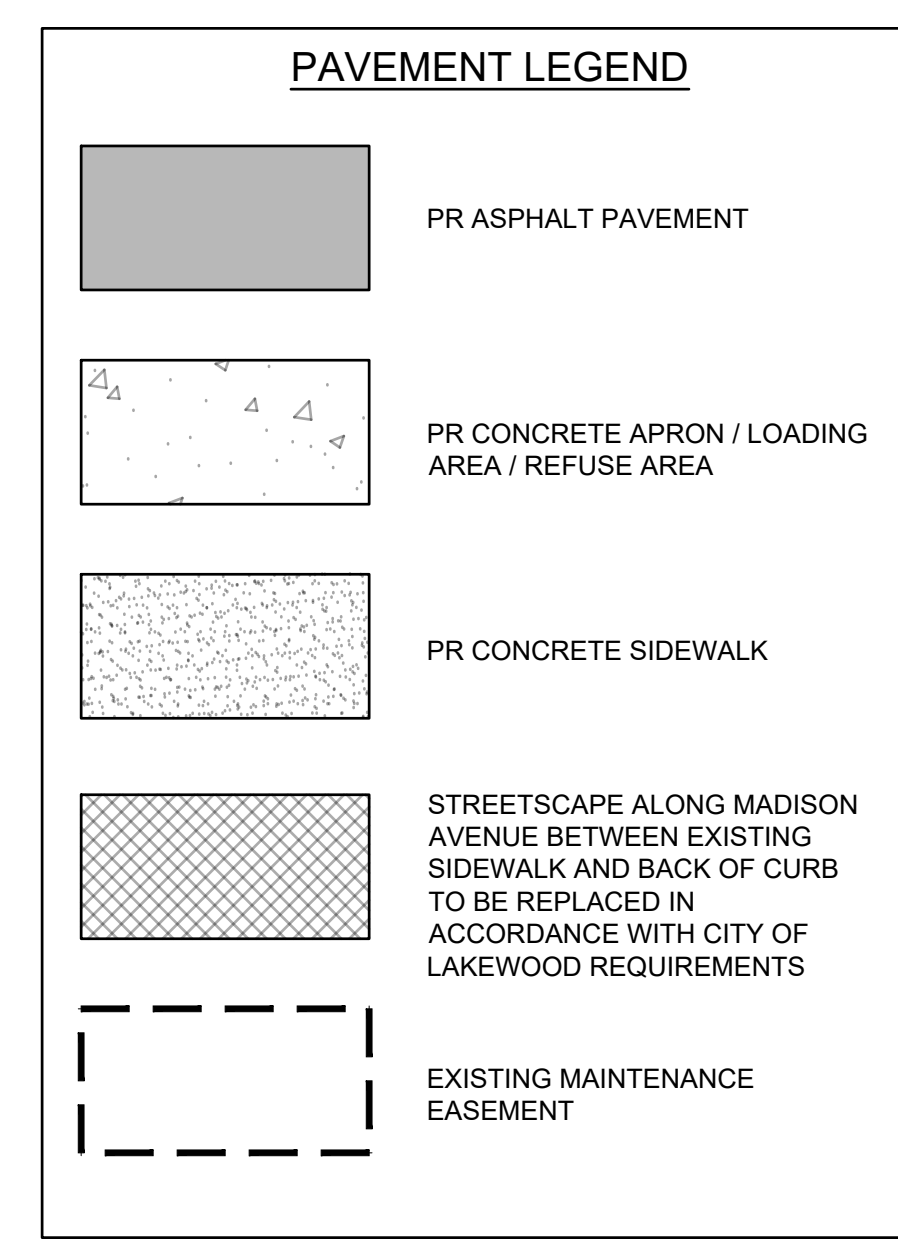
FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL, GENERAL		C3-COMMERCIAL, GENERAL
USE	MEDICAL MARIJUANA DISPENSARY		MEDICAL MARIJUANA DISPENSARY
USE CATEGORY	CONDITIONAL USE	CONDITIONAL USE	CONDITIONAL USE
PARCEL AREA	20,222 GSF	10,000 GSF	18,169 GSF
PARKING COUNT	28	1 TO 2.5 SPACE / 1000 GSF; 5 TO 11	13
ACCESSIBLE PARKING COUNT	1	1	2
BICYCLE PARKING COUNT	0	2	5

PARCEL 2 SUMMARY (EXISTING BUILDING DEMOLISHED WITH NO PROPOSED BUILDINGS)

FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL, GENERAL		C3-COMMERCIAL, GENERAL
USE	MOTOR VEHICLE RENTAL		ACCESSORY PARKING
USE CATEGORY	CONDITIONAL USE		PERMITTED
PARCEL AREA	10,705 GSF		12,776 GSF
BUILDING AREA	6,690 USEABLE SPACE (AS PER COUNTY)		
PARKING COUNT	39		28
ACCESSIBLE PARKING COUNT	0	0	0
BICYCLE PARKING COUNT	0	0	0
FRONT SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
REAR SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
SIDE SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE

MADISON AVENUE PARKING
NINE POSSIBLE EMPLOYEE ONLY PARKING ON MADISON AVENUE.

LANDSCAPE PLAN NOTE:
SEE THE LANDSCAPE PLAN BY DERU LANDSCAPE ARCHITECTURE FOR DETAILS OF THE LANDSCAPING, FENCING, AND SITE FURNISHINGS.



GTI - LAKEWOOD

GREEN THUMB INDUSTRIES

11818 MADISON AVE
LAKEWOOD, OH 44107

TAG	ISSUED	DATE
	LAKEWOOD	11/22/23
	PERMIT DRAWINGS	02/02/24
	PLAN UPDATES	02/13/24
▲	REVISED PER CITY COMMENTS	04/10/24
	REVISED PER CITY COMMENTS	04/19/24
	LAKEWOOD	03/19/25

Unless otherwise stated in Contract, The Osborn Engineering Company retains copyright ownership. Instruments of Service may only be used for the purpose described in the Contract. The Osborn Engineering Company may grant specific usage rights under license, and / or may transfer copyright ownership / assignment in writing. Reproduction, re-use or re-distribution of Instruments of Service is prohibited.

DRAWN BY RJH
CHECKED BY JAZ
CLIENT PROJ NO.
OSBORN PROJ NO. J20231022.000

SITE PLAN

DRAWING NO.

C400

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION

11818 MADISON AVE., LAKEWOOD, OHIO 44107



300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com



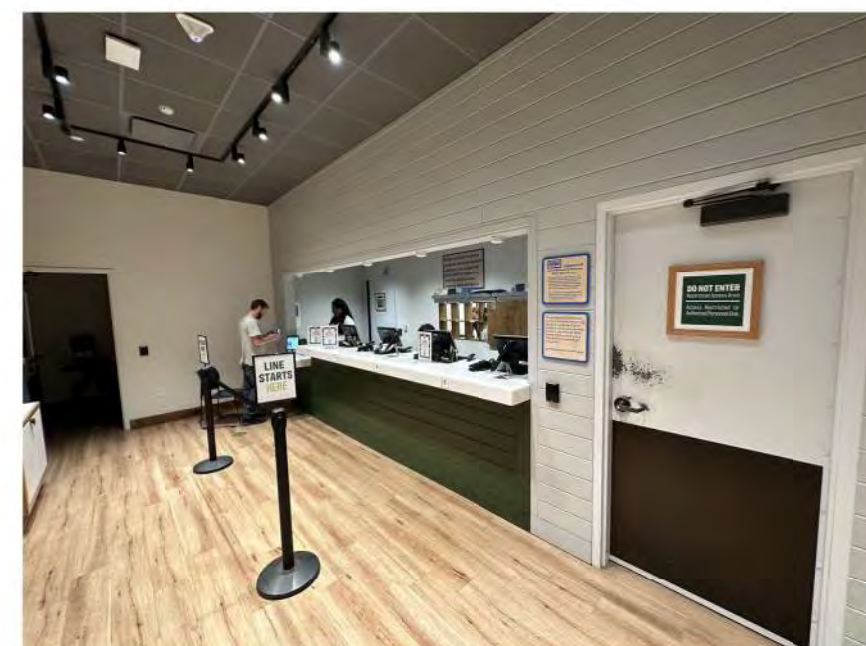
PROPOSED EXTERIOR RENDERING



EXISTING EXTERIOR PHOTO FROM THE SOUTH



EXISTING EXTERIOR PHOTO FROM THE NORTH



EXISTING INTERIOR PHOTO OF RETAIL AREA

DRAWING INDEX	
SHEET #	SHEET NAME
GENERAL	
CS1	COVER SHEET
CS2	GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS
LS101	CODE REVIEW PLAN
ARCHITECTURAL DEMOLITION	
AD101	DEMOLITION - FLOOR PLAN
AD200	DEMOLITION - ELEVATIONS
ARCHITECTURE	
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A803	DIGITAL FINISH BOARD
A804	PARTIAL AXON
A805	OVERALL AXON
A901	EXTERIOR RENDERING
A902	EXTERIOR RENDERING
A903	EXTERIOR RENDERING

PROJECT DESCRIPTION

CDA has been engaged to renovate the existing Rise dispensary located at 11818 Madison Avenue. The renovation will consist of expanding both the sales floor and back of house cannabis storage space. The existing building square footage is approximately 2,380 square feet. The project also includes the construction of a new entrance canopy for relocated entry lobby and the construction of a sally port for secure deliveries. The interior of the existing space will be fully renovated with minor upgrades to the exterior of the existing building. Signage will be submitted under a signage permit package.

ARCHITECT	OWNER
Chris Dawson Architect 300 North 2nd Street, Suite 701 Harrisburg, PA 17101 717-805-5090 chris@chrisdawsonarchitect.com	Green Thumb Industries 325 W Huron St, No 700 Chicago, IL 60654
PROJECT MANAGER	MEP ENGINEER
Pure Project Management 2926 Richmond Street Philadelphia, PA 19134 267-300-4821 dave.lamontagne@purepm.com	Green Building Engineers 2548 Brandywine Lane York, PA 17404 717-554-0153 e_huth@gb-engineers.com
STRUCTURAL ENGINEER	
WBCM 100 Sterling Parkway Suite 108 Mechanicsburg, PA 17050 717-691-4708 sweber@transystems.com	
CIVIL ENGINEER	
Osborn Engineering 1111 Superior Ave Ste 2100 Cleveland, OH 44114 216-861-2020 jziegan@osborn-eng.com	
LANDSCAPE ARCHITECT	
DERU Landscape Architecture 216-466-4355 jayme@deru-la.com	

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

COVER SHEET

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

CS1

Scale

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

CONFIDENTIAL

GENERAL NOTES

1. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE COMPLETION IN PLACE OF ALL WORK AS ILLUSTRATED AND DESCRIBED ON THE DRAWINGS AS PREPARED BY CHRIS DAWSON ARCHITECT. ALL SUCH WORK IS TO BE DONE BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS PRIOR TO CONSTRUCTION/INSTALLATION. INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM WALLBOARD, FACE OF CMU OR FACE OF EXISTING FINISH WHERE APPLICABLE.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THIS PROJECT IN COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT AND ALL CITY, STATE AND LOCAL CODES, INCLUDING THE PREPARATION AND APPROVAL BY LOCAL AUTHORITIES OF ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM SYSTEM, SPRINKLER PLANS AND SPECIFICATIONS.
4. GENERAL CONTRACTOR SHALL OBTAIN FULL AND COMPLETE WARRANTIES FOR ALL HVAC, ELECTRICAL AND PLUMBING EQUIPMENT FROM THE CONTRACTOR PROVIDING SAID SERVICES. WARRANTIES WILL REMAIN IN EFFECT A MINIMUM OF ONE (1) YEAR FROM SUBSTANTIAL COMPLETION DATE.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL SHOP DRAWINGS AND/OR STRUCTURAL ERECTION DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT/STRUCTURAL ENGINEER.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND OBTAINING A CERTIFICATE OF OCCUPANCY FROM THE GOVERNING AUTHORITY.
7. WHERE COLOR AND DESIGN SELECTIONS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT SAMPLES TO THE OWNER FOR SELECTION AND APPROVAL. AFTER COMPLETION OF THE PROJECT, A MINIMUM OF 2 CASES, OR 5% OF PRODUCT FINISHES TO BE LEFT AT THE JOB SITE.
8. GENERAL CONTRACTOR SHALL HAVE DIRECT CONTROL AND MANAGEMENT OF ALL CONSTRUCTION OPERATIONS AND BE RESPONSIBLE FOR THE SATISFACTORY OVERALL PERFORMANCE OF HIS SUPPLIERS AND SUBCONTRACTORS AS WELL AS ALL ASSIGNED CONTRACTORS.
9. GENERAL CONTRACTOR IS TO RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS.
10. ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND OF FIRST QUALITY UNLESS OTHERWISE NOTED.
11. GYPSUM WALLBOARD SHALL BE INSTALLED WITH ALL CORNER BEADS, TRIM ACCESSORIES AND MOLDING, ETC. FOR A COMPLETE INSTALLATION. GYPSUM WALLBOARD TO BE TAPED AND SANDED (READY FOR PAINT). DRYWALL CONTRACTOR TO INSTALL CONTROL JOINTS ACCORDING TO INDUSTRY STANDARDS. ALL FULL HEIGHT STEEL STUD PARTITIONS MUST INCLUDE A TOP SLIP TRACK IF WALL IS SECURED TO ROOF STRUCTURE.
12. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
13. GENERAL CONTRACTOR SHALL COORDINATE THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND REPORT TO THE ARCHITECT ANY UNFORESEEN CONFLICTS BETWEEN THE SUB TRADES.
14. ITEMS AND CONDITIONS NOTED ON DETAILS ARE APPLICABLE AND BINDING TO SIMILAR CONDITIONS ON ALL THE DRAWINGS. FOR CONDITIONS NOT NOTED OR DETAILS, CONTRACTOR SHALL PROVIDE MATERIALS OF EQUAL QUALITY AND PERFORMANCES TO OTHER SIMILAR CONDITIONS ON THE JOB.
15. WALL AND CEILING FINISHES SHALL INCLUDE PROJECTIONS, BEAM ENCLOSURES, RECESSES, BULKHEADS, PILASTERS OR OTHER ENCLOSURES.
16. ALL APPURTENANCES BUILT INTO OR THROUGH WALLS, INCLUDING DOORS, DUCTS, WINDOWS, LOUVERS, GRILLES, MECHANICAL WORKS, ETC. SHALL FIT SNUGLY AND BE THOROUGHLY SEALED AROUND PERIMETERS. WORK AT EXTERIOR WALLS SHALL BE FLASHED OR OTHERWISE WATERPROOF SEALED.
17. FIELD CHECK ROUGH AND/OR FINISHED DIMENSIONS FOR ACCURATE FITTING OF CABINETS, COUNTERS, LOCKERS, DOORS, WINDOWS, FIXTURES, SHELVING, GATES AND OTHER INSTALLATIONS PRIOR TO SHOP OR FACTORY FABRICATIONS. PROVIDE AND INSTALL NECESSARY FILLER STRIPS, SCRIBE STRIPS, BASES, CLOSURES, FINISHES AND TRIM TO COMPLETE SUCH INSTALLATIONS. PROVIDE AND INSTALL ALL NECESSARY CONCEALED BLOCKING TO SECURELY ANCHOR WALL MOUNTED FIXTURES, CABINETS, EQUIPMENT, ETC.
18. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSING-IN, SEALING AND PROTECTION OF EXISTING OR PUBLIC SPACES FROM THE WORK AREA INCLUDING NOISE, DUST AND POLLUTION CONTROL. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRIERS AND CLEAR ACCESS IN AND OUT OF THE SITE AND FACILITY SO AS TO FACILITATE DAILY TRAFFIC MOVEMENT, DELIVERIES AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN FROM DEBRIS DURING CONSTRUCTION.
19. GENERAL CONTRACTOR SHALL CONSULT WITH THE OWNER TO VERIFY THE SCOPE OF WORK; TO VERIFY OWNER FURNISHED ITEMS AND COORDINATE THOSE ITEMS INTO THE WORK; TO VERIFY ANY ITEMS TO BE RELOCATED; TO VERIFY ANY WORK TO BE PROVIDED BY THE OWNER AND COORDINATE THAT WORK INTO THE PROGRESS OF THE SCHEDULED WORK.
20. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING (FIRE RATED AS REQUIRED) WITHIN WALLS FOR ALL ACCESSORIES.
21. SECTIONS SHOWN ARE INTENDED TO SHOW THE SPECIFIC CONSTRUCTION WHERE INDEXED AS WELL AS ESTABLISH THE GENERAL CONSTRUCTION DETAILS FOR SECTIONS THROUGHOUT THE PROJECT WHICH DO NOT HAVE SPECIFIC SECTIONS DRAWN. THE MOST SIMILAR SECTION SHALL BE ADAPTED TO ANY SECTION NOT DETAILED. ANY SPECIFIC QUESTION CONCERNING CONSTRUCTION NOT ADEQUATELY COVERED BY THE ABOVE SHOULD BE DIRECTED TO THE ARCHITECT.
22. DECKS WITH OPENING FOR PIPES, DUCTS, CONDUIT, SLEEVES, ETC. SHALL BE SEALED AROUND THE COMPONENTS FULL THICKNESS OF THE DECK. (FIRE RATED SEALANT WHERE REQUIRED.)
23. ARCHITECTURAL DRAWINGS INDICATE BEARING ELEVATION FOR INFORMATION PURPOSES ONLY. SEE STRUCTURAL DRAWINGS FOR ACTUAL STRUCTURAL STEEL AND BEARING ELEVATIONS.
24. CONSULT PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DESCRIPTIONS OF ACCESS PANELS, LOUVER OPENINGS, VENTILATORS, GRILLES, VALVE CABINETS, FIRE DAMPERS OR OTHER APPURTENANCES AFFECTING WALLS, CEILING OR FLOORS AND PROVIDE NECESSARY LINTELS, SUPPORT OR ANCHORING. SEE STRUCTURAL NOTES FOR LINTEL REQUIREMENTS.
25. SEAL ALL SIDES OF FRAMES ABUTTING DISSIMILAR MATERIALS; TYPICAL, CONTINUOUSLY AT HEADS, JAMBS AND SILLS (EXCEPT AT DOOR SILLS UNLESS NOTED OTHERWISE).
26. FILL ALL HOLLOW METAL (HM) FRAMES ABUTTING MASONRY WITH GROUT. FILL INTERMEDIATE MEMBERS AS SHOWN IN DETAILS (TYPICAL).
27. GENERAL CONTRACTOR SHALL VERIFY ALL PENETRATIONS THROUGH CONCRETE FLOORS AND FORM ACCORDINGLY. (PRIOR TO POURING SLAB).
28. TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF ICC/ANSI A117.1-2009. AS SHOWN ON RESTROOM DRAWINGS.
29. FLASHING AT HEADS OF WALL OPENINGS SHALL INCLUDE END DAMS
30. ALL MASONRY WALL PENETRATIONS TO BE SLEEVED OR CORE DRILLED. SUBCONTRACTORS ARE RESPONSIBLE FOR SEALING ALL OF THEIR PENETRATIONS IN MASONRY WALLS.

LOCATION MAP



SYMBOL LEGEND

	SECTION		MEANS OF EGRESS		EXISTING
	SHT. #		SPOT ELEVATION		NEW
	ELEVATION		EXISTING DOOR		BRICK
	DETAIL		DOOR TO BE DEMOLISHED		RIGID INSULATION
	INTERIOR ELEVATION		NEW DOOR		COMPACTED SUBGRADE
	STATION POINT		WALLS		CONCRETE
	WALL TYPE		WALLS TO BE DEMOLISHED		C.M.U.
	WINDOW TYPE		ACCESSORY TAG		ROUGH WOOD
	ROOM NUMBER		DOOR NUMBER		PLYWOOD
	DEMOLITION KEY NOTE				FINISHED WOOD

ABBREVIATIONS

A/C	AIR CONDITIONING	F.V.W.A	FIELD VERIFY W/ ARCHITECT	ST. STL	STAINLESS STEEL
A.H.U.	AIR HANDLING UNIT	GP. BD.	GYPSUM BOARD	STOR.	STORAGE
ALUM.	ALUMINUM	HDCP.	HANDICAPPED	SUSP.	SUSPENDED
@	AT	HVAC.	HEATING/VENTILATION, AIR CONDITIONING	T.O.S.	TOP OF SLAB/STEEL
B.SMT.	BASEMENT	HT. OR	HEIGHT	TH. OR	THICK
B.C.	BASE CABINET	H.	HOLLOW METAL	T.O.J.	TOP OF JOIST
BITUM.	BITUMINOUS	H.M.	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
BD.	BOARD	HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
BLK.	BLOCK	INT.	INTERIOR	V.I.F.W.A	VERIFY IN FIELD W/ ARCHITECT
BLDG.	BUILDING	LAV.	LAVATORY	W.B.	WALLBOARD
BLKD.	BULKHEAD	L.H.	LEFT HAND	W.C.	WATER CLOSET
B.P.-X	BID PACKAGE #	MACH.	MACHINE	W/	WITH
CLG.	CENTER LINE	M.O.	MASONRY OPENING	W/O	WITHOUT
C.B.	CHALKBOARD	MAX.	MAXIMUM	WD.	WOOD
CL.	CLOSET	MECH.	MECHANICAL	W.	WIDE
C.M.U.	CONCRETE MASONRY UNIT	MIN.	MINIMUM		
CONC.	CONCRETE	MISC.	MISCELLANEOUS		
C.J.	CONTROL JOINT	M.E.	MATCH EXISTING		
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT		
CONC.	CONCRETE	NO. OR #	NUMBER		
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE		
CONC.	CONCRETE	O.C.	ON CENTER		
CONC.	CONCRETE	OPNG.	OPENING		
CONC.	CONCRETE	PLAS. LAM.	PLASTIC LAMINATE		
CONC.	CONCRETE	PTD	PAINTED		
CONC.	CONCRETE	REFRIG.	REFRIGERATOR		
CONC.	CONCRETE	REINF.	REINFORCED		
CONC.	CONCRETE	R.H.	RIGHT HAND		
CONC.	CONCRETE	RM.	ROOM		
CONC.	CONCRETE	S.G.T.	STRUCTURAL GLAZED TILE		
CONC.	CONCRETE	SHT.	SHEET		
CONC.	CONCRETE	SIM	SIMILAR		
CONC.	CONCRETE	SPEC.	SPECIFICATION		
CONC.	CONCRETE	STD.	STANDARD		
CONC.	CONCRETE	STL.	STEEL		



300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com

ARCHITECT
Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER
Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER
Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER
Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER
Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT
DERU Landscape Architecture
216-466-4355
jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

CS2

Scale

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

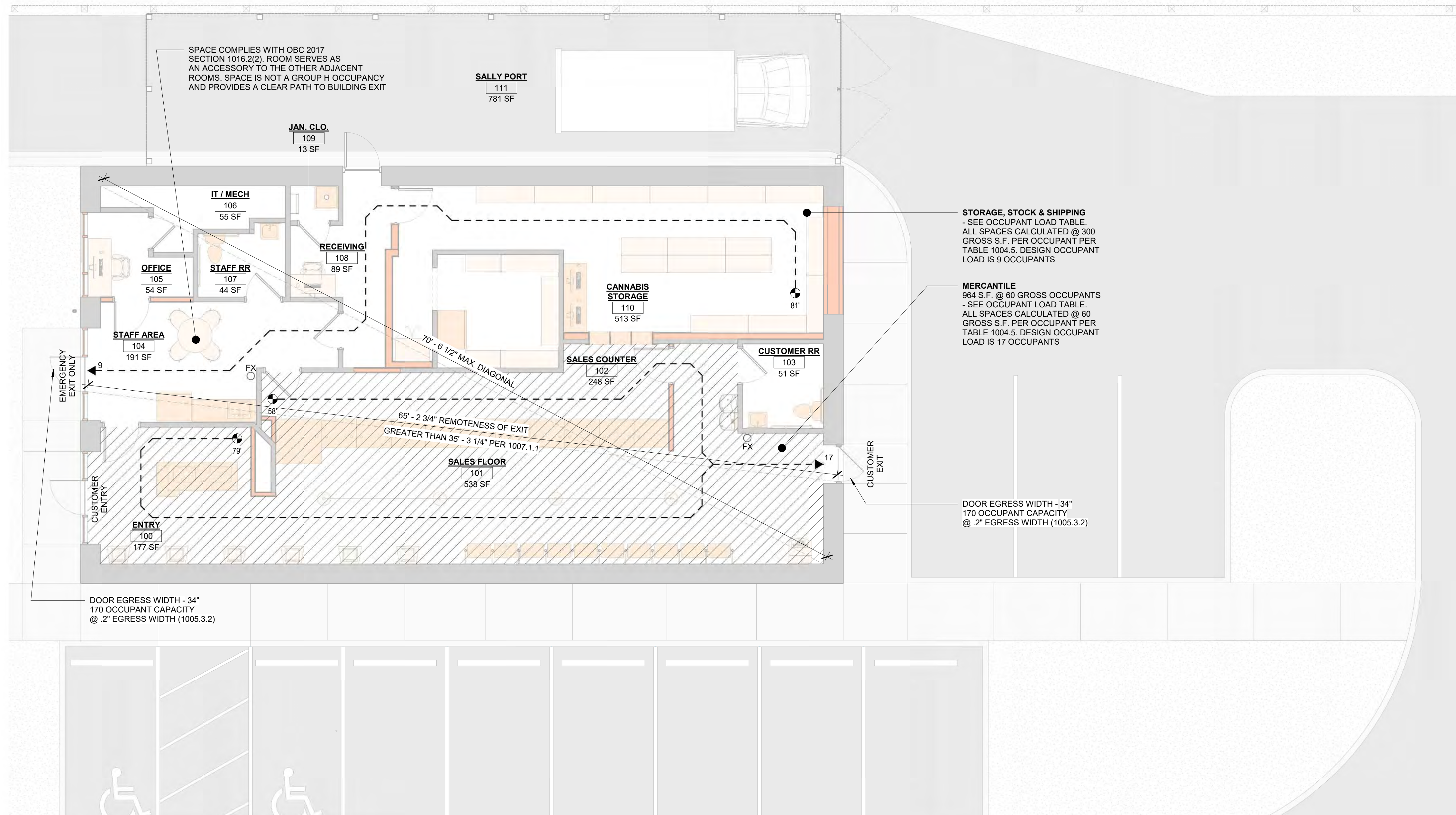
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



1 LIFE SAFETY PLAN
LS101 / SCALE: 3/16" = 1'-0"

CODE SUMMARY NOTES - 2024 OBC

PROJECT TYPE:	RENOVATION / ADDITION AND TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	LAKEWOOD, OH
OCCUPANCIES:	MERCANTILE (M)
MAX. OCCUPANT LOAD:	49
CONSTRUCTION:	TYPE VB CONSTRUCTION (UNPROTECTED WOOD FRAME)
EXISTING FIRE PROTECTION:	NON-SPRINKLERED
MAX. TRAVEL DISTANCE:	200'-0" AS PER TABLE 1017.2
EXISTING SF:	2,380 SF (GROSS S.F.) (MAX. 9,000 SF PER TABLE 506.2)
NUMBER OF STORIES:	1 STORY (MAX. 1 STORY PER TABLE 504.4)
HEIGHT=	+/- 20'-8" (MAX. 40'-0" PER TABLE 504.3)

CODE SHEET LEGEND

XX XX	USE GROUP / CONSTRUCTION TYPE	---	EXIT PATH
###	NUMBER OF OCCUPANTS TABLE 1004.1.1 CRITERIA	— • —	ONE HOUR PARTITION/ WALL
0'	TRAVEL DISTANCE TO EXIT	— • • —	TWO HOUR PARTITION/ WALL
○	FIRE EXTINGUISHER, PROVIDE # 2A-10BC PER CODE WITH CERT. TAG.	— • • • —	THREE HOUR PARTITION/ WALL
FX	EXIT / EXIT ACCESS		

PLUMBING

PLUMBING PER IBC TABLE 2902.1

1 WATER CLOSET PER 500 OCC.	1 REQ'D / 2 PROVIDED
1 LAVATORY PER 750 OCC.	1 REQ'D / 2 PROVIDED
1 WATER FOUNTAIN PER 1000 OCC.	1 REQ'D / 1 PROVIDED
1 JANITOR CLOSET	1 REQ'D / 1 PROVIDED

OHIO CODES IN FORCE

OHIO BUILDING CODE 2024
OHIO EXISTING BUILDING CODE 2024
OHIO FIRE CODE 2017
OHIO PLUMBING CODE 2024
OHIO MECHANICAL CODE 2024
OHIO FUEL GAS CODE 2021
OHIO ENERGY CODE 2021
OHIO ACCESSIBILITY CODE 2017
ADA STANDARDS 2010
OHIO ELECTRICAL CODE 2023
LIFE SAFETY CODE OF CMS
OHIO FIRE ALARM CODE 2022

OCCUPANT LOAD SCHEDULE

ROOM NO.	ROOM NAME	FLOOR AREA	TABLE	OCCUPANT LOAD
100	ENTRY	177 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	3
101	SALES FLOOR	538 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	9
102	SALES COUNTER	248 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	5
104	STAFF AREA	191 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
105	OFFICE	54 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
106	IT / MECH	55 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
108	RECEIVING	89 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
110	CANNABIS STORAGE	513 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	2
111	SALLY PORT	781 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	3
		2647 SF		26

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

CODE REVIEW PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

LS101

Scale As indicated

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

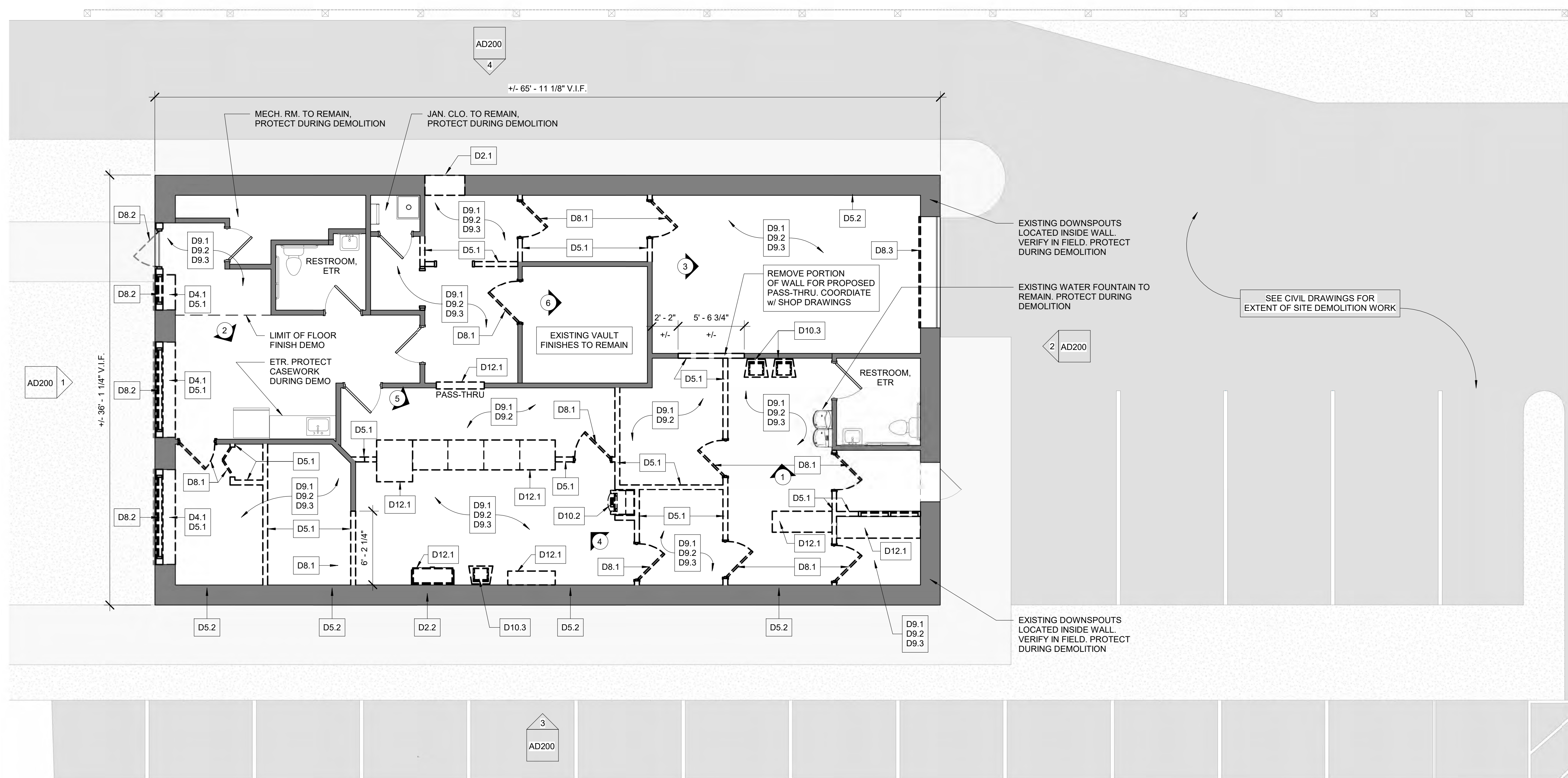
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

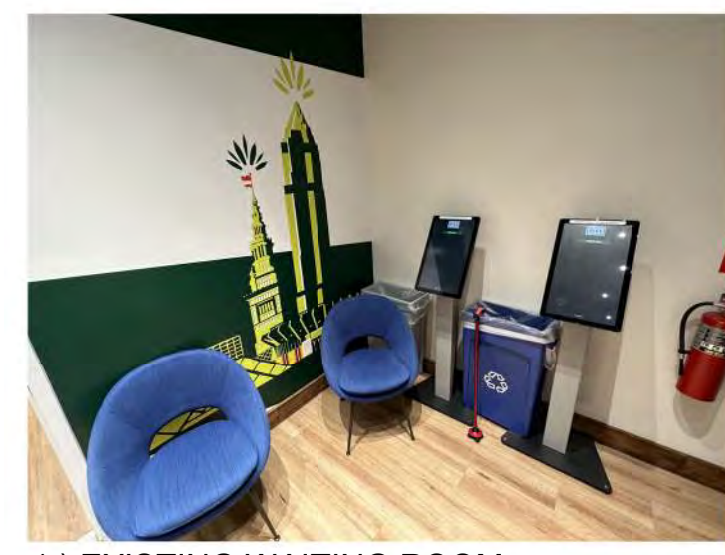
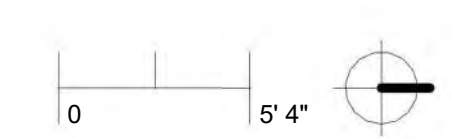
Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



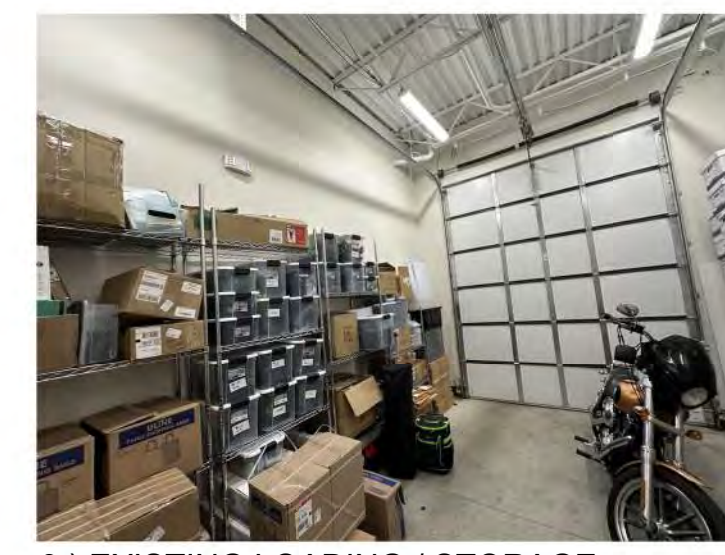
1) DEMOLITION PLAN
AD101/ SCALE: 3/16" = 1'-0"



1.) EXISTING WAITING ROOM



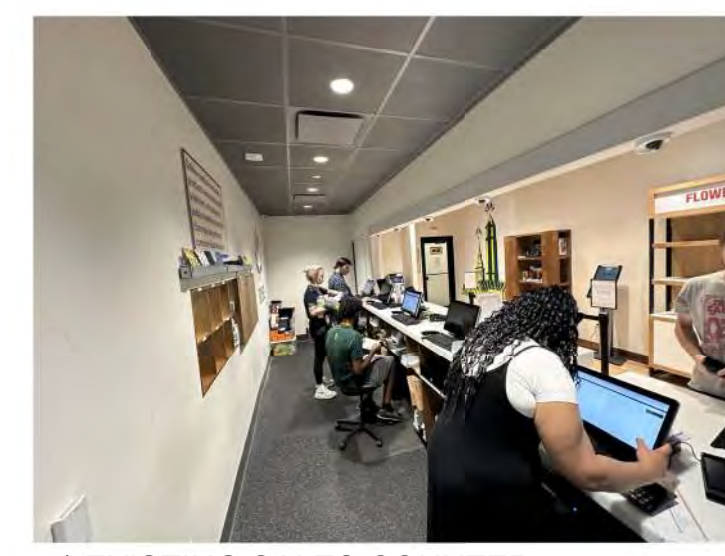
2.) EXISTING BREAK ROOM



3.) EXISTING LOADING / STORAGE



4.) EXISTING RETAIL AREA



5.) EXISTING SALES COUNTER



6.) EXISTING CANNABIS STORAGE

DEMO NOTE KEY

DIV 2: GENERAL SELECTIVE DEMOLITION

- D2.1 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING
- D2.2 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW STOREFRONT OPENING

DIV 4: MASONRY

- D4.1 REMOVE EXISTING WALL

DIV 5: METALS

- D5.1 REMOVE EXISTING WALL AND PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION

DIV 8: OPENINGS

- D8.1 REMOVE EXISTING DOOR AND FRAME
- D8.2 REMOVE EXISTING ALUMINUM STOREFRONT / DOOR / GLAZING
- D8.3 REMOVE EXISTING OVERHEAD DOOR, INCLUDING FRAME & HARDWARE

DIV 9: FINISHES

- D9.1 REMOVE EXISTING FLOORING SYSTEM & PREPARE FOR NEW
- D9.2 REMOVE EXISTING CEILING SYSTEM
- D9.3 REMOVE EXISTING WALL FINISHES & PREPARE FOR NEW

DIV 10: SPECIALTIES

- D10.1 REMOVE EXISTING RESTROOM ACCESSORIES
- D10.2 REMOVE EXISTING ATM. COORDINATE STORAGE AND REUSE w/ OWNER
- D10.3 REMOVE EXISTING KIOSK. COORDINATE STORAGE AND REUSE w/ OWNER
- D10.4 REMOVE EXISTING REFRIGERATOR. COORDINATE STORAGE AND REUSE w/ OWNER

DIV 12: FURNISHINGS

- D12.1 REMOVE EXISTING CASEWORK / CABINETRY

DIV 22: PLUMBING

- D22.1 REMOVE EXISTING PLUMBING FIXTURES & PIPING, SEE MEP DRAWINGS

GENERAL DEMOLITION NOTES

1. SELECTIVE DEMOLITION WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE ITEMS LISTED ON THESE DRAWINGS. INCLUDE ALL THAT IS NECESSARY TO COMPLETE THE SCOPE OF WORK AS INDICATED ON THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. SEE ALL DRAWINGS TO COORDINATE ANY ADDITIONAL WALL OR FLOOR DEMOLITION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING SURFACES/FINISHES TO ORIGINAL CONDITIONS AT AREAS OF CUTTING & PATCHING.
3. NOTES ARE ORGANIZED UNDER THE MOST APPLICABLE SPECIFICATION SECTION.
4. COORDINATE DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
5. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS INCONSISTENT WITH WHAT IS SHOWN ON DRAWINGS.
6. ===== INDICATES CONCRETE, MASONRY, OR STUD WALLS WITH FINISHES TO BE DEMOLISHED. PATCH ADJACENT SURFACES WITH MATERIALS TO MATCH EXISTING AND MINIMIZE INCONSISTENCIES.
7. REMOVE ALL EXISTING DOORS AND FRAMES WHERE INDICATED BY SYMBOL. COORDINATE WITH DOOR SCHEDULE.
8. THE OWNER WILL REMOVE LOOSE FURNISHINGS, EQUIPMENT AND WALL HUNG PICTURES OR OTHER LOOSE ITEMS PRIOR TO DEMOLITION ACTIVITIES IN AREAS OF WORK. REMOVE ALL REMAINING FURNITURE, EQUIPMENT & REMAINING LOOSE ITEMS, AS COORDINATED WITH OWNER.
9. COORDINATE CHANGES TO I.T. SYSTEM COMPONENTS WITH OWNER & PROTECT ALL COMPONENTS TO REMAIN DURING CONSTRUCTION.
10. REMOVE ALL CONSTRUCTION AS REQUIRED TO EXECUTE NEW WORK EVEN IF NOT SPECIFICALLY NOTED.
11. PATCH AND REPAIR ALL AREAS AFFECTED BY DEMOLITION. PREPARE THESE AREAS FOR NEW FINISH - SEE FINISH SCHEDULE.
12. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN BUILDING DRAWINGS FOR DEMOLITION ASSOCIATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
13. REMOVE ALL FASTENERS, SUPPORTS, ETC. ASSOCIATED WITH DEMOLISHED ITEMS.
14. REMOVE ALL EXISTING BASE BOARDS AT AREAS NOTED TO RECEIVE NEW BASEBOARDS IN FINISH SCHEDULE.
16. DEMOLITION NOTES IN A ROOM SHALL EXTEND INTO ADJOINING CLOSETS AND STORAGE SPACES UNLESS NOTED OTHERWISE.

CONFIDENTIAL

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

DEMOLITION - FLOOR PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

AD101

Scale As indicated

ARCHITECT
Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER
Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER
Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER
Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER
Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT
DERU Landscape Architecture
216-466-4355
jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

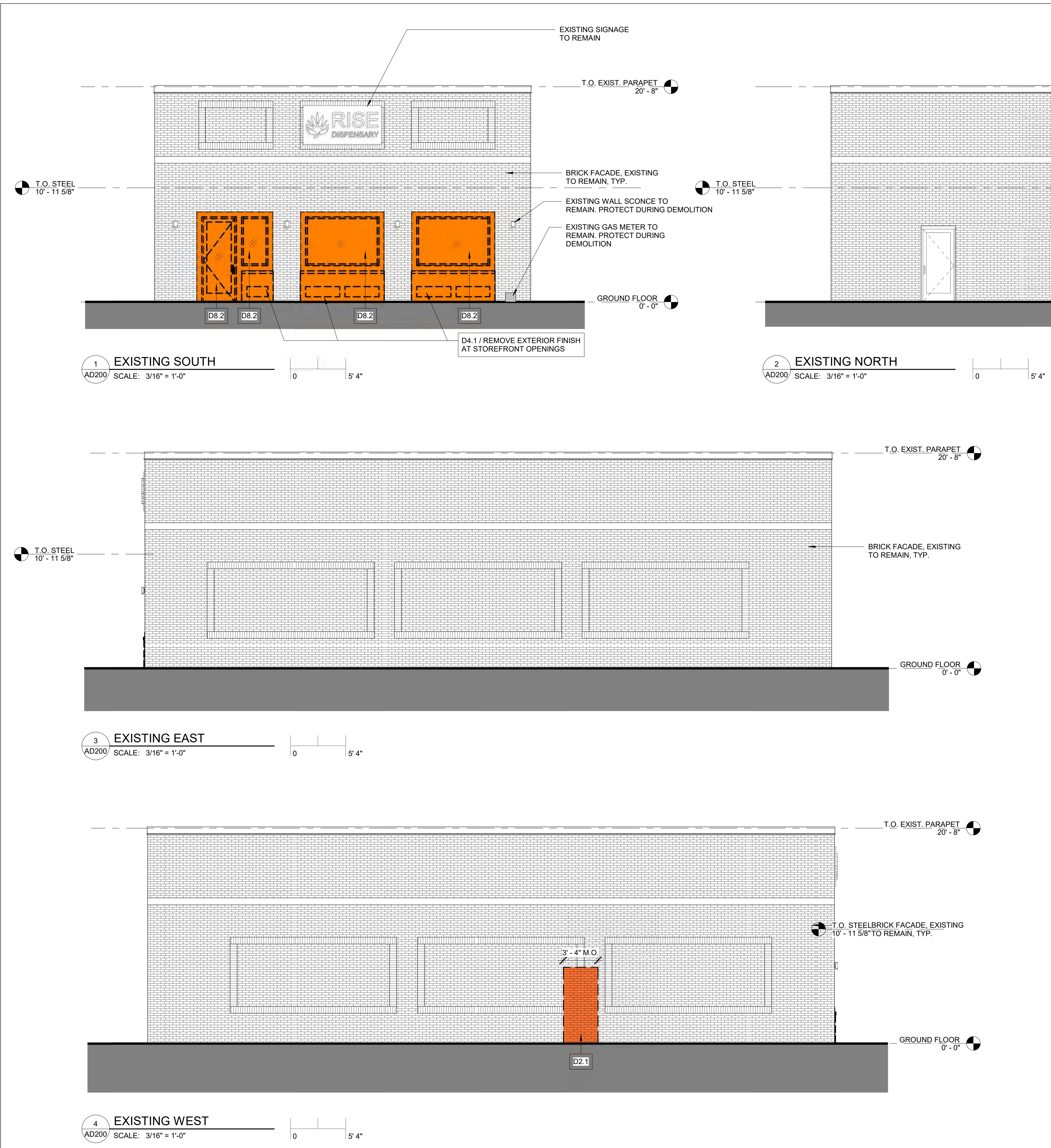
RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

DEMOLITION - ELEVATIONS

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

AD200

Scale As indicated



DEMO NOTE KEY

- DIV 2:** GENERAL SELECTIVE DEMOLITION
- D2.1 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING
 - D2.2 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW STOREFRONT OPENING
- DIV 4:** MASONRY
- D4.1 REMOVE EXISTING WALL
- DIV 5:** METALS
- D5.1 REMOVE EXISTING WALL AND PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION
- DIV 8:** OPENINGS
- D8.1 REMOVE EXISTING DOOR AND FRAME
 - D8.2 REMOVE EXISTING ALUMINUM STOREFRONT / DOOR / GLAZING
 - D8.3 REMOVE EXISTING OVERHEAD DOOR, INCLUDING FRAME & HARDWARE
- DIV 9:** FINISHES
- D9.1 REMOVE EXISTING FLOORING SYSTEM & PREPARE FOR NEW
 - D9.2 REMOVE EXISTING CEILING SYSTEM
 - D9.3 REMOVE EXISTING WALL FINISHES & PREPARE FOR NEW
- DIV 10:** SPECIALTIES
- D10.1 REMOVE EXISTING RESTROOM ACCESSORIES
 - D10.2 REMOVE EXISTING ATM. COORDINATE STORAGE AND REUSE w/ OWNER
 - D10.3 REMOVE EXISTING KIOSK. COORDINATE STORAGE AND REUSE w/ OWNER
 - D10.4 REMOVE EXISTING REFRIGERATOR. COORDINATE STORAGE AND REUSE w/ OWNER
- DIV 12:** FURNISHINGS
- D12.1 REMOVE EXISTING CASEWORK / CABINETRY
- DIV 22:** PLUMBING
- D22.1 REMOVE EXISTING PLUMBING FIXTURES & PIPING. SEE MEP DRAWINGS

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

ARCHITECT
Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER
Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

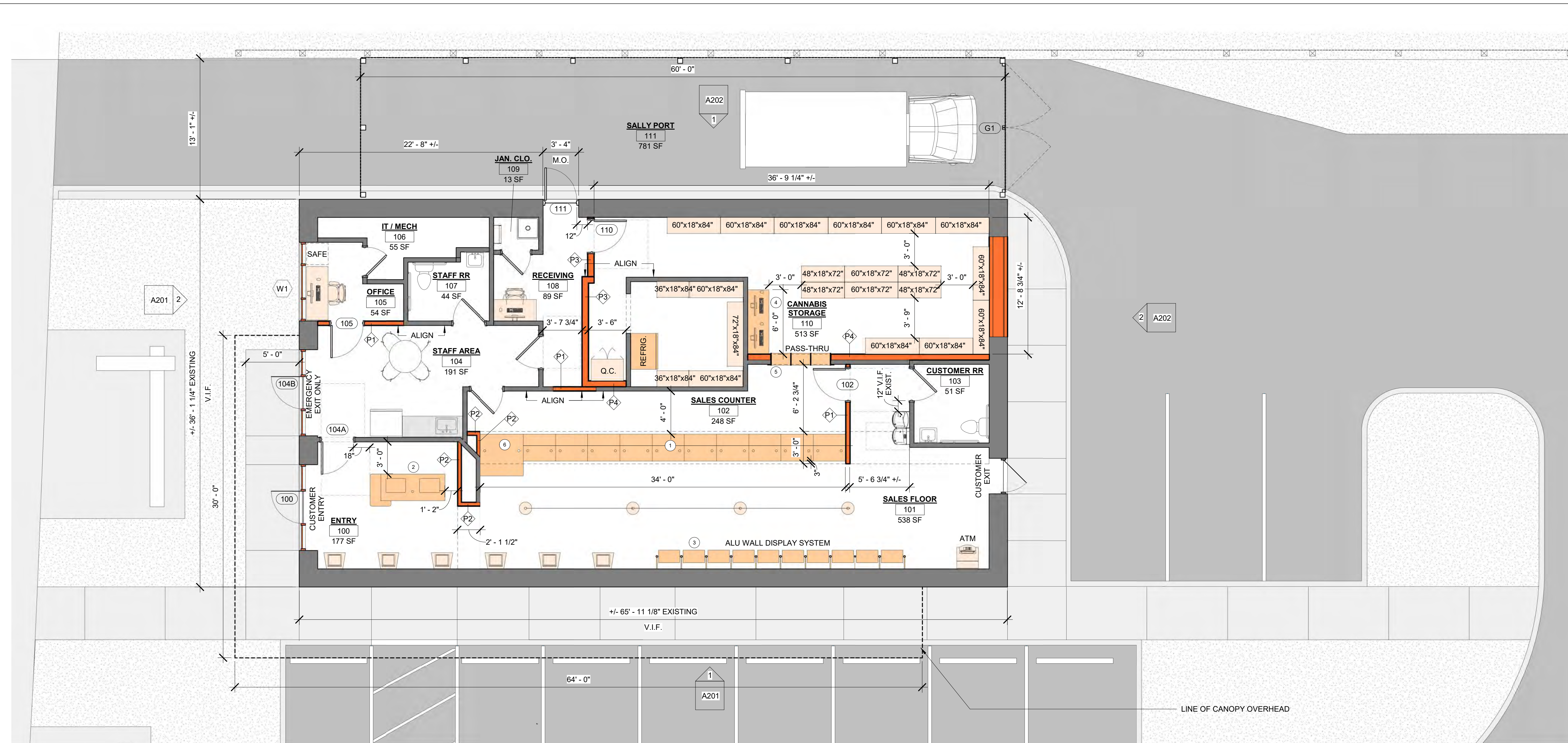
PROJECT MANAGER
Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER
Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER
Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT
DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



1 FLOOR PLAN
A101 SCALE: 3/16" = 1'-0"
0 5' 4"

GENERAL PLAN NOTES

- DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN
- INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
- SET DOOR JAMB ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE
- PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION
- RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL

- NEW WALL CONSTRUCTION
 - EXISTING WALL CONSTRUCTION
 - P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES, FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION
 - P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD ONE SIDE FLOOR TO DECK
 - P3 (CANNABIS STORAGE WALL) 6" METAL STUDS, MIN. 20 GAUGE (33 MIL) @ 16" O.C. w/ FRP & 5/8" GYPSUM WALL BOARD & 9 GAUGE WIRE MESH ONE SIDE AND FRP & 5/8" GYPSUM WALL BOARD OTHER SIDE, EXTEND TO UNDERSIDE OF CANNABIS STORAGE CEILING. 6" ACOUSTIC INSULATION. PROVIDE SOLID BRIDGING AT MIDPOINT OF WALL. FRP MAX. HEIGHT TO BE 8'-0" TALL.
 - P4 (CANNABIS STORAGE WALL) 6" METAL STUDS, MIN. 20 GAUGE (33 MIL) @ 16" O.C. w/ FRP & 5/8" GYPSUM WALL BOARD & 9 GAUGE WIRE MESH ONE SIDE, EXTEND TO UNDERSIDE OF CANNABIS STORAGE CEILING. 6" ACOUSTIC INSULATION. PROVIDE SOLID BRIDGING AT MIDPOINT OF WALL. FRP MAX. HEIGHT TO BE 8'-0" TALL.
- STUD WALLS SHALL SUPPORT A LATERAL FORCE OF 45 PSF OR A LINEAR LOAD OF 300 LBS/FT AT 3'-6" ABOVE THE FLOOR

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.I.C.)
- EXISTING FURNITURE & CASEWORKS TO REMAIN
- 1 POINT OF SALE STATION SUPPLIED BY CASEWORK VENDOR
- 2 ARRIVAL DESK w/ TRANSACTION LEDGE SUPPLIED BY CASEWORK VENDOR
- 3 DISPLAY FIXTURE SUPPLIED BY FIXTURE VENDOR
- 4 B.O.H. COUNTER & SHELVING SUPPLIED BY CASEWORK VENDOR
- 5 PASS-THRU CUBBIE CASEWORK FIXTURES SUPPLIED BY CASEWORK VENDOR
- 6 ACCESSIBLE POINT OF SALE STATION SUPPLIED BY CASEWORK VENDOR

No.	Description	Date

GREEN THUMB INDUSTRIES
RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

FLOOR PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A101

Scale As indicated

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

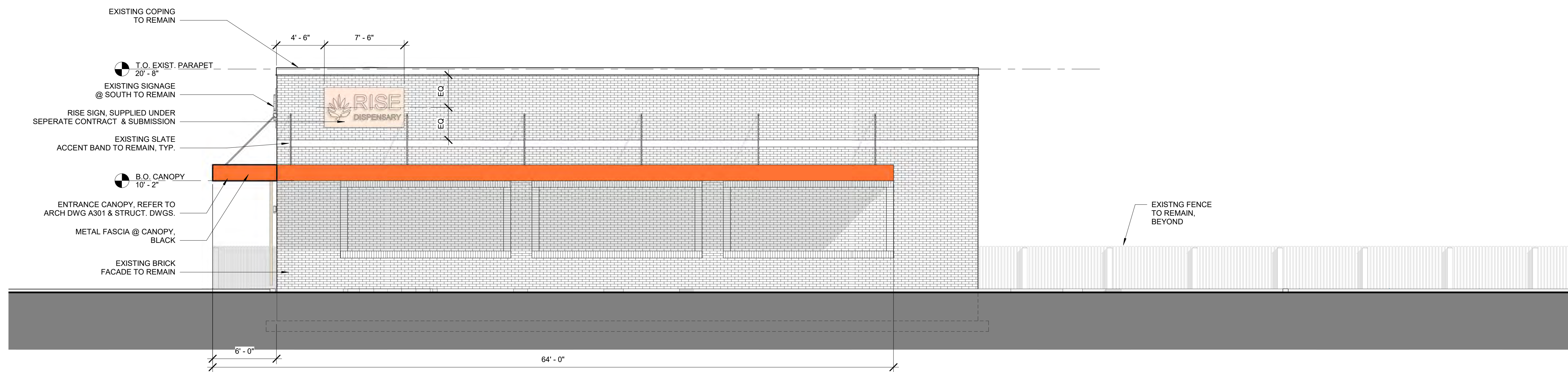
RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR ELEVATIONS

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

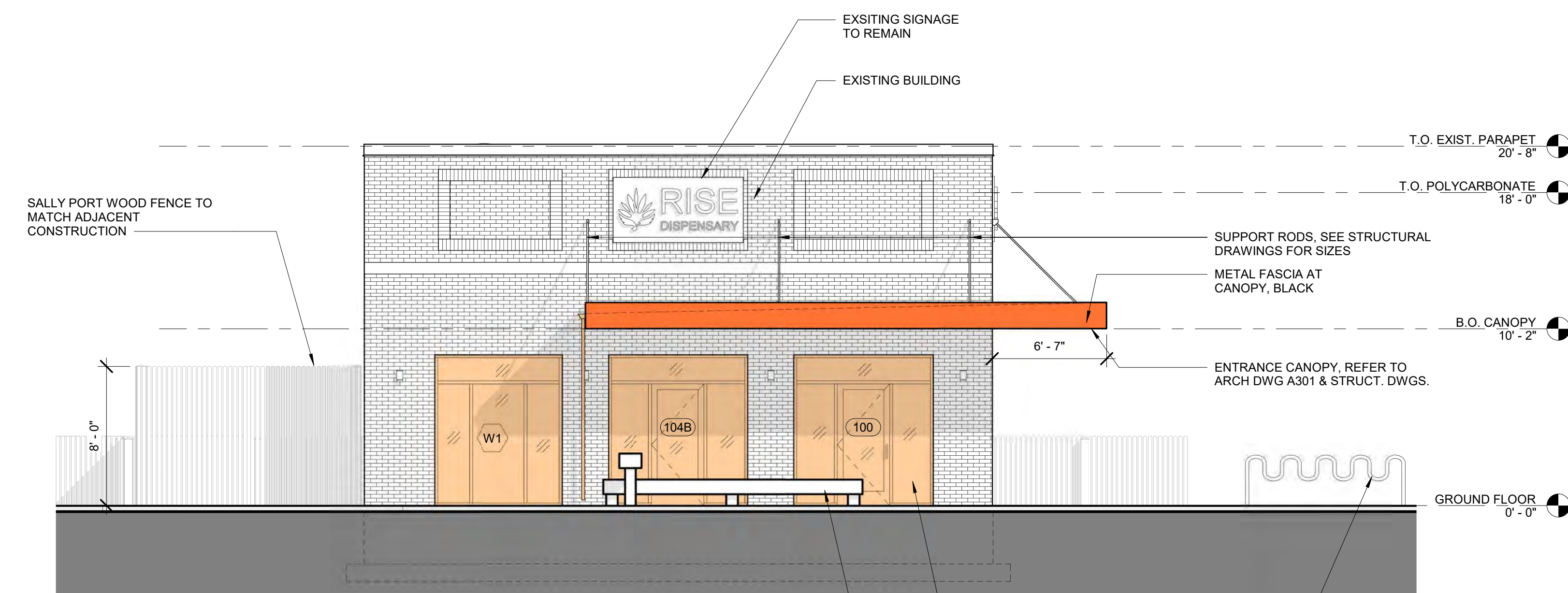
A201

Scale 3/16" = 1'-0"



1 EAST ELEVATION
A201 SCALE: 3/16" = 1'-0"

NOTE: ALL SIGNAGE SUPPLIED UNDER SEPERATE CONTRACT, AND SUBMITTED UNDER SEPERATE SUBMISSION



2 SOUTH ELEVATION
A201 SCALE: 3/16" = 1'-0"

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

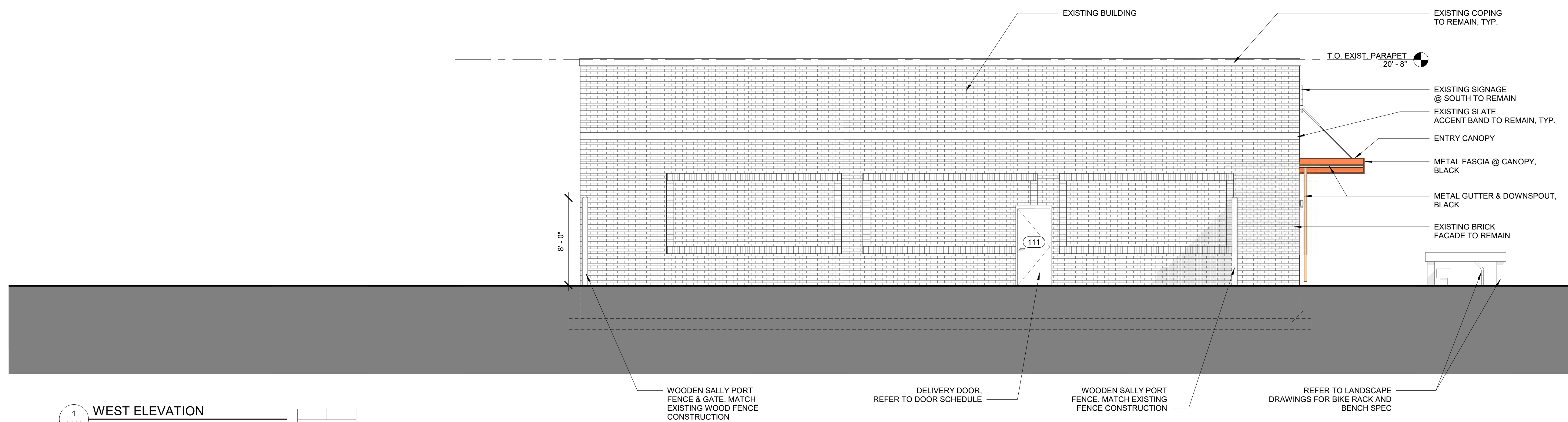
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

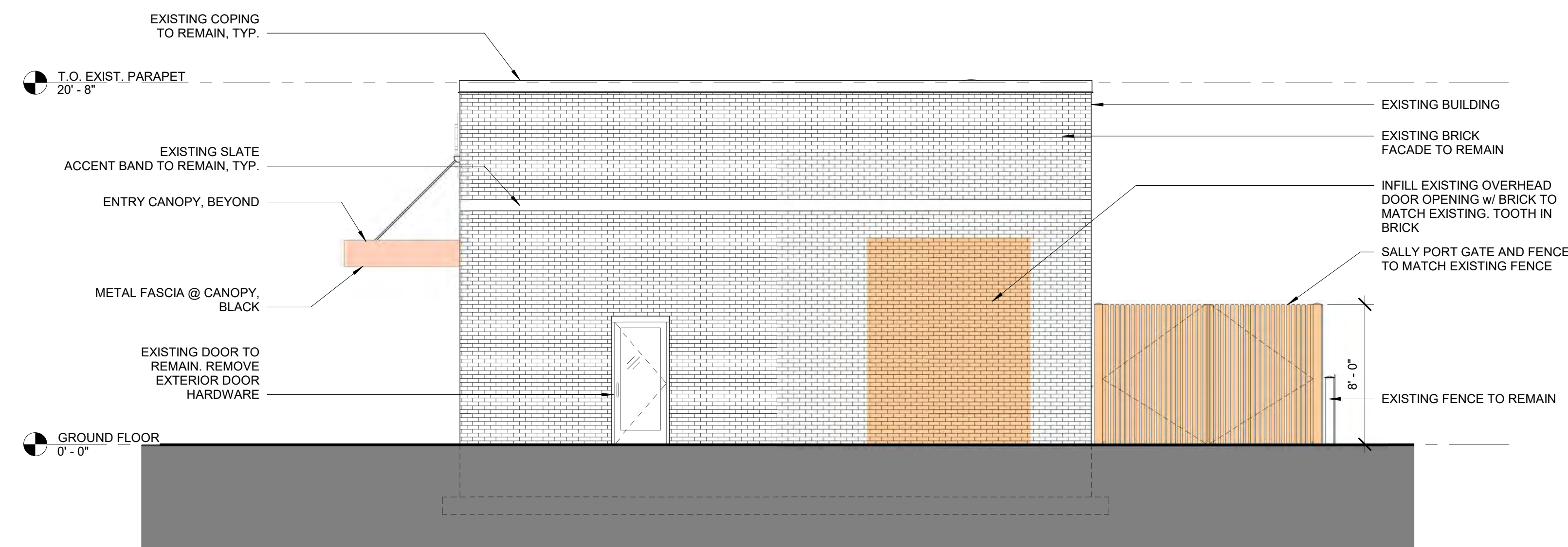
Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



1 WEST ELEVATION
A202 SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
A202 SCALE: 3/16" = 1'-0"

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR ELEVATIONS

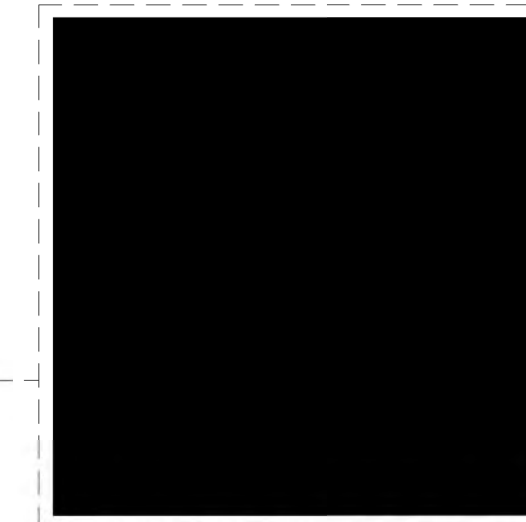
Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A202

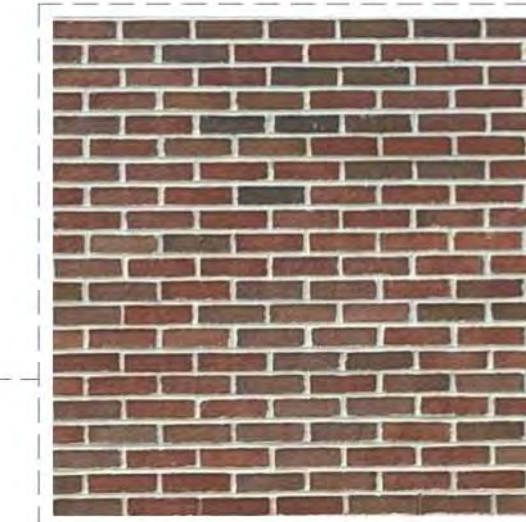
Scale 3/16" = 1'-0"



PAINTED WOOD SOFFIT
COLOR TO MATCH ACCENT GREEN



PAINTED BLACK TO MATCH STOREFRONT



EXISTING BRICK
FACADE



NEW STOREFRONT
"FILM BY OWNER"



300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com

No.	Description	Date

**GREEN THUMB
INDUSTRIES**

**RISE LAKEWOOD - MADISON
DISPENSARY RENOVATION &
EXPANSION**

**DIGITAL FINISH
BOARD**

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A803

Scale

CONFIDENTIAL

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET



300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

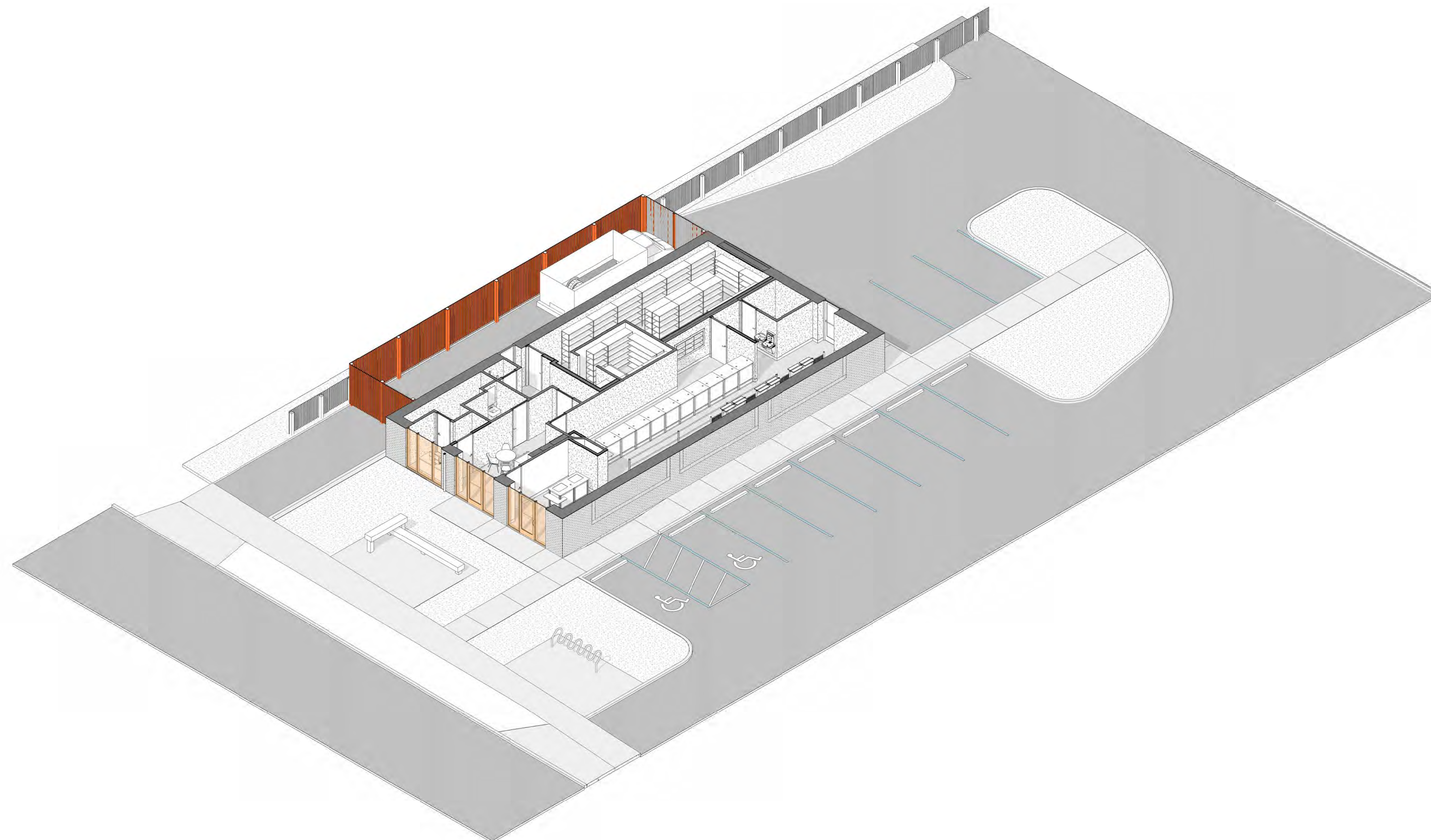
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

PARTIAL AXON

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A804

Scale

1 PARTIAL AXON NEW
A804

CONFIDENTIAL

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET



300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com

ARCHITECT

Chris Dawson Architect
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
325 W Huron St, No 700
Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
2926 Richmond Street
Philadelphia, PA 19134
267-300-4821
dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
2548 Brandywine Lane
York, PA 17404
717-554-0153
e_huth@gb-engineers.com

STRUCTURAL ENGINEER

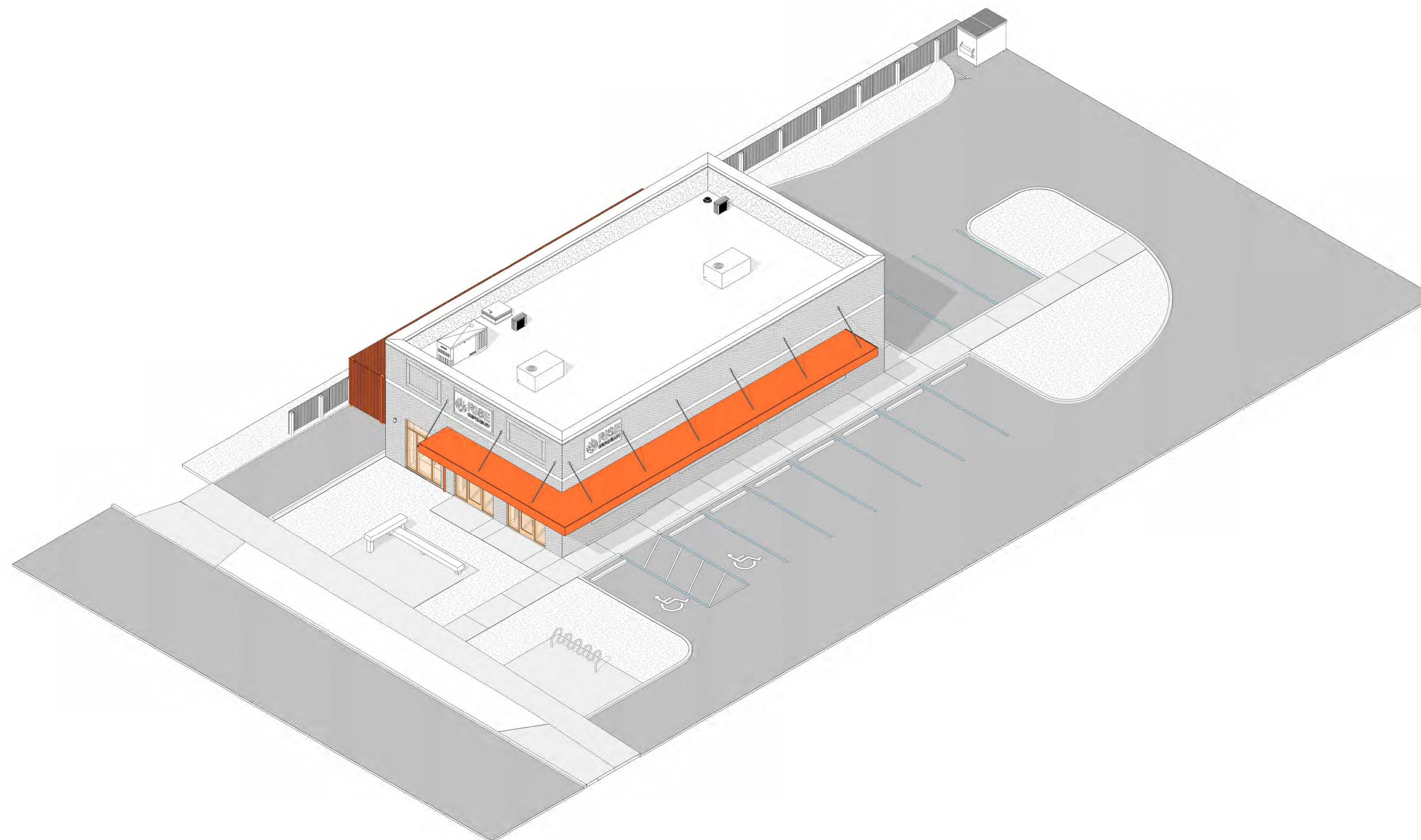
WBCM
100 Sterling Parkway Suite 108
Mechanicsburg, PA 17050
717-691-4708
sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
1111 Superior Ave Ste 2100
Cleveland, OH 44114
216-861-2020
jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
216-466-4355
jayme@deru-la.com



No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

OVERALL AXON

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A805

Scale

1 OVERALL AXON NEW
A805

CONFIDENTIAL

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET



300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com
 www.chrisdawsonarchitect.com

ARCHITECT
 Chris Dawson Architect
 300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com

OWNER
 Green Thumb Industries
 325 W Huron St, No 700
 Chicago, IL 60654

PROJECT MANAGER
 Pure Project Management
 2926 Richmond Street
 Philadelphia, PA 19134
 267-300-4821
 dave.lamontagne@purepm.com

MEP ENGINEER
 Green Building Engineers
 2548 Brandywine Lane
 York, PA 17404
 717-554-0153
 e_huth@gb-engineers.com

STRUCTURAL ENGINEER
 WBCM
 100 Sterling Parkway Suite 108
 Mechanicsburg, PA 17050
 717-691-4708
 sweber@transystems.com

CIVIL ENGINEER
 Osborn Engineering
 1111 Superior Ave Ste 2100
 Cleveland, OH 44114
 216-861-2020
 jziegan@osborn-eng.com

LANDSCAPE ARCHITECT
 DERU Landscape Architecture
 216-466-4355
 jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR RENDERING

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A901

Scale

CONFIDENTIAL

NOT FOR CONSTRUCTION
 2025.03.19 SUBMISSION SET



CDA CHRIS DAWSON ARCHITECT

300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com
 www.chrisdawsonarchitect.com

ARCHITECT

Chris Dawson Architect
 300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
 325 W Huron St, No 700
 Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
 2926 Richmond Street
 Philadelphia, PA 19134
 267-300-4821
 dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
 2548 Brandywine Lane
 York, PA 17404
 717-554-0153
 e_huth@gb-engineers.com

STRUCTURAL ENGINEER

WBCM
 100 Sterling Parkway Suite 108
 Mechanicsburg, PA 17050
 717-691-4708
 sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
 1111 Superior Ave Ste 2100
 Cleveland, OH 44114
 216-861-2020
 jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
 216-466-4355
 jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR RENDERING

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A902

Scale

CONFIDENTIAL

NOT FOR CONSTRUCTION
 2025.03.19 SUBMISSION SET



300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com
 www.chrisdawsonarchitect.com

ARCHITECT

Chris Dawson Architect
 300 North 2nd Street, Suite 701
 Harrisburg, PA 17101
 717-805-5090
 chris@chrisdawsonarchitect.com

OWNER

Green Thumb Industries
 325 W Huron St, No 700
 Chicago, IL 60654

PROJECT MANAGER

Pure Project Management
 2926 Richmond Street
 Philadelphia, PA 19134
 267-300-4821
 dave.lamontagne@purepm.com

MEP ENGINEER

Green Building Engineers
 2548 Brandywine Lane
 York, PA 17404
 717-554-0153
 e_huth@gb-engineers.com

STRUCTURAL ENGINEER

WBCM
 100 Sterling Parkway Suite 108
 Mechanicsburg, PA 17050
 717-691-4708
 sweber@transystems.com

CIVIL ENGINEER

Osborn Engineering
 1111 Superior Ave Ste 2100
 Cleveland, OH 44114
 216-861-2020
 jziegan@osborn-eng.com

LANDSCAPE ARCHITECT

DERU Landscape Architecture
 216-466-4355
 jayme@deru-la.com

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR RENDERING

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A903

Scale

CONFIDENTIAL

NOT FOR CONSTRUCTION
 2025.03.19 SUBMISSION SET



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-33-25

Permit No.: BBS25-000028

Applicant Name: David Maddux, The Arcus Group

Project Address: 17852 Lake Rd.

Project Name: n/a

Project: Applicant proposes an exterior renovation and addition to existing Tudor home.

From: jgiff188@aol.com
To: Dmaddux@Arcus-group.com
Subject: RE: 17852 Lake Road ARB Application

Hi Dave,

Please include this in the ARB application.

I consent to have David Maddux and his associates at the Arcus Group, Inc. represent me at any City of Lakewood Architectural Board of Review meetings, in relation to my property at 17852 Lake road. I also give my permission to board members to enter my premises as needed as a part of my application review process.

Thank you,

Jack Griffiths

216-970-5163

Jgriff188@aol.com

10/10/10



Existing Garage Approach



Proposed Garage Approach



Existing Side View



Proposed Side View

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
1-6-25 REVIEW
1-31-25 REVIEW
3-20-25 REVIEW

Addition & Renovation for
The Griffiths Residence

Lakewood Ohio
17852 Lake Road

The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Renderings
(Scheme A+)

SK-4

COPYRIGHT © 2025

PROJECT NO: 2501
DRAWN BY: BCK
CHECKED BY: DTM

Preliminary
Not For
Construction



Existing Rear Kitchen View



Proposed Rear Kitchen View



Existing Rear Veranda View



Proposed Rear Veranda View

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
1-6-25 REVIEW
1-31-25 REVIEW
3-20-25 REVIEW

Addition & Renovation for
The Griffiths Residence

17852 Lake Road
Lakewood Ohio

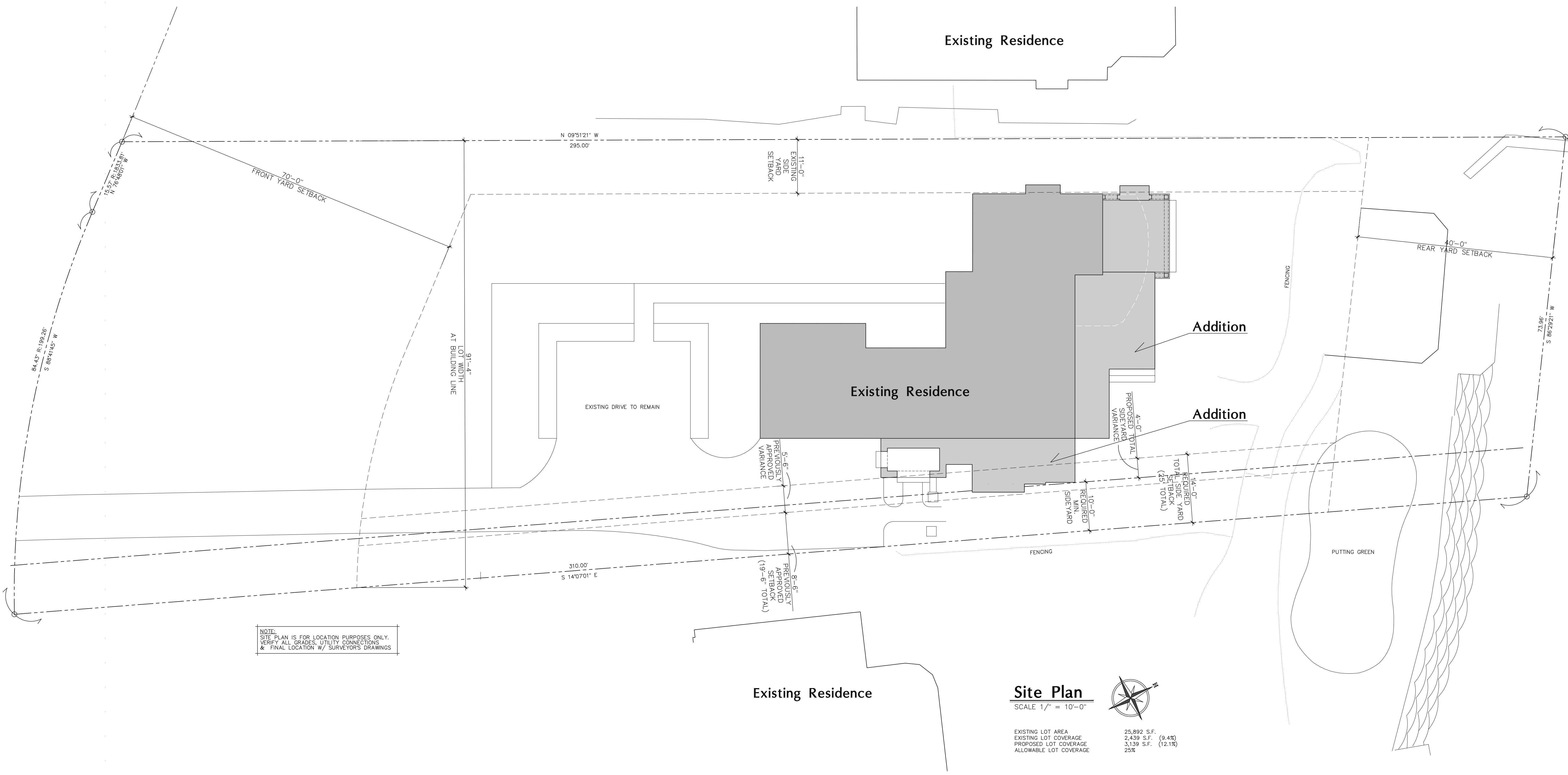
The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Renderings
(Scheme A+)

SK-5
COPYRIGHT © 2025

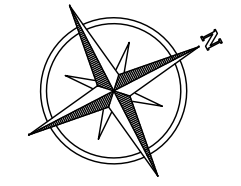
PROJECT NO: 2501
DRAWN BY: BCK
CHECKED BY: DTM

Preliminary
Not For
Construction



NOTE:
 SITE PLAN IS FOR LOCATION PURPOSES ONLY.
 VERIFY ALL GRADES, UTILITY CONNECTIONS
 & FINAL LOCATION W/ SURVEYOR'S DRAWINGS

Site Plan
 SCALE 1/8" = 10'-0"



EXISTING LOT AREA	25,892 S.F.
EXISTING LOT COVERAGE	2,439 S.F. (9.4%)
PROPOSED LOT COVERAGE	3,139 S.F. (12.1%)
ALLOWABLE LOT COVERAGE	25%

Preliminary
 Not For
 Construction

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUE:	
1-6-25 REVIEW	
3-4-25 BZA REVIEW	
3-20-25 REVIEW	

**Addition & Renovation for
 The Griffiths Residence**

17852 Lake Road
 Lakewood
 Ohio

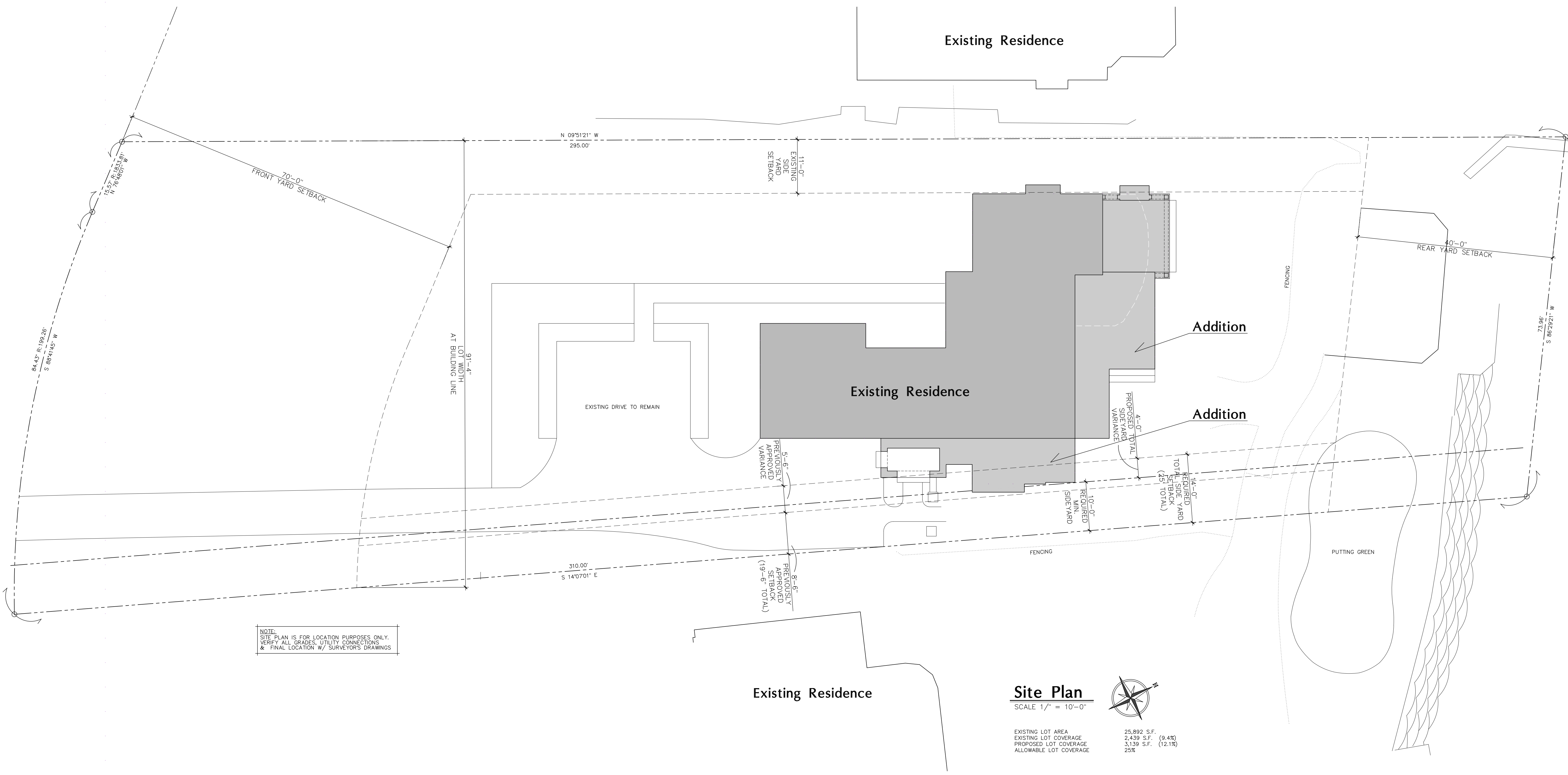


The Arcus Group, Inc.
 ARCHITECTS
 1244 Smith Court
 Rocky River, Ohio 44116
 Tel: 440.356.5530

Site Plan
 (Scheme A+)

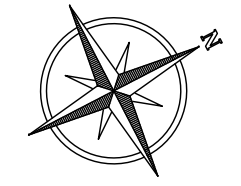
SK-1
 COPYRIGHT © 2025

PROJECT NO.:	2501
DRAWN BY:	BCK
CHECKED BY:	DTM



NOTE:
 SITE PLAN IS FOR LOCATION PURPOSES ONLY.
 VERIFY ALL GRADES, UTILITY CONNECTIONS
 & FINAL LOCATION W/ SURVEYOR'S DRAWINGS

Site Plan
 SCALE 1/8" = 10'-0"



EXISTING LOT AREA	25,892 S.F.
EXISTING LOT COVERAGE	2,439 S.F. (9.4%)
PROPOSED LOT COVERAGE	3,139 S.F. (12.1%)
ALLOWABLE LOT COVERAGE	25%

Preliminary
 Not For
 Construction

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ISSUE:	
1-6-25 REVIEW	
3-4-25 BZA REVIEW	
3-20-25 REVIEW	

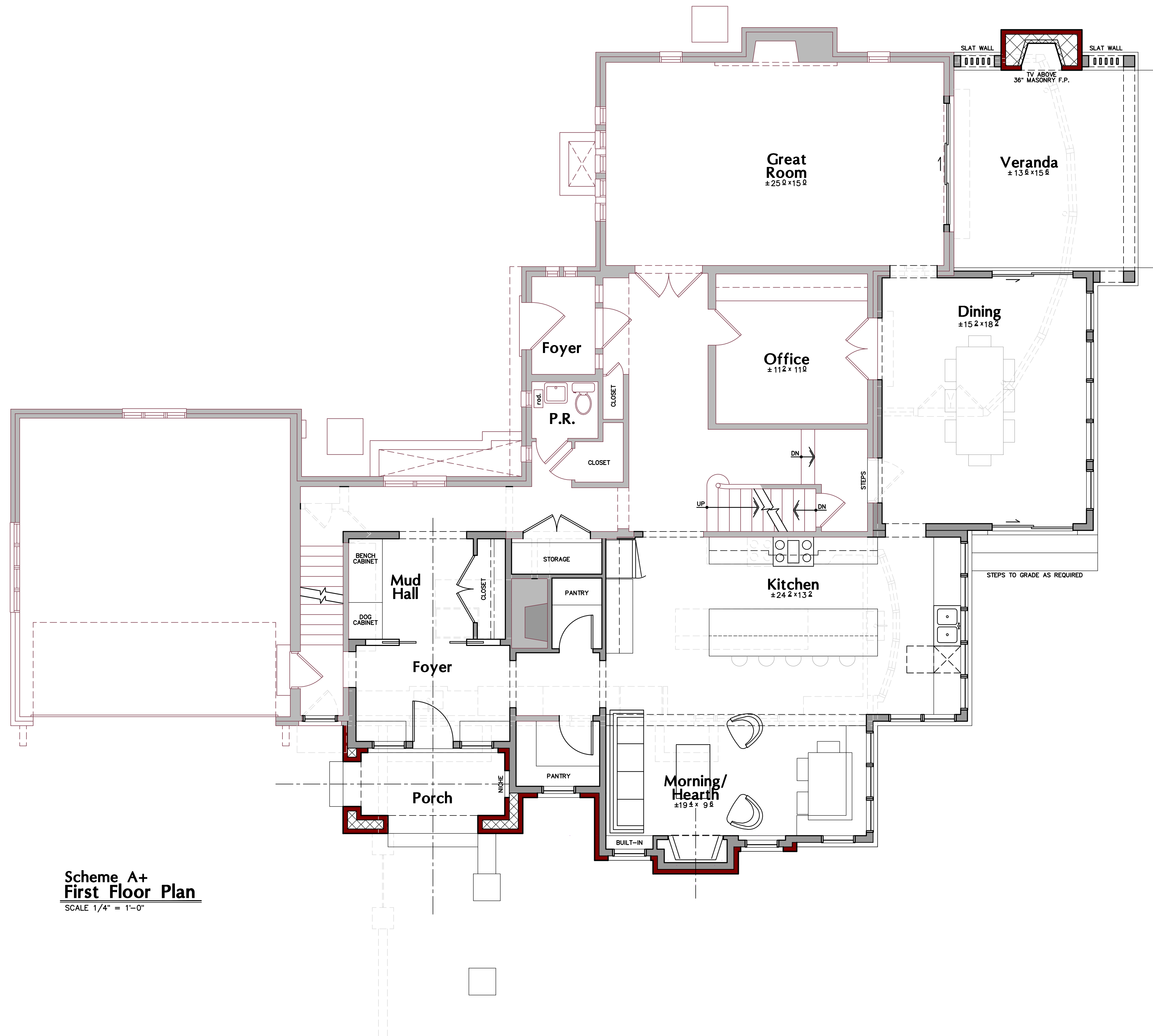
**Addition & Renovation for
 The Griffiths Residence**
 17852 Lake Road
 Lakewood
 Ohio

The Arcus Group, Inc.
 ARCHITECTS
 1244 Smith Court
 Rocky River, Ohio 44116
 Tel: 440.356.5530

Site Plan
 (Scheme A+)

SK-1
 COPYRIGHT © 2025

PROJECT NO: 2501
 DRAWN BY: BCK
 CHECKED BY: DTM



**Scheme A+
First Floor Plan**
SCALE 1/4" = 1'-0"

Preliminary
Not For
Construction

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE
1-6-25 REVIEW
1-31-25 REVIEW
3-5-25 BZA REVIEW
3-20-25 REVIEW

**Addition & Renovation for
The Griffiths Residence**

Lakewood Ohio
17852 Lake Road



The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5530

First Floor Plan
(Scheme A+)

SK-2

COPYRIGHT © 2025

PROJECT NO: 2501
DRAWN BY: BCK
CHECKED BY: DTM



**Scheme A+
Second Floor Plan**
SCALE 1/4" = 1'-0"

Preliminary
Not For
Construction

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
1-6-25 REVIEW
1-31-25 REVIEW
3-20-25 REVIEW

**Addition & Renovation for
The Griffiths Residence**

17852 Lake Road
Lakewood Ohio

The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Second Floor Plan
(Scheme A+)

SK-3
COPYRIGHT © 2025

PROJECT NO:	2501
DRAWN BY:	BCK
CHECKED BY:	DTM











