

**AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
EAST CONFERENCE ROOM
APRIL 4, 2024
4:00 P.M.**

**REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
APRIL 11, 2024
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MARCH 14, 2024 MEETING
3. OPENING REMARKS

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

4. Docket No. 03-13-24 (R) 17428 Edgewater Dr.
- () Approve Alexander Kolbe
() Deny evoDOMUS LLC
() Defer 2176 S. Taylor Rd.
Cleveland Heights, OH 44118

Applicant proposes demolition of a home and a new home construction. (Page 5)

5. Docket No. 03-16-24 (C) 12102 Madison Ave.
Hola Tacos
- () Approve Ryan Kauffman
() Deny Kauffman Lawn Furniture
() Defer 4574 US-62
Millersburg, OH 44654

Applicant proposes an approximately 2,000 sq. ft. awning addition to the existing building. (Page 16)

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

6. Docket No. 04-22-24 (R) 1276 Manor Park Ave.

() Approve Jill Brandt
() Deny Brandt Architecture
() Defer 19440 Riverwood Ave.
Rocky River, OH 44116

Applicant proposes a new front porch and dormer. (Page 55)

7. Docket No. 04-23-24 (R) 17879 Lake Rd.

() Approve Mark H. Reinhold
() Deny Mark Reinhold Architect
() Defer 1120 Forest Rd.
Lakewood, OH 44107

Applicant proposes a front porch addition. (Page 68)

8. Docket No. 04-24-24 (C) 15501 Madison Ave.
Vital Pilates & Wellness Bar

() Approve Lizandra Gonzalez
() Deny Vital Pilates & Wellness Bar
() Defer 15501 Madison Ave.
Lakewood, OH 44107

Applicant proposes exterior alterations to an existing building. (Page 76)

9. Docket No. 04-25-24 (C) 14414 Detroit Ave.
The Marlowe Building

() Approve David J. Maniet AIA
() Deny Maniet Architects
() Defer 1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes renovation of a commercial building. (Page 87)

10. Docket No. 04-26-24 (C) 16512 Detroit Ave.
Cozumel

() Approve Graham Post
() Deny Sixmo Architecture
() Defer 1107 Auburn Ave.
Cleveland, OH 44113

Applicant proposes renovation to the front of a commercial building for outdoor dining and an addition for a rear storage unit. (Page 110)

SIGN REVIEW

11. Docket No. 04-27-24

**14235 Madison Ave.
Marathon Station**

- Approve
- Deny
- Defer

Tony M. Bazo
Bazo Construction
12645 Delta St.
Taylor, OH 48180

Applicant proposes rebranding signage from Valero gas station to Marathon. (Page 138)

12. Docket No. 04-28-24

**14538 Detroit Ave.
Blossom Cleveland**

- Approve
- Deny
- Defer

Megan Robinson
Blossom Cleveland
14538 Detroit Ave.
Lakewood, OH 44107

Applicant proposes more than the allowable window square foot coverage by use of vinyl cut graphics. (Page 171)

13. Docket No. 04-29-24

**17525 Madison Ave.
The Attaché Apartments**

- Approve
- Deny
- Defer

James Briola
North Coast Sign and Lighting Services Inc.
310 N. Broadway St.
Medina, OH 44256

Applicant proposes a non-illuminated monument sign. (Page 178)

14. Docket No. 04-30-24

**13741 Madison Ave.
La Mocha**

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes vinyl window graphics and a double-sided replacement blade sign in an existing frame. (Page 184)

COMMUNICATION

15. Docket No. 04-31-24

Residential Architectural Design Standards

The Department of Planning and Development staff will present a communication regarding proposed Residential Architectural Design Standards for Architectural Board of Review proposals. (Page 187)

ADJOURN

“Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.gov.”



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 03-13-24

Permit No.: BBS24-000016

Applicant Name: Alexander Kolbe, evoDOMUS LLC.

Project Address: 17428 Edgewater Dr.

Project Name: n/a

Project: Applicant proposes demolition of a home and a new home construction.

We purchased the house after the birth of our first child in 2015. We have since had two more children.

In the first 4 years of ownership, we had to move the lake facing fence back twice because of sections of the cliff falling into the lake. Without moving it, our house was getting closer to the cliff.

We then did a revetment intervention to secure the slope that was permitted in 2020 and completed in July 2022.

During the years of our ownership, we have had to address the following structural and system deficiencies:

- Major repair of the copper piped underfloor heating system.> We have since been informed that it is at the end of its useful life. Without the underfloor heat the uninsulated slab on grade floor causes the rooms to be uncomfortable and very difficult to heat
- Repeated roof leaks which have resulted in mold issues
- Addition of HVAC heat pumps to the existing multiple systems.
- Current need to replace the rusting steel plumbing piping
- Current need to replace disintegrating wood siding facing the lake

Because there are only two bedrooms on the first floor, and two small bedrooms and a bath remotely located on the second floor, we engaged with an architect to explore adding two new bedrooms next to the two on the first floor. This was deemed doable, however, we determined that the entire existing house would still require a gut renovation since it is uncomfortable and wasteful due to being uninsulated and having single paned windows which are in poor condition

and must be replaced with at the very least thermally-broken insulated windows. To proceed at this point would mean incurring all the costs of building a new house and still being left with the awkward layout of the ranch house that is even closer to the cliff than was originally planned.

Considering this 1950s ranch house has no architectural significance, because of the wide-reaching and very costly constructive issues listed above, and due to the very real fact that the house does not meet the needs of our family of 5 with small children, we have decided that the way forward is to build a new high-performance net zero home with the rooms and layout our family needs. In addition to a currently unavailable dedicated office, our new home will also include a ground floor, accessible ensuite bedroom which will allow for the intergeneration living we anticipate in the coming years. This area is also planned to be wheelchair accessible with the addition of an exterior landscaped ramp

To achieve our energy-efficiency, highest constructive quality and aesthetic goals for our home, we have enlisted the services of evoDOMUS, a local-based design company specializing in custom high-performance, sustainable modern homes. Additionally, we are working with the local contractor, Berges Home Performance best known for their low energy, high performance homes, as well as the Passive House certified energy consultants, Sol Design and Consulting.

Design elements that correspond with neighboring homes



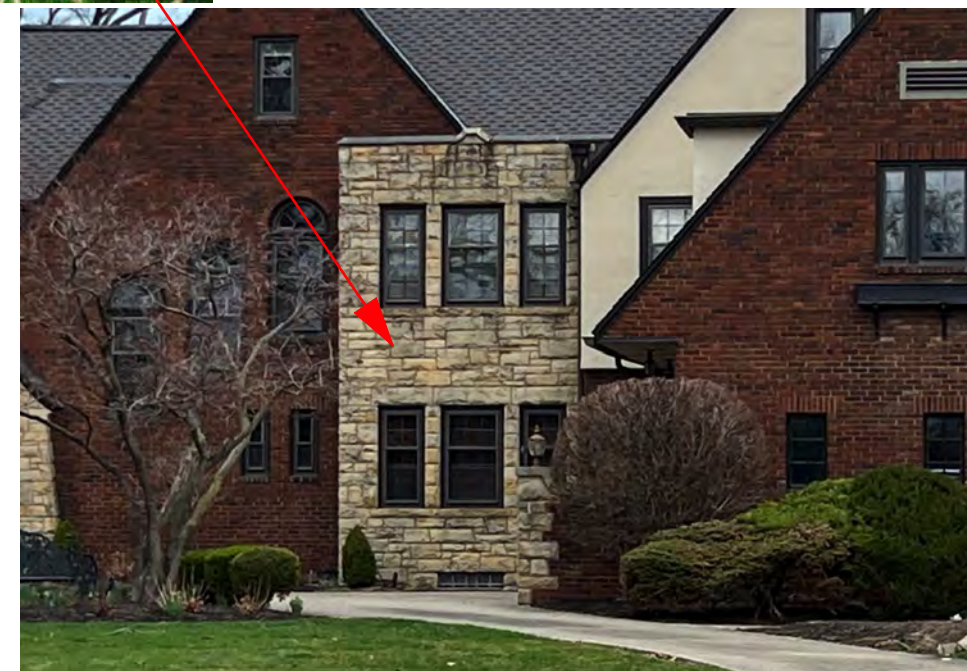
Stone application



Stone application









Stone application
Horizontal canopy



Design Elements

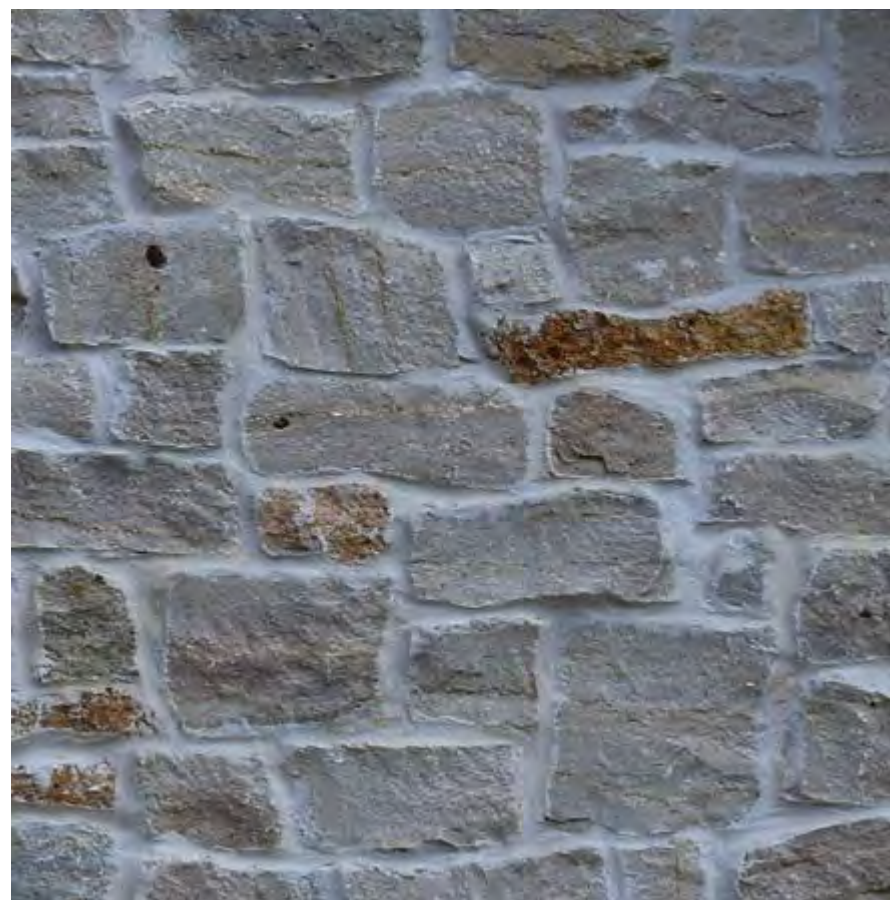
evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Design Elements Scale:	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.11	
Sheet Size: 11" x 17"	



-  Ruby Spice Summer Sweet
-  Hydrangea Paniculata Tardiva
-  Bayberry Myrica Pennsylvania
-  Upright Boxwood
-  Adagio Maiden Grass
-  Cherry Laurel Prunus Laurocerasus (Hedge)

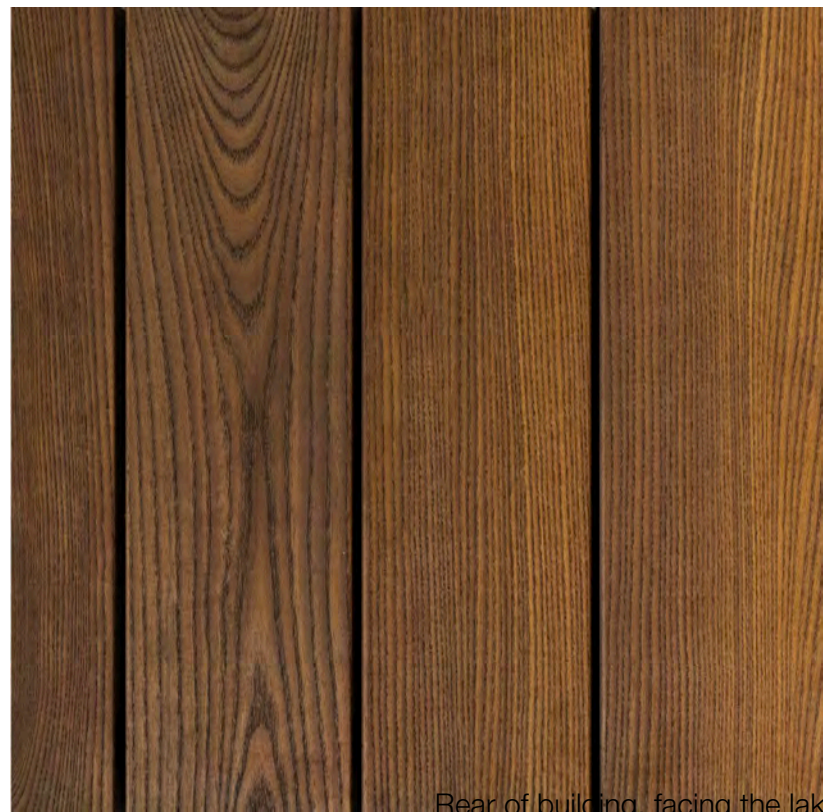
Landscape Proposal

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Landscape Proposal Scale:	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.12	
Sheet Size: 11" x 17"	



Stone accents ▲

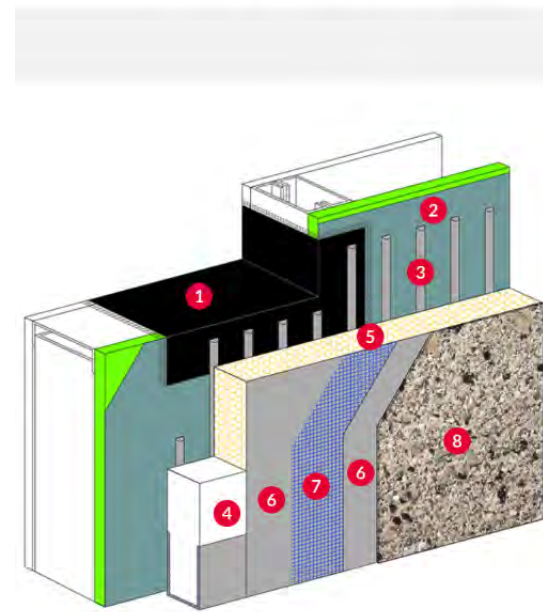
▼ Thermally treated wood



Rear of building, facing the lake

Outsulation® Plus MD System

An Exterior Insulation and Finish System With Passive Moisture Drainage That and An Air/Water-Resistive Barrier



- 1 AquaFlash® Flashing System
- 2 Backstop® NT Air/Water-Resistive Barrier
- 3 Adhesive/ Drainage Medium
- 4 Pre-Based Starter Board
- 5 EPS Continuous insulation
- 6 Base Coat
- 7 Reinforcing Mesh
- 8 Finish

DRYVIT EIFS System



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Material Selections Scale:	
Issue Date: 02/20/2024	
Phase: ABR Review	Project Number: CHZ
Sheet Number: 03.7	
Sheet Size: 11" x 17"	

Material Selections



EIFS System we installed in 2014
To this day no cracks or discoloration, no moss or mold



Thanks to the EIFS system this home in NC can hold 65°F indoor temperature **without heating** on a 40°F winter day



Typhoon resistant Dryvit EIFS installation on a LEED platinum home we designed in the Philippines



Impeccable EIFS system on a home in PA

EIFS Systems

EIFS is a vital part in the effort to create energy efficient homes in times of dwindling resources and climate change.

evoDOMUS has used these advanced systems all over the world with great success.

Unlike some bad examples in the past these modern stucco systems provide not only superior thermal insulation and extreme durability due to its construction with a drainage plane and hydrophobic surface protection (HDL or Lotusan)

These products do not require movement joints and come with a 20 year warranty. Installation is performed by certified installers

evoDOMUS LLC

2176 S Taylor Road
Cleveland Heights, OH 44118
Phone: +1(216) 772-2603

Owner:
Nathan Chavez
17428 Edgewater Drive
Lakewood OH 44107

Drawing:
Design Examples
EIFS
Scale:

Issue Date:
02/20/2024

Phase:
ABR Review

Sheet Number:
03.6

Sheet Size:
11" x 17"

Project Name:
Chavez Residence
17428 Edgewater Drive Lakewood OH 44107

Project Number:
CHZ



**10 YEAR LIMITED REPAIR AND REPLACEMENT MATERIALS WARRANTY
10 YEAR MOISTURE DRAINAGE WARRANTY
10 YEAR FADE RESISTANCE WARRANTY
OUTSULATION® PLUS MD® SYSTEM**

Dryvit Systems, Inc. ("Dryvit") warrants in the limited manner specified herein that the materials manufactured and sold by Dryvit, including the air and water resistive barrier components, flashing material, insulation board, adhesive, base coat, mesh and finish, shall be free from defects in the manufacture of the materials. For a period of ten (10) years from the date of substantial completion of the project, when installed in accordance with Dryvit's current published literature under normal weather conditions and excluding unusual air pollution, the materials will not lose their bond, peel, flake, or chip as a result of such defect in the manufacture of the materials. For a period of ten (10) years from the date of substantial completion of the project, when installed in accordance with Dryvit's current published literature under normal weather conditions and excluding unusual air pollution, the finish will be water resistant so long as surface integrity is maintained and will be UV fade resistant, except for specially produced colors. For a period of ten (10) years from the date of substantial completion of the project, when installed in accordance with Dryvit's current published literature by an applicator firm that has completed a Dryvit training program for the system, the system will effectively drain any moisture that enters the cavity between the insulation board and the air and water resistive barrier.

THE SOLE RESPONSIBILITY AND LIABILITY OF DRYVIT UNDER THIS WARRANTY SHALL BE TO PROVIDE LABOR AND MATERIALS NECESSARY TO REPAIR OR REPLACE THE DRYVIT MATERIALS DESCRIBED HEREIN SHOWN TO BE DEFECTIVE DURING THE WARRANTY PERIOD, AND IF NECESSARY, TO REPAIR OR REPLACE ANY SHEATHING OR FRAMING MEMBER THAT IS DAMAGED AS A RESULT OF THE SYSTEM FAILING TO DRAIN MOISTURE FROM THE CAVITY BETWEEN THE INSULATION BOARD AND THE AIR AND WATER RESISTIVE BARRIER AS PROVIDED HEREIN. ANY OTHER LABOR OR OTHER COSTS ASSOCIATED WITH THE REPAIRS OR REPLACEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. NO OTHER CHARGES OR EXPENSES WILL BE ALLOWED BY DRYVIT. DRYVIT WILL DETERMINE IN ITS SOLE DISCRETION THE APPROPRIATE SCOPE AND METHOD OF REPAIR OR REPLACEMENT TO REMEDY ANY CONDITION COVERED BY THIS WARRANTY.

No warranty whatsoever is made with respect to (i) materials produced by other manufacturers not bearing Dryvit's name or logo which are used in the installation of the Dryvit materials covered hereunder, (ii) materials, including insulation board, produced by manufacturers for Dryvit but not sold by Dryvit or its authorized distributor, even if such materials bear Dryvit's name or logo, (iii) any sealant materials nor (iv) cracking.

This warranty is void if a component of the system is substituted or eliminated or if Dryvit materials are intermixed with other chemicals or materials not specifically required by Dryvit's current published literature.

No warranty whatsoever is made for damage caused in whole or in part by acts of God or natural phenomenon, such as but not limited to falling objects, fire, earthquake, floods, pests or chemical fumes. No warranty whatsoever is made for architecture, engineering, aesthetics, insufficient or defective waterproofing between Dryvit materials or between Dryvit materials and non-Dryvit materials or for defective or improper workmanship by the applicator. No warranty whatsoever is made for any damage or injury not solely and directly caused by defects in the manufacture of the materials covered under this warranty.

DRYVIT WILL BE RESPONSIBLE FOR DAMAGE TO SHEATHING OR FRAMING MEMBERS THAT IS A RESULT OF A FAILURE OF THE SYSTEM TO DRAIN MOISTURE THAT ENTERS THE CAVITY BETWEEN THE INSULATION BOARD AND THE AIR AND WATER RESISTIVE BARRIER. IN NO EVENT SHALL DRYVIT BE LIABLE FOR AND EXPRESSLY DISCLAIMS ANY LIABILITY FOR ANY OTHER DAMAGE TO THE BUILDING ITSELF, ITS CONTENTS OR FOR ANY CONSEQUENTIAL, SPECIAL OR INCIDENTAL DAMAGE, WHETHER IN CONTRACT OR IN TORT, INCLUDING NEGLIGENCE. THIS LIMITED REPAIR AND REPLACEMENT WARRANTY IS GIVEN IN LIEU OF ANY AND ALL OTHER



WARRANTIES WRITTEN OR ORAL, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THE REMEDY SET FORTH HEREIN IS THE SOLE AND EXCLUSIVE REMEDY FOR ANY AND ALL CLAIMS ARISING UNDER OR IN CONNECTION WITH OR IN ANY WAY RELATING TO THE DRYVIT MATERIALS SUPPLIED AND INSTALLED ON THIS PROJECT. NO DRYVIT REPRESENTATIVE HAS THE AUTHORITY TO VARY OR ALTER THESE TERMS.

This warranty is issued to the original owner of the structure into which the Dryvit materials have been incorporated and may only be transferred or assigned to a subsequent owner upon written notice to Dryvit at the address provided below at the time of transfer of ownership. Such transfer or assignment shall not extend the original term of this limited repair and replacement warranty.

No warranty stated herein shall be effective until and unless the materials covered by this warranty have been paid for in full.

The remedies provided in this warranty shall be exclusive and no person is authorized to make any other warranty, express or implied, on behalf of Dryvit.

Since the Dryvit materials are building materials and are not intended to be sold to a "consumer" except as part of real estate or as a major addition thereto, this warranty shall not apply to any party constituting a "consumer" as such term is defined by the Magnuson-Moss Warranty Act.

This warranty shall be interpreted under the laws of the State of Rhode Island.

Dryvit shall not have any obligations under this warranty unless the owner notifies Dryvit Systems, Inc., Warranty Services, One Energy Way, West Warwick, RI 02893 or warranty@dryvit.com IN WRITING within thirty (30) days of notice of the alleged defect. Dryvit shall be allowed a reasonable period of time to remove samples and perform any testing Dryvit deems necessary to investigate and determine the cause of the alleged defect. The owner shall undertake any temporary repairs in a timely manner at its own expense to prevent further damage to the structure until the cause of the alleged defect is determined.

Dryvit shall not have any obligations hereunder unless the materials have been maintained by the owner with reasonable care.



Edgewater Drive - Random mix of styles



Eclectic Neighborhood - I



<p>evoDOMUS LLC</p> <p>2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603</p>	
<p>Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107</p>
<p>Drawing: Eclectic Neighborhood - I Scale:</p>	
<p>Issue Date: 02/20/2024</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Project Number: CHZ</p>
<p>Phase: ABR Review</p>	
<p>Sheet Number: 03.8</p>	
<p>Sheet Size: 11" x 17"</p>	



Edgewater Drive - Random mix of styles



Eclectic Neighborhood -2



<p>evoDOMUS LLC</p> <p>2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603</p>	
<p>Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107</p>	<p>Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107</p>
<p>Drawing: Eclectic Neighborhood -2 Scale:</p>	
<p>Issue Date: 02/20/2024</p>	<p>Project Number: CHZ</p>
<p>Phase: ABR Review</p>	
<p>Sheet Number: 03.9</p>	
<p>Sheet Size: 11" x 17"</p>	



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 03-16-24

Permit No.: BBS24-000013

Applicant Name: Ryan Kauffman, Kauffman Lawn Furniture

Project Address: 12102 Madison Ave.

Project Name: Hola Tacos

Project: Applicant proposes an approximately 2,000 sq. ft. awning addition to the existing building.

Owner Consent Form

City of Lakewood, Ohio

By signing below, I authorize members of the City's Building Department and Planning and Development Department access to my property for limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee with notify the building manager.

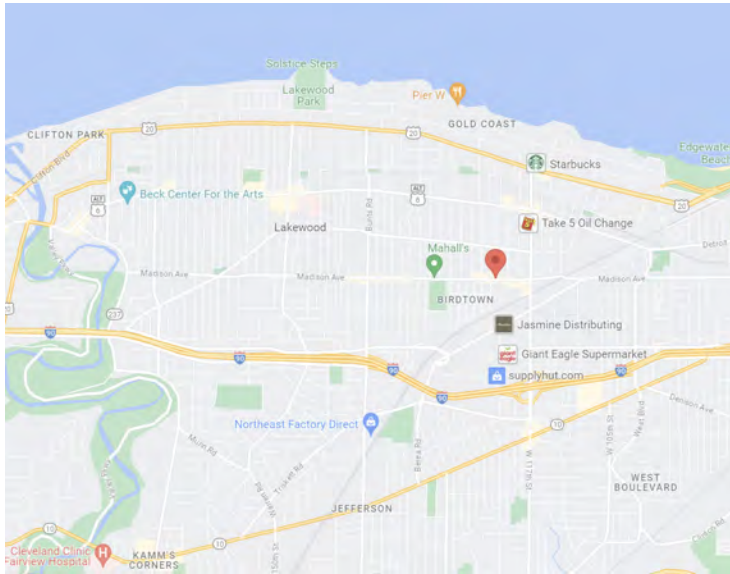
Property Address: 12102 Madison Ave Lakewood, OH 44107 _____

Owner Signature:  _____ **Date:** 01/17/2024

Hola Taco StruXure Project

12102 Madison Ave
Lakewood, OH 44107

VICINITY MAP



General Notes:





All reference in this section are according to the Ohio Residential Building Code. All areas of the building are to meet or exceed the standards required therein.

Soil bearing design based on 1,500 psf at footing depth. Contractor and owner are responsible for verifying that the above soil conditions exists at the foundation locations. Soil testing is recommended for any areas that have been mined or disturbed previously.

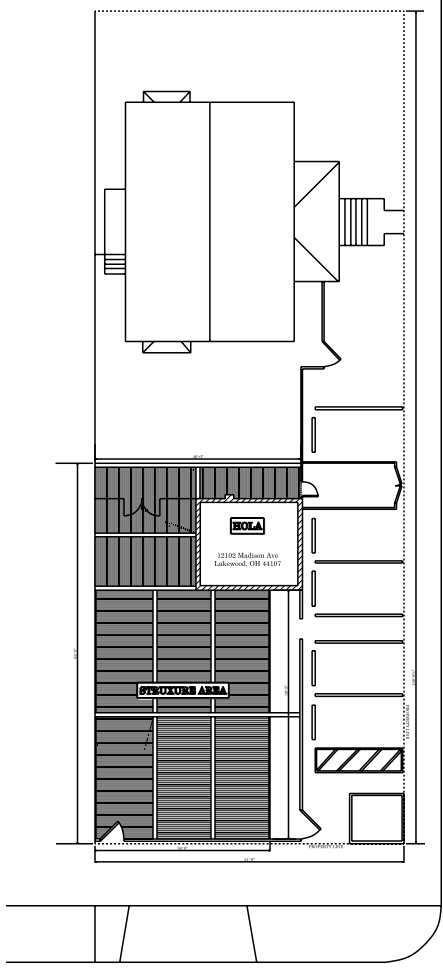
Concrete strength for footers shall be a minimum of 3,000 psf at 28 days. Concrete for exterior slabs shall be a minimum of 4,000 psf at 28 days with 6% air entrainment.

The structure is designed to be self-supporting and stable after completion. It is the contractors responsibility to determine erection procedures and sequence, and to ensure the safety of the building and it's components.

An approved set of construction documents shall be kept at the site of the work. And shall be available for reference by the building official at all times during working hours while such work is in progress.

 Kauffman Lawn Furniture 4540 US 62 MILLERSBURG OH 44654 BRYAN@KAUFFMANLAWNFURNITURE.COM 330-401-6303	Hola Tacos 12102 Madison Ave Lakewood OH 44107 Cuyahoga County	SECTION LETTER 	PAGE NUMBERS 
		DRAWN BY: QUINN MILLER	SCALE: As Noted
			

Site Plan



Kauffman Lawn Furniture
4540 US 62 MILLERSBURG OH 44654

330-401-6303
BRYAN@KAUFFMANLAWNFURNITURE.COM



Hola Tacos
12102 Madison Ave
Lakewood
OH
44107
Cuyahoga County

DRAWN BY: QUINN MILLER

SCALE: 0.0312" = 1'-0"

DATE: Monday, February 19, 2024

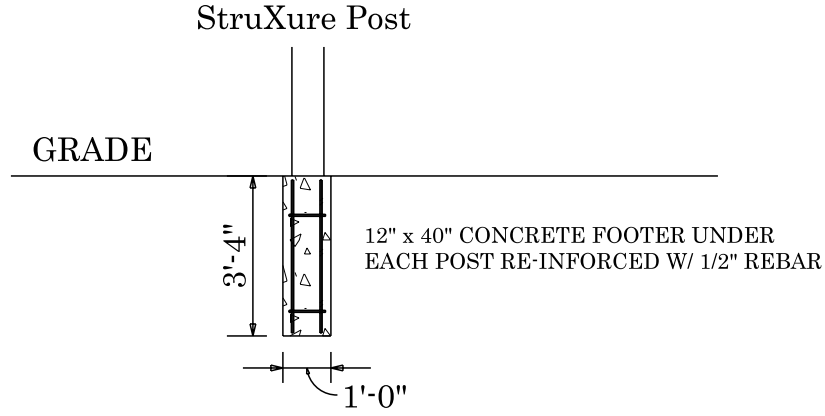
SECTION LETTER: **A**
PAGE NUMBERS: **11**

PAGE: 2 / 3

Site Plan

Footer Detail

SCALE: 1/4" = 1'-0"



**SEE PG A 108 FOR BRACKET / FASTENER DETAILS



Kauffman Lawn Furniture
4540 US 62 MILLERSBURG OH 44654

330-401-6303
BRYAN@KAUFFMANLAWNFURNITURE.COM



Hola Tacos
12102 Madison Ave
Lakewood OH 44107
Cuyahoga County

DRAWN BY: QUINN MILLER

SCALE: 1/4" = 1'-0"

DATE: Monday, February 19, 2024

SECTION LETTER: **A**
PAGE NUMBERS: **11**
PAGE: **3 / 3**

Section Detail

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLERSBURG, OH 44654

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DATE ISSUED:
February 18, 2024

ADDRESS
12102 MADISON AVE,
LAKEWOOD, OH 44107

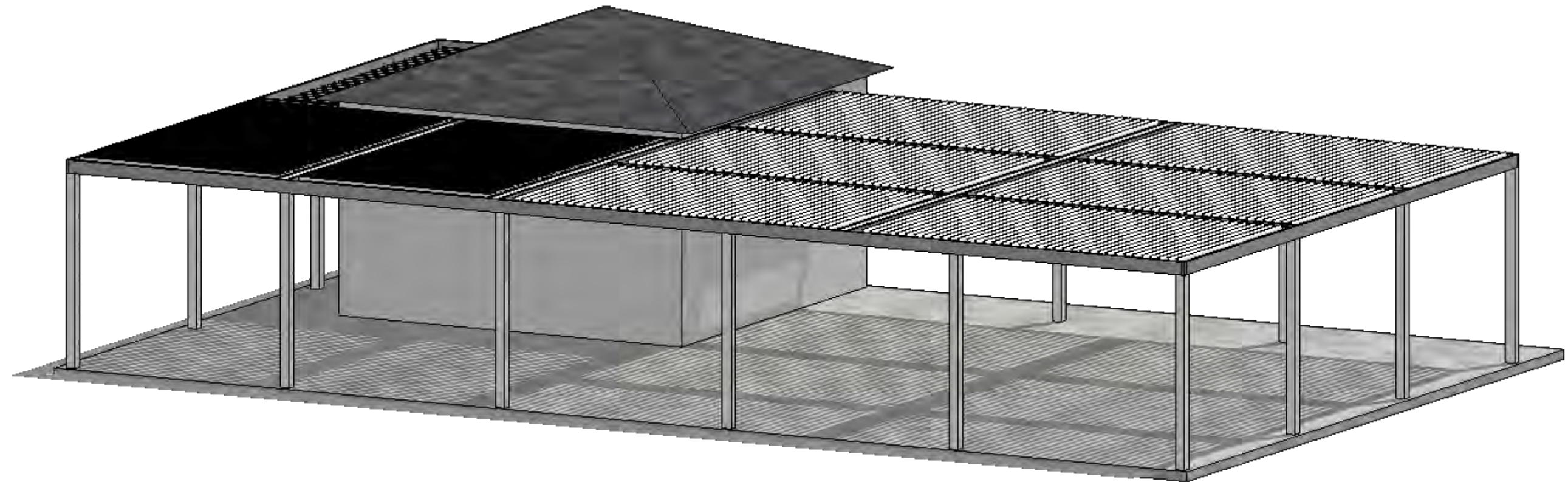
PROJECT SHEETS

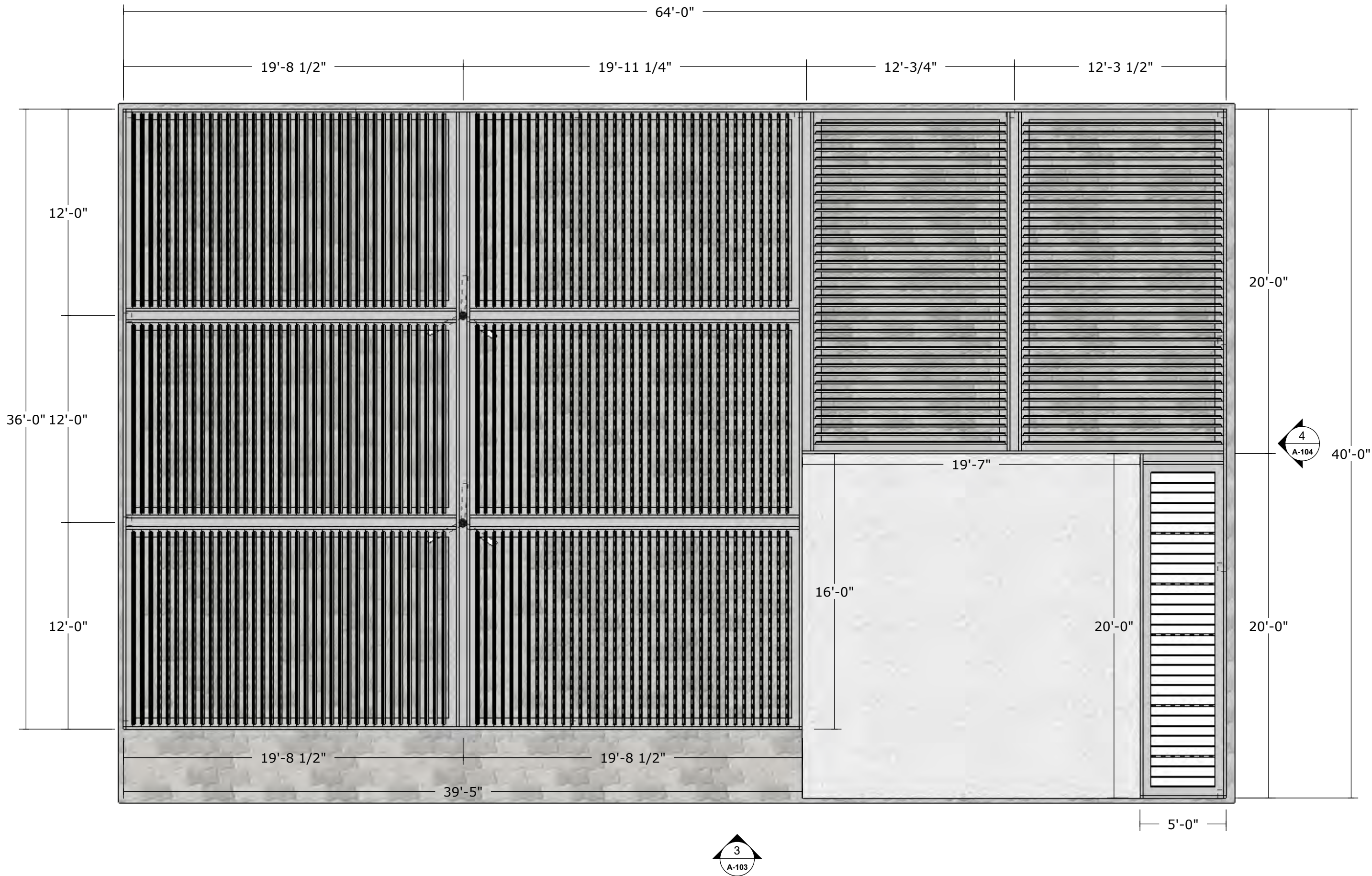
- A 100/COVER
- A 101/ TOP PLAN
- A 102/ TOP DETAIL PLAN
- A 103/ SIDE ELEVATION
- A 104/ FRONT ELEVATION
- A 105/ LOUVER DETAIL
- A 106/ GUTTER DETAIL
- A 107/ POST DETAIL
- A 108/ FOOTER DETAIL
- A 109/ DETAIL
- A 110/ DETAIL
- A 111/ DETAIL

PROJECT #: 7056	DRAWING #: C-100
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PAGE NAME:
COVER SHEET

PAGE #:
A100





HOLA TACOS

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLERSBURG, OH 44654

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February 18, 2024

ADDRESS
12102 MADISON AVE,
LAKEWOOD, OH 44107

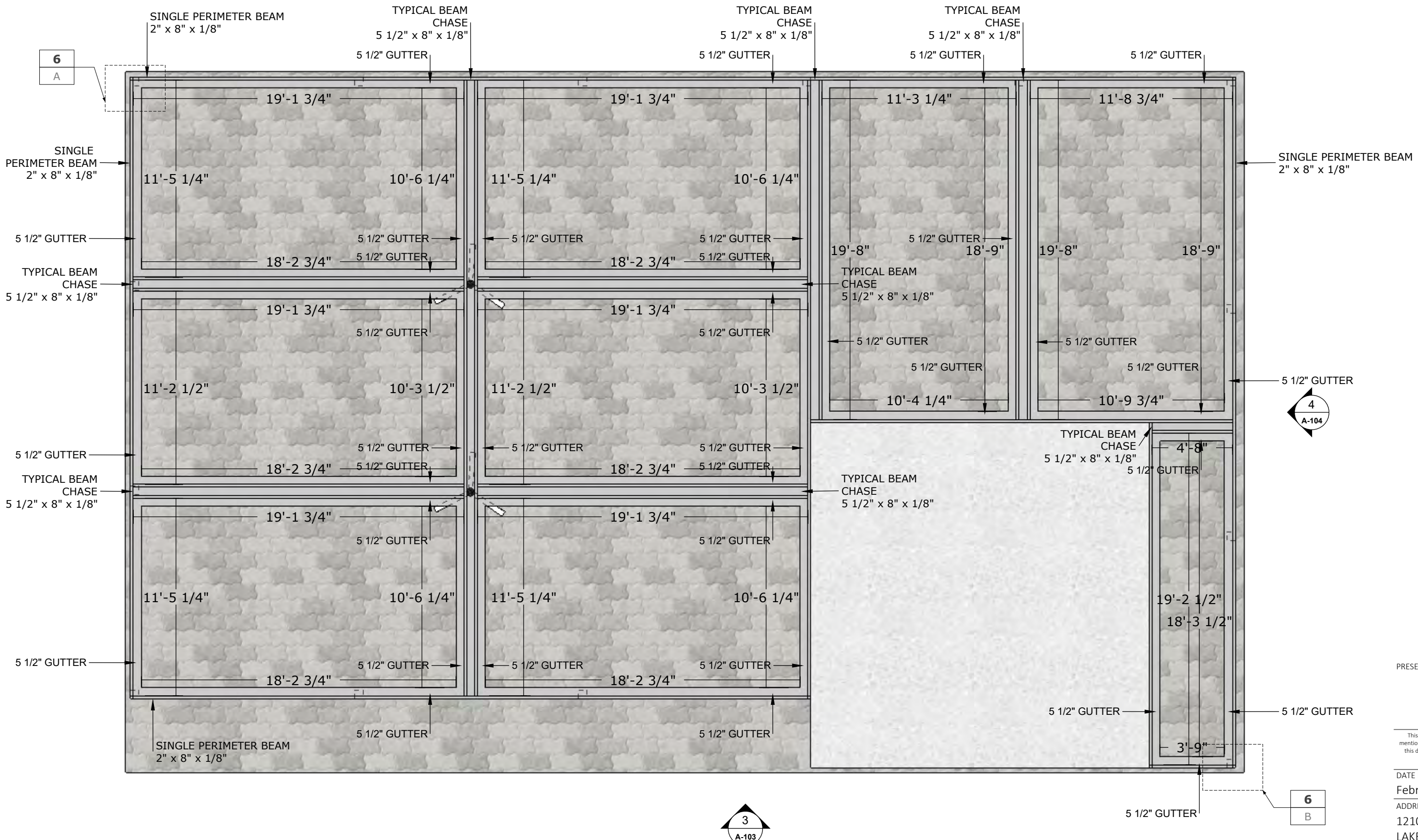
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PAGE NAME:
TOP VIEW

PAGE #:
A101

ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

1 :: TOP VIEW
::Scale: 3/16" = 1'-0"



HOLA TACOS

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLERSBURG, OH 44654

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DATE ISSUED:
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ADDRESS
12102 MADISON AVE,
LAKEWOOD, OH 44107

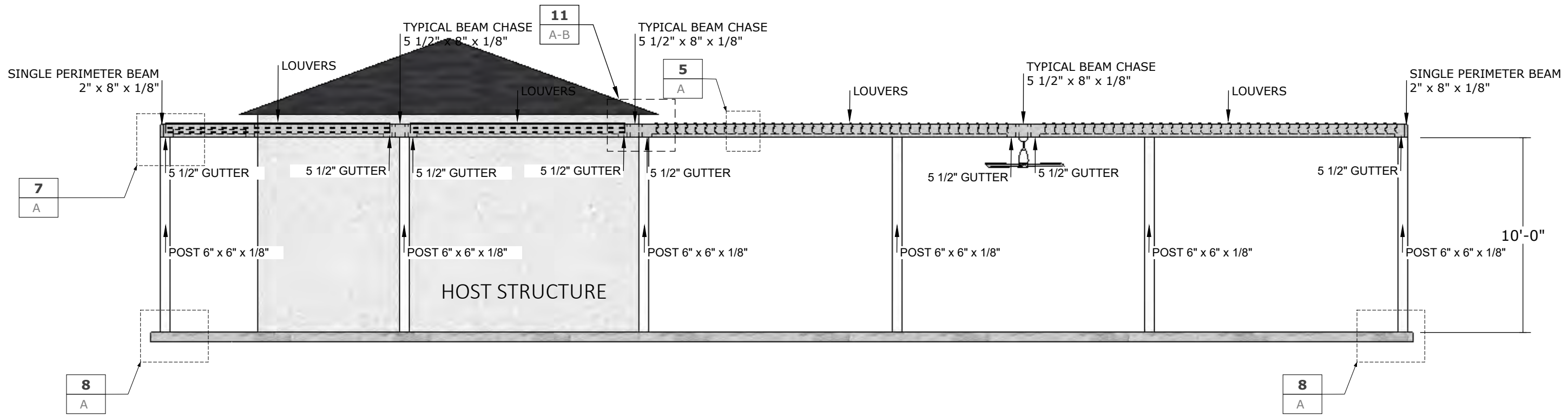
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PAGE NAME:
TOP DETAIL PLAN

PAGE #:
A102
ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

2 :: TOP DETAIL PLAN
::Scale: 3/16" = 1'-0"

HOLA TACOS



3 :: SIDE ELEVATION
 ::Scale: 3/16" = 1'-0"

PRESENTED BY:
 KAUFFMAN LAWN FURNITURE

4574 US-62
 MILLERSBURG, OH 44654

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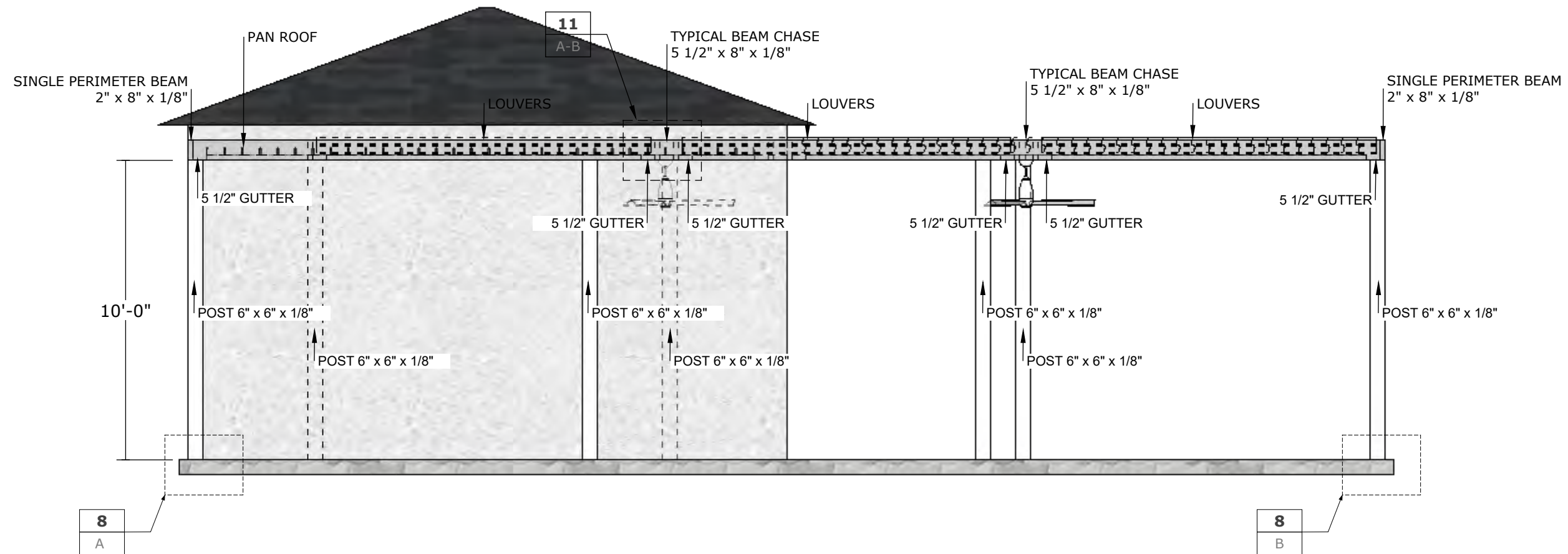
ADDRESS
 12102 MADISON AVE,
 LAKEWOOD, OH 44107

PROJECT #: 7056	DRAWING #: 3
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PAGE NAME:
 SIDE ELEVATION

PAGE #:
 A103
 ALUMINIUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

HOLA TACOS



8
A

8
B

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLERSBURG, OH 44654

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February 18, 2024

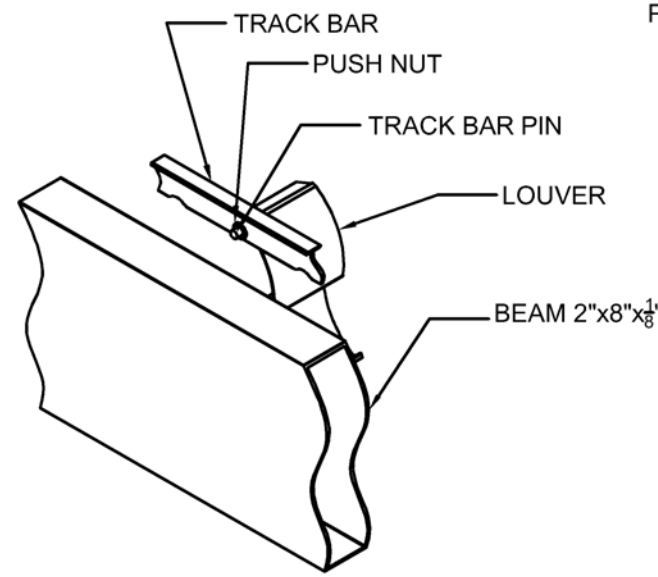
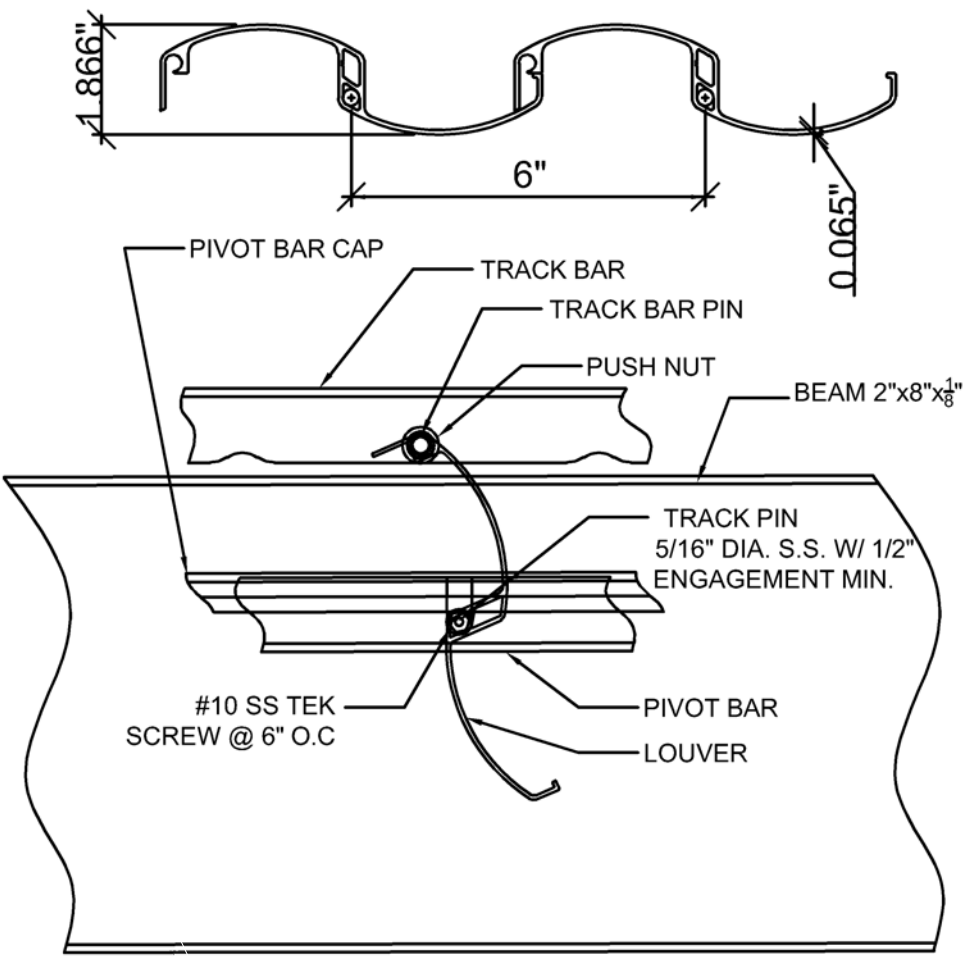
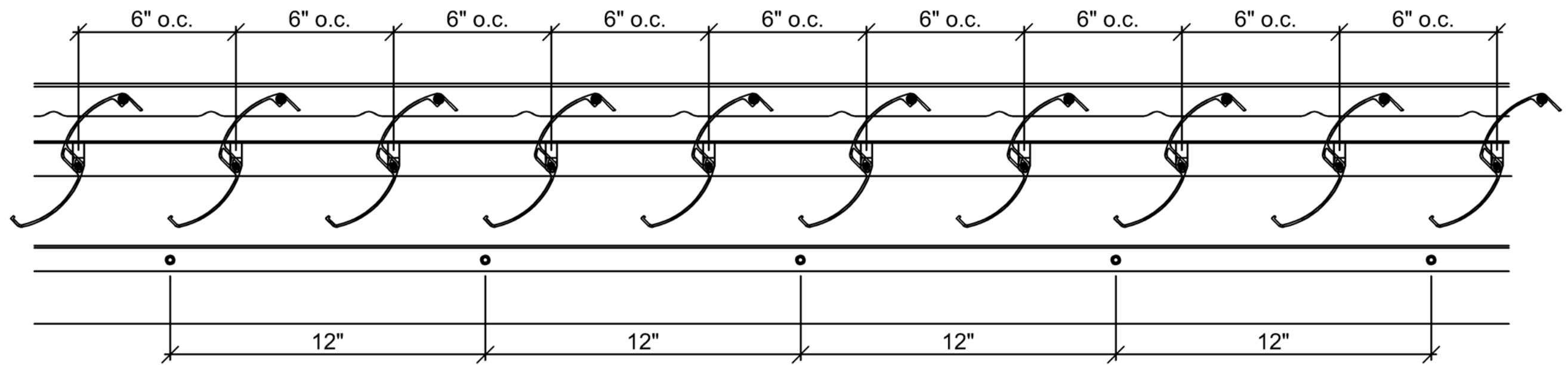
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PROJECT #: 7056	DRAWING #: 4
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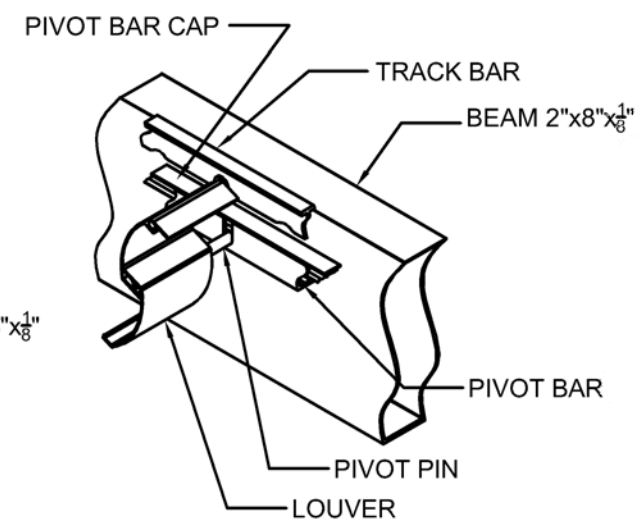
PAGE NAME:
FRONT ELEVATION

PAGE #:
A104
ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

4 :: FRONT ELEVATION
::Scale: 3/16" = 1'-0"



ISOMETRIC OUT-SIDE VIEW



ISOMETRIC IN-SIDE VIEW

5 :: **LOUVER DETAIL -STANDARD VIEWS**
 A :: scale: <Scale>

5 :: LOUVER DETAIL
 ::Scale: 3/16" = 1'-0"

PRESENTED BY:
 KAUFFMAN LAWN FURNITURE

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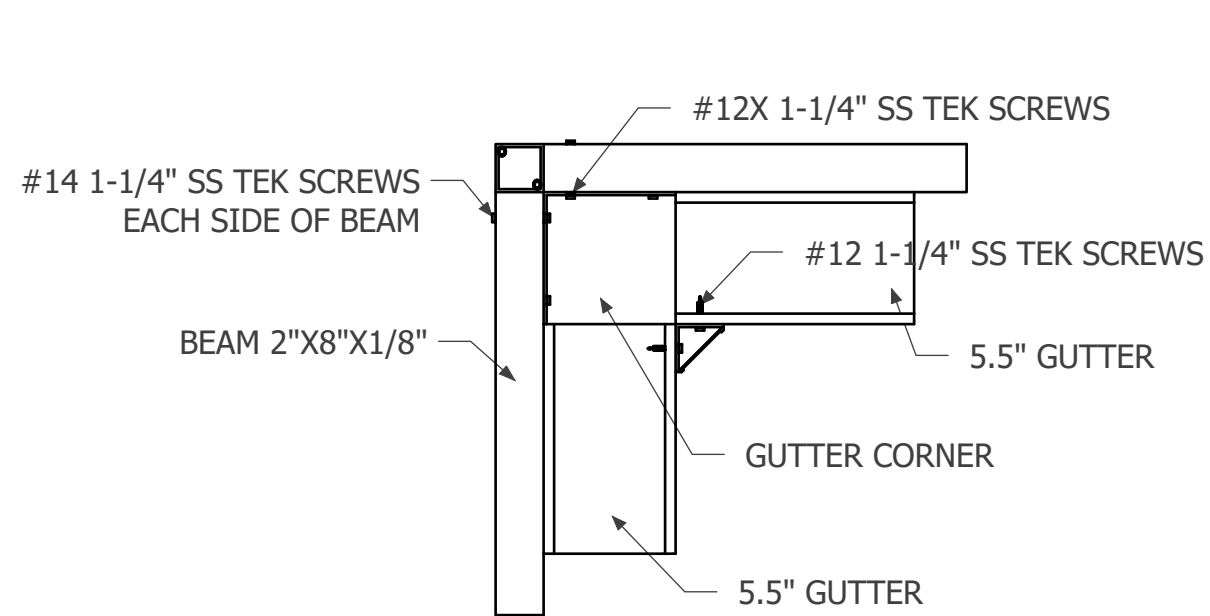
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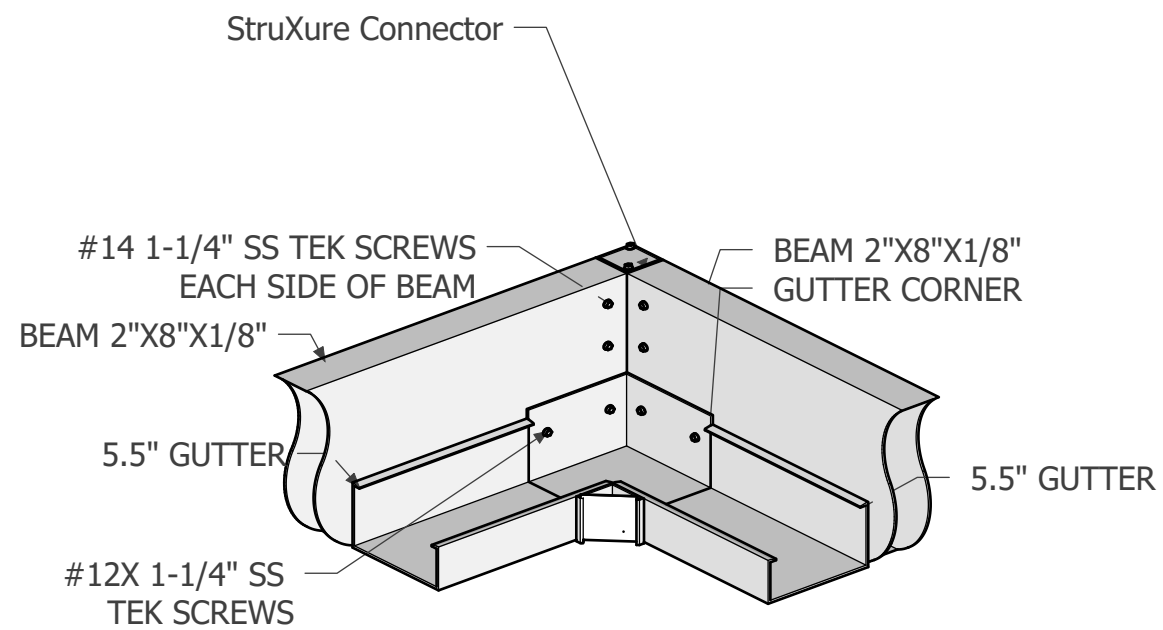
PROJECT #: 7056	DRAWING #: 5
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PAGE NAME:
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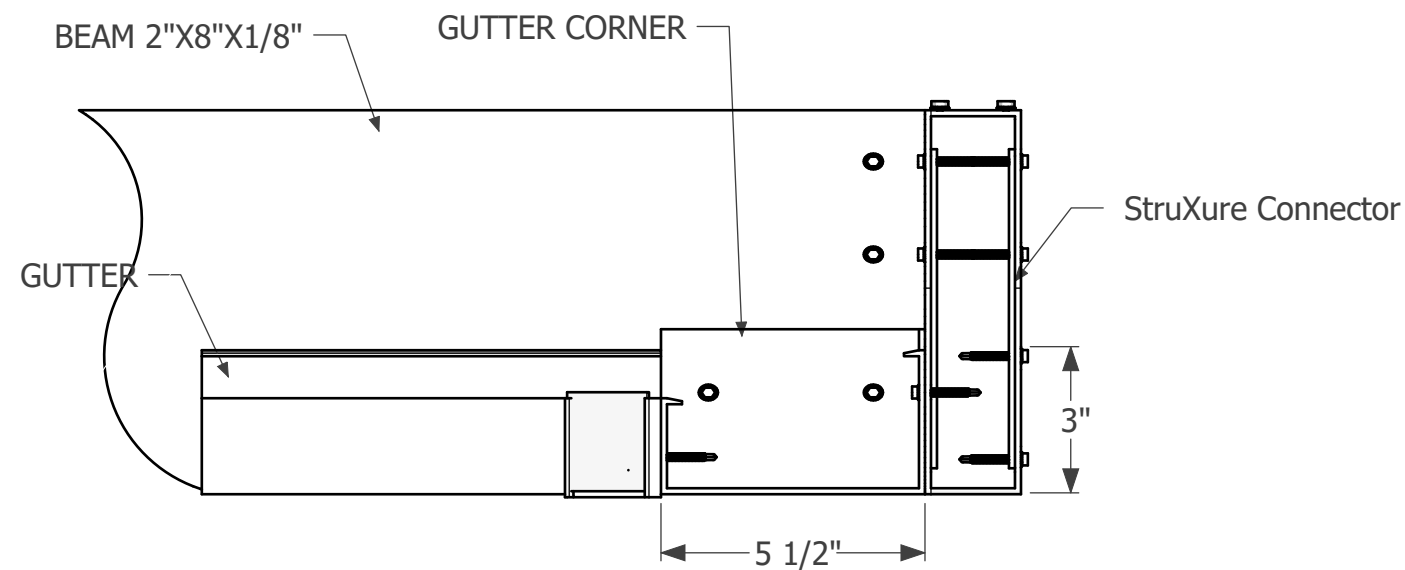
PAGE #:
 A105
 ALUMINIUM TYPE:
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 ALL OTHER COMPONENTS 6063-T6



6 :: **GUTTER DETAIL - TOP VIEW**
 A scale: 1 1/2" = 1'-0"



6 :: **GUTTER DETAIL - ISOMETRIC VIEW**
 B scale: 1 1/2" = 1'-0"



6 :: **GUTTER DETAIL - SIDE VIEW**
 C scale: 3" = 1'-0"

6 :: GUTTER DETAIL
 :: Scale: 3" = 1'-0"

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PROJECT #: 7056	DRAWING #: 6
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PAGE NAME:
 GUTTER DETAIL

PAGE #:
 A106
 ALUMINIUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

HOLA TACOS

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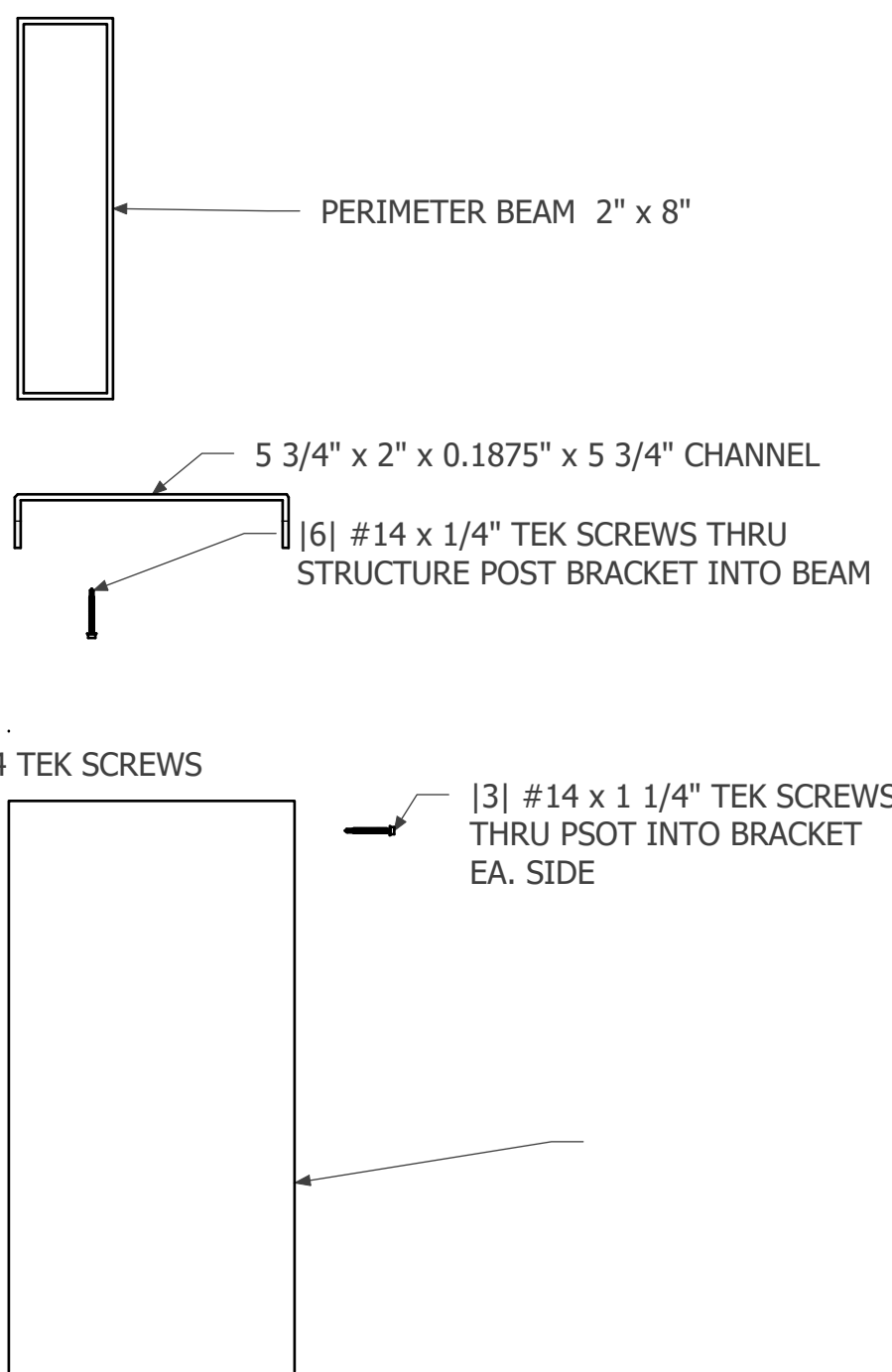
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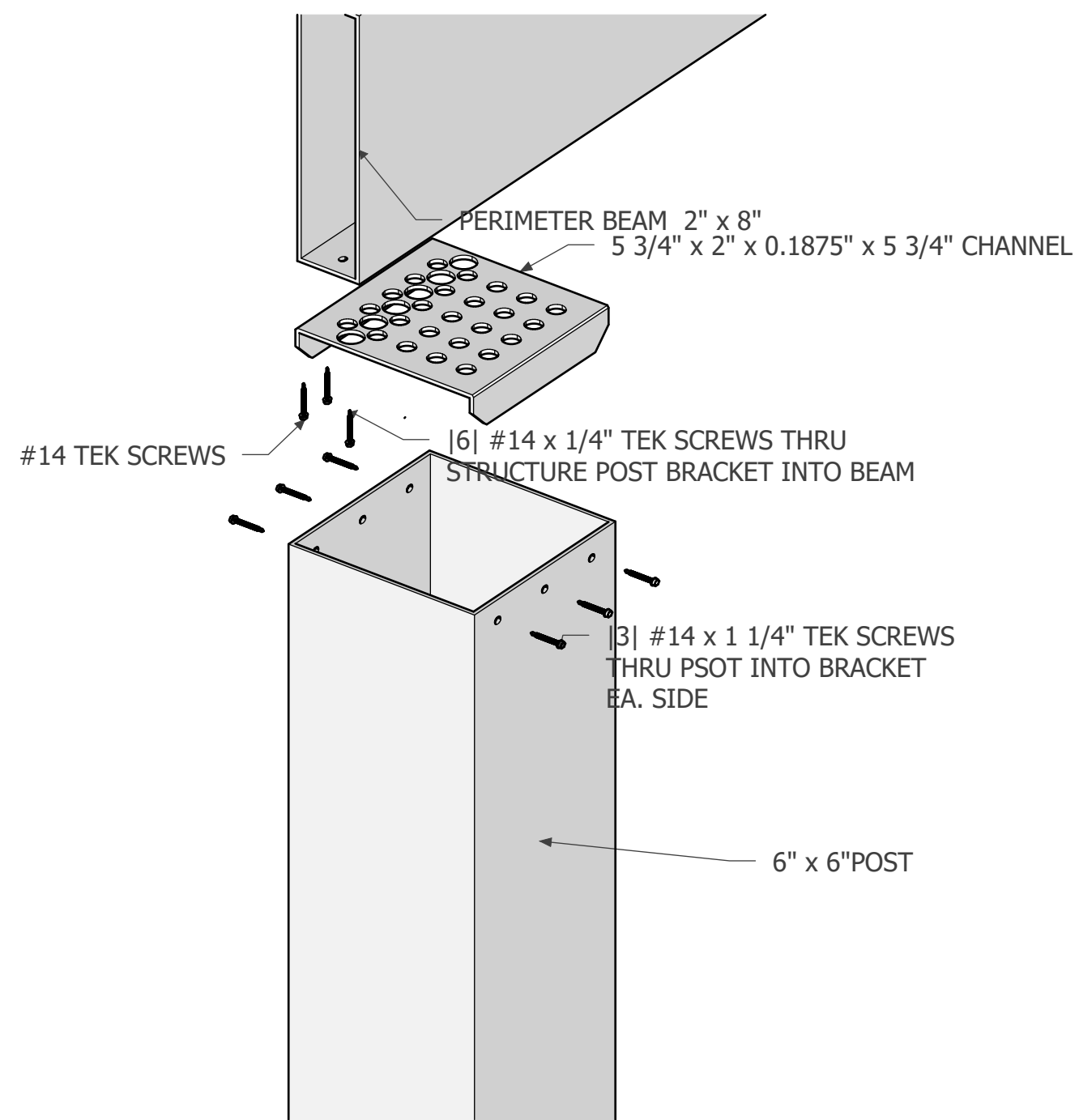
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PAGE NAME:
POST DETAIL

PAGE #:
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ALUMINIUM TYPE:
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ALL OTHER COMPONENTS 6063-T6



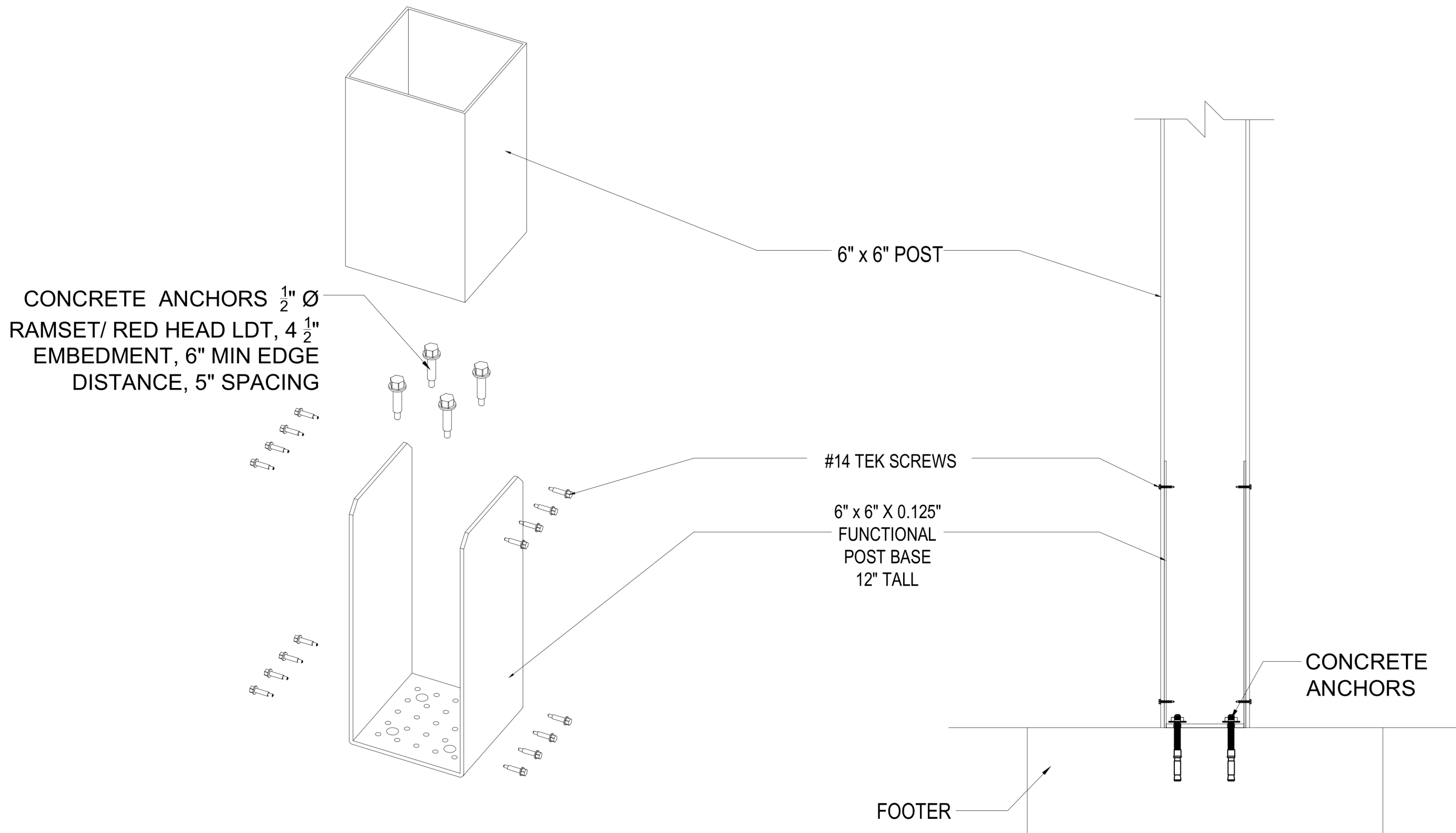
7 :: **POST DETAIL - FRONT VIEW**
A
scale: 3" = 1'-0"



7 :: **POST DETAIL - ISOMETRIC VIEW**
B
scale: 3" = 1'-0"

7 :: POST DETAIL

HOLA TACOS



8 :: **FOOTER DETAIL - ISOMETRIC VIEW**
A

8 :: **FOOTER DETAIL - FRONT VIEW**
B

8 :: FOOTER DETAIL
::Scale: 3/16" = 1'-0"

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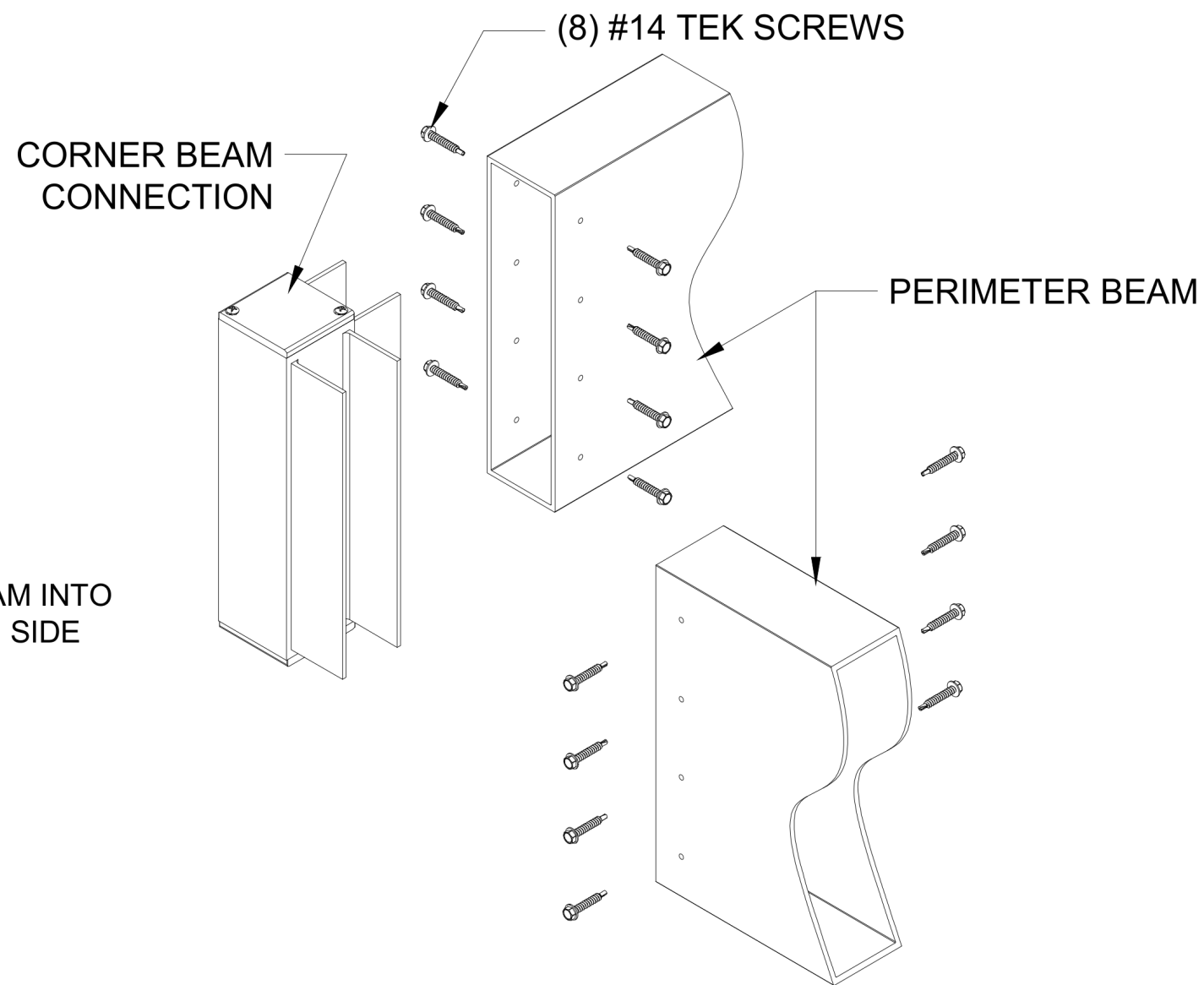
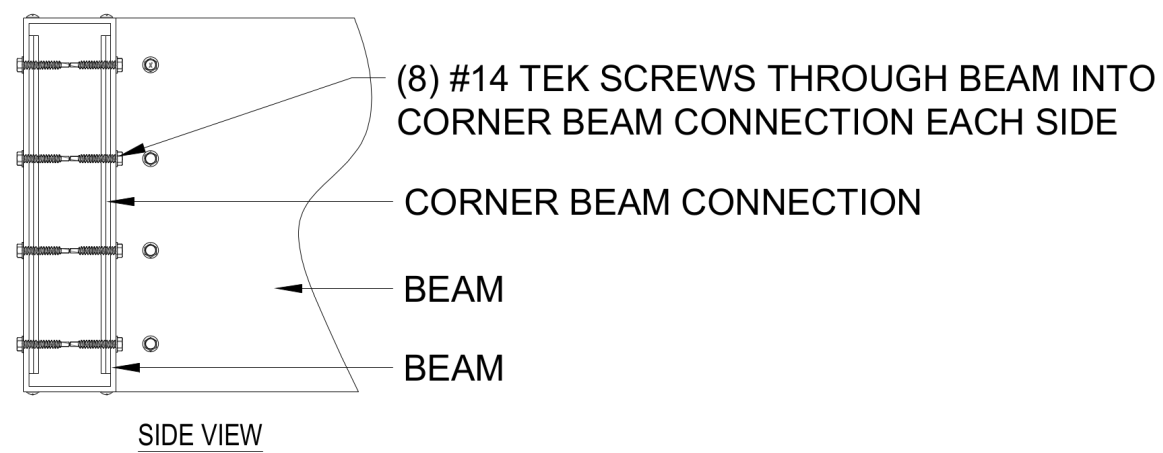
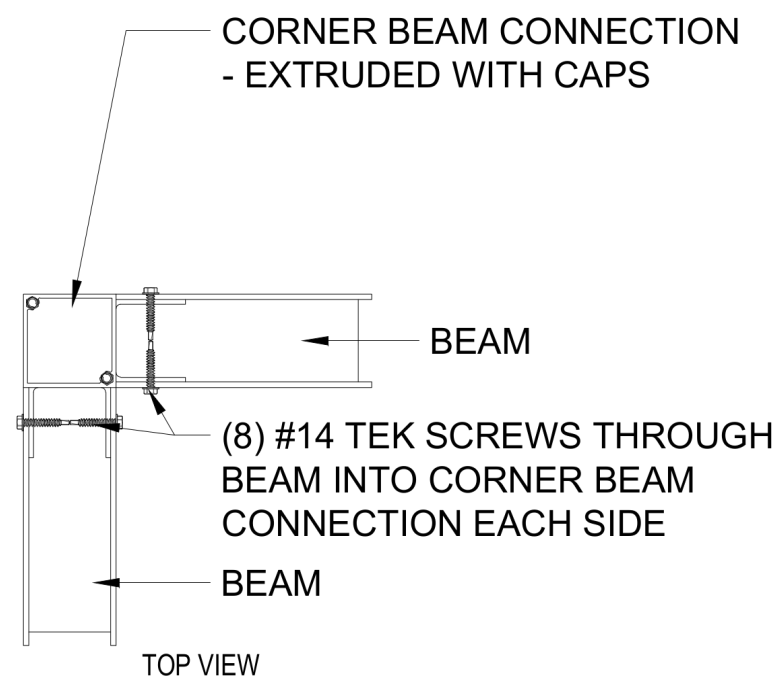
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PROJECT #: 7056	DRAWING #: 8
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PAGE NAME:
FOOTER DETAIL

PAGE #:
A108
ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



TYPICAL CORNER ASSAMBLEY - VIEWS

9
A

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PROJECT #: 7056	DRAWING #: 9
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PAGE NAME:
DETAIL

PAGE #:
A109
ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

9 :: DETAIL
::Scale: 3/16" = 1'-0"

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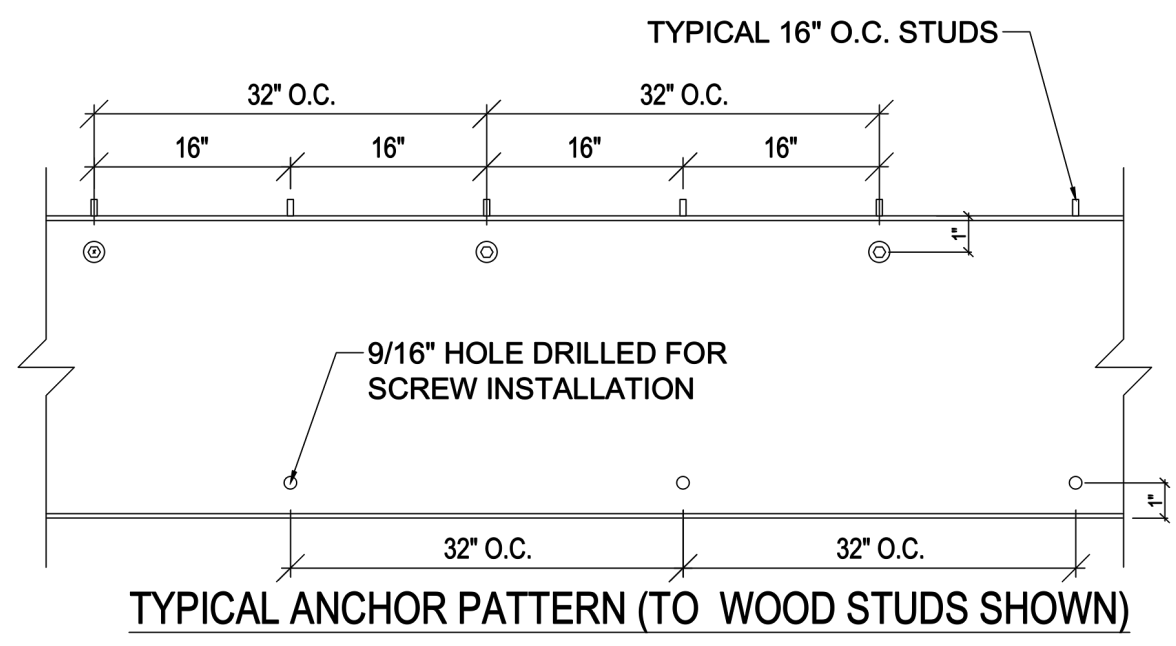
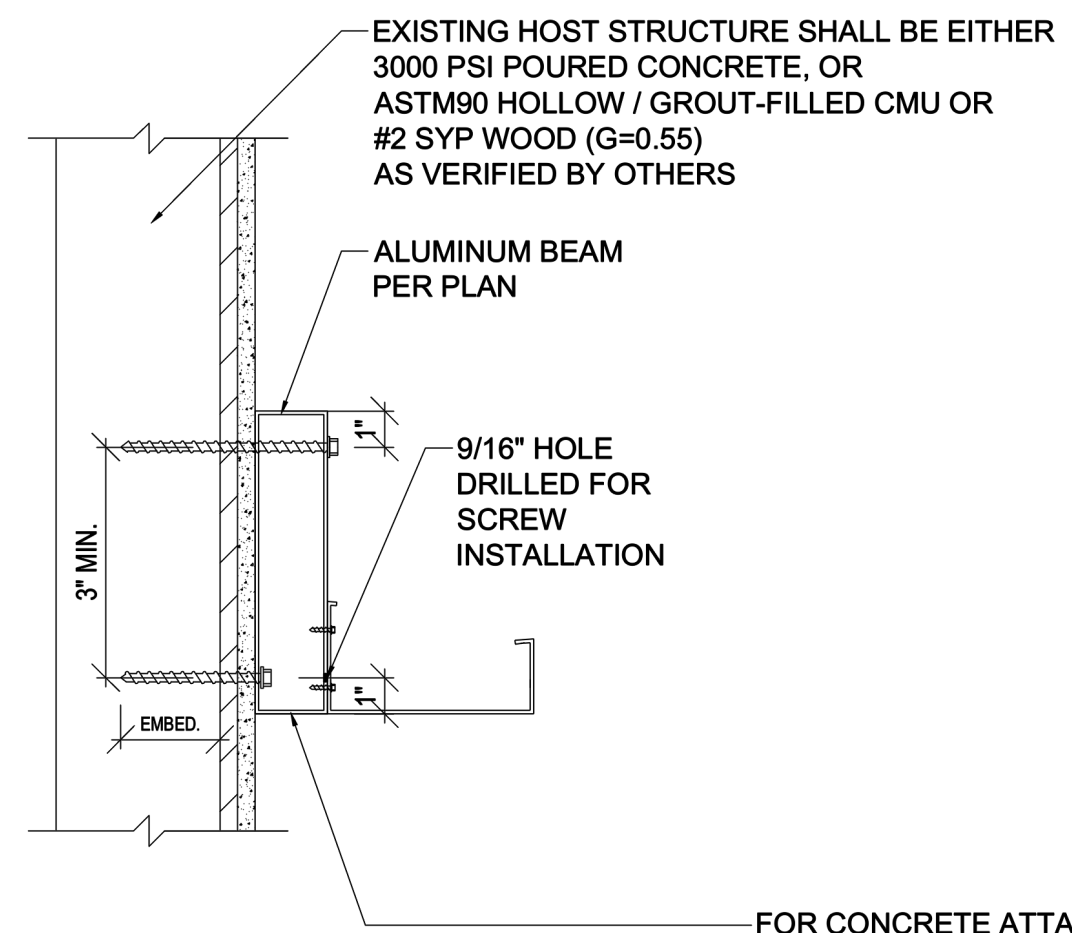
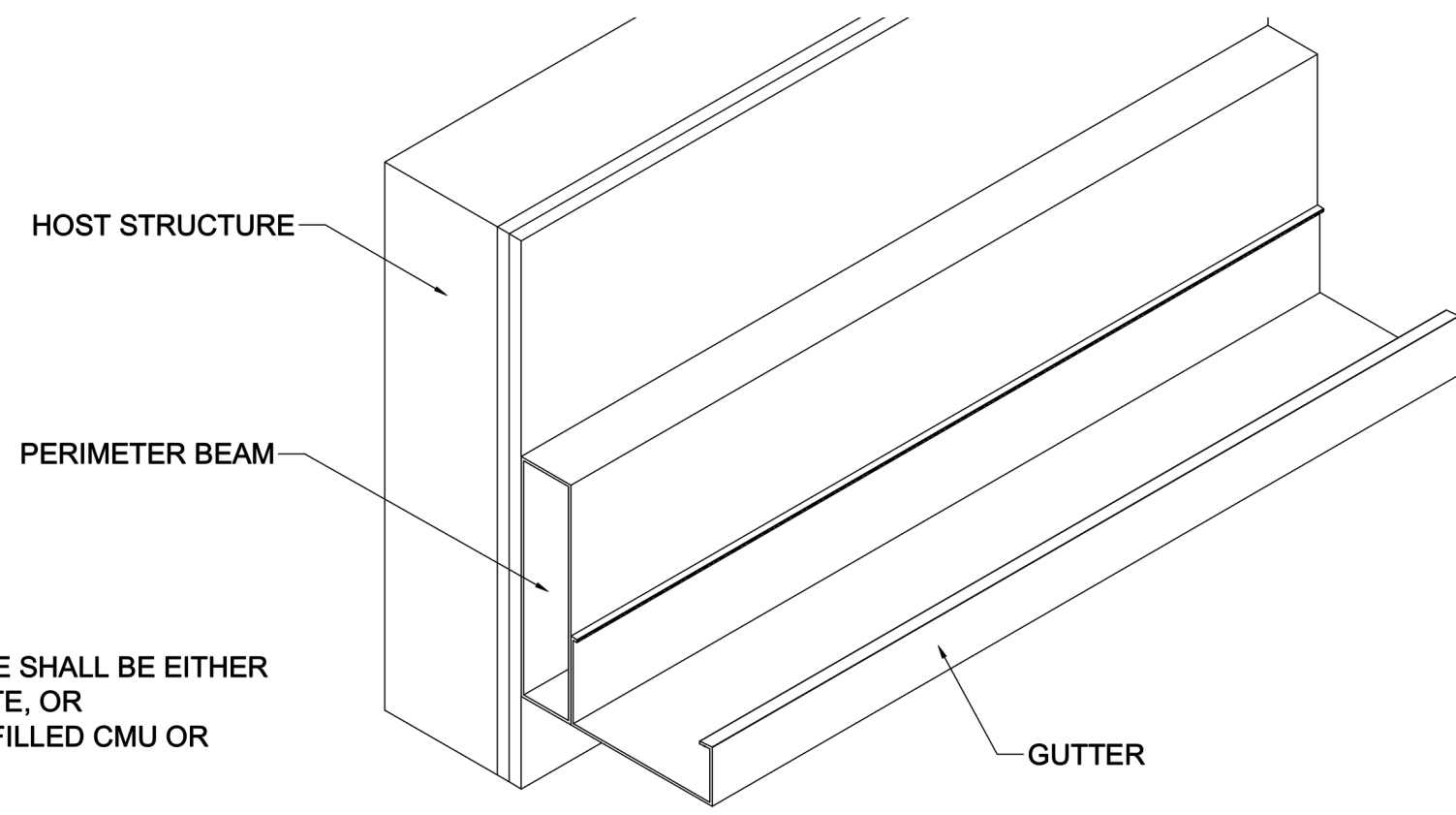
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PROJECT #: 7056	DRAWING #: 10
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PAGE NAME:
DETAIL

PAGE #:
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ALUMINIUM TYPE:
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ALL OTHER COMPONENTS 6063-T6

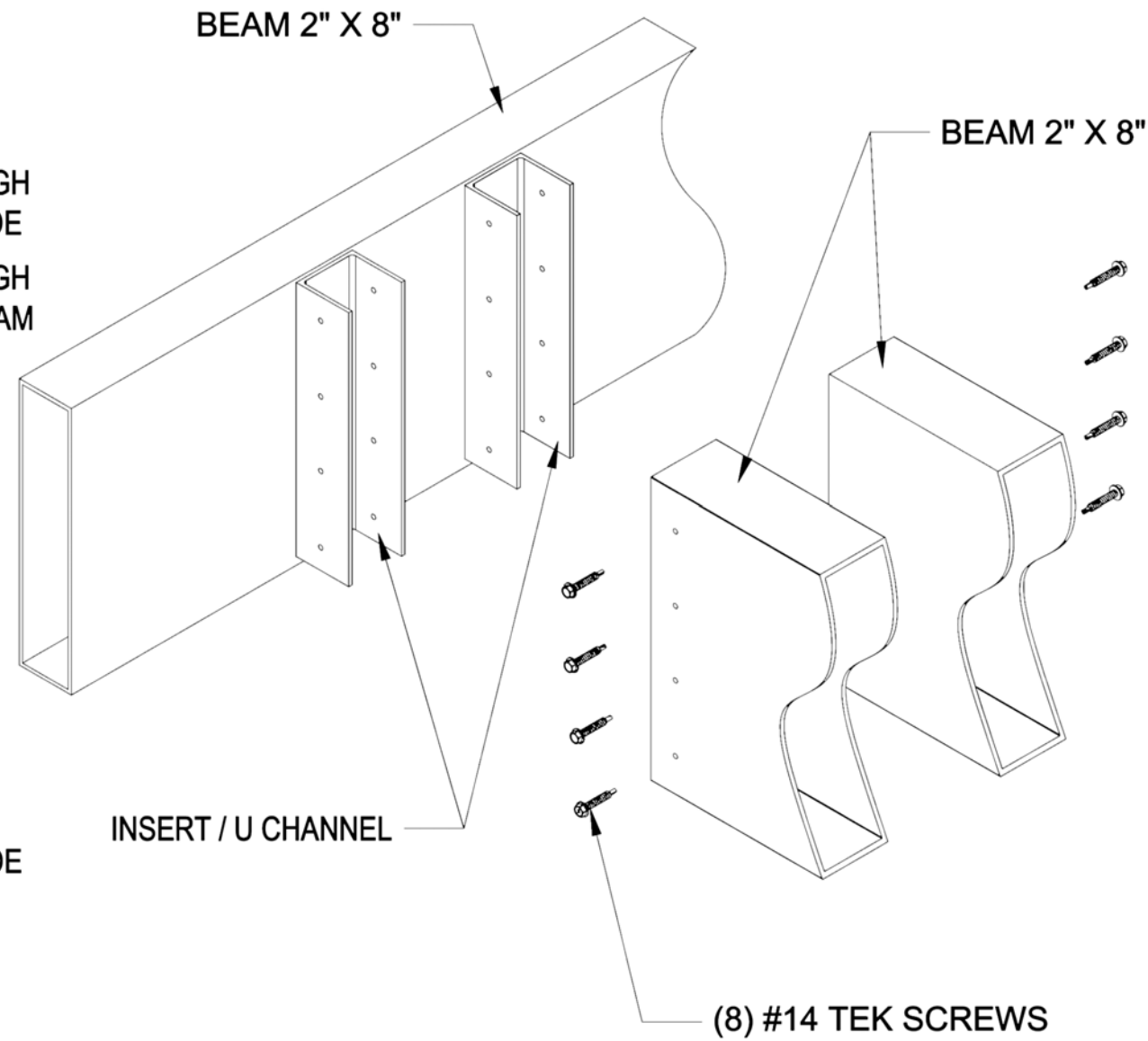
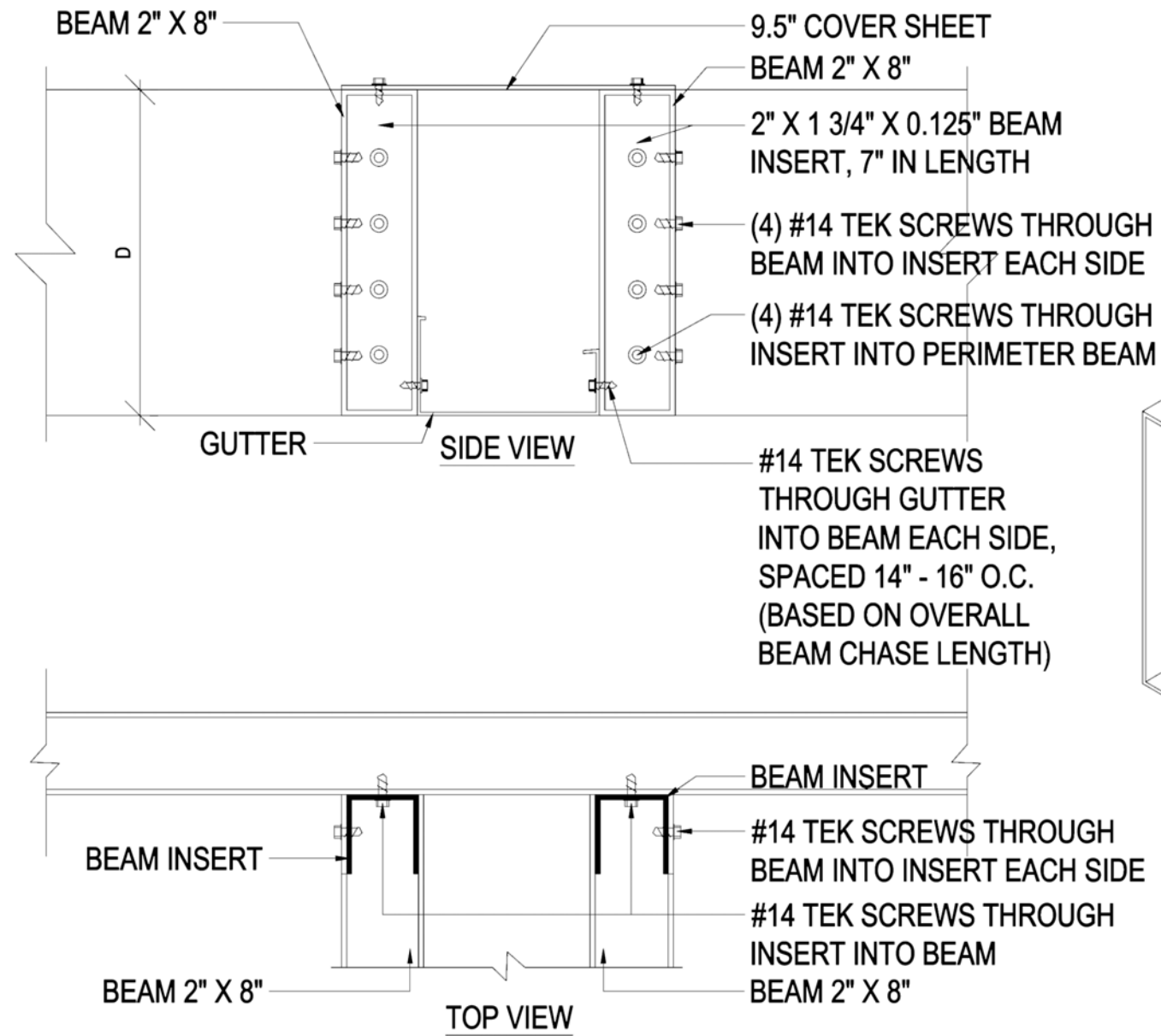


BEAM TO HOST STRUCTURE CONNECTION

FOR CONCRETE ATTACHMENT:
[2] 1/4" DIAM. ITW STAINLESS STEEL TAPCON INTO WALL W/ 3" EMBEDMENT AND 3" EDGE DISTANCE, SPACED 12" O.C. STAGGERED

FOR WOOD ATTACHMENT:
[2] 1/4" DIAM. S.S. WOOD LAG SCREWS INTO WALL W/ 3" THREAD ENGAGEMENT AND 3/4" MINIMUM EDGE DISTANCE, SPACED 16" O.C. STAGGERED

FOR HOLLOW CMU ATTACHMENT:
[2] 1/4" DIAM. S.S. HILTI KWIK-CON II+ INTO BLOCK FACE W/ 1-3/4" EMBEDMENT AND 3" MINIMUM EDGE DISTANCE, SPACED 12" O.C. STAGGERED



11 :: **DETAIL - FRONT VIEW**

A

11 :: **DETAIL - ISOMETRIC**

B

TYPICAL BEAM CHASE

11 :: DETAIL
 ::Scale: 3/16" = 1'-0"

HOLA TACOS

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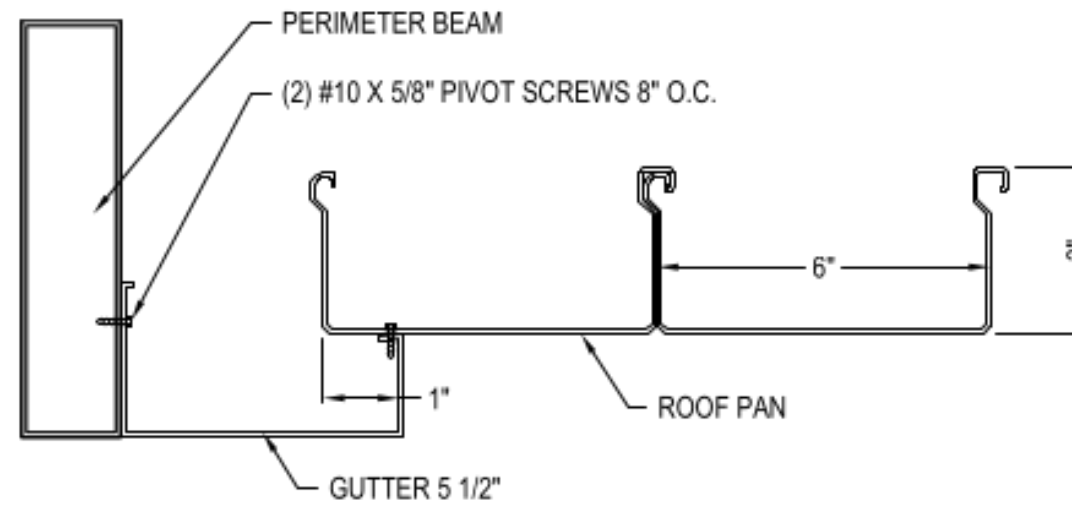
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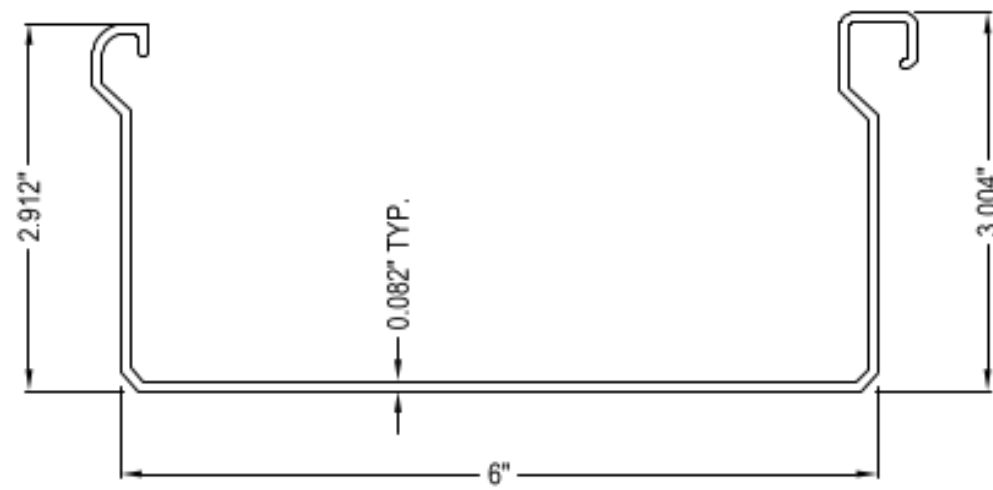
PROJECT #: 7056 DRAWING #: 11

PAGE NAME:
 DETAIL

PAGE #:
 A111
 ALUMINIUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



GUTTER TO ROOF PAN ATTACHMENT DETAIL



SELF MATING FLAT ROOF PAN

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4875-195

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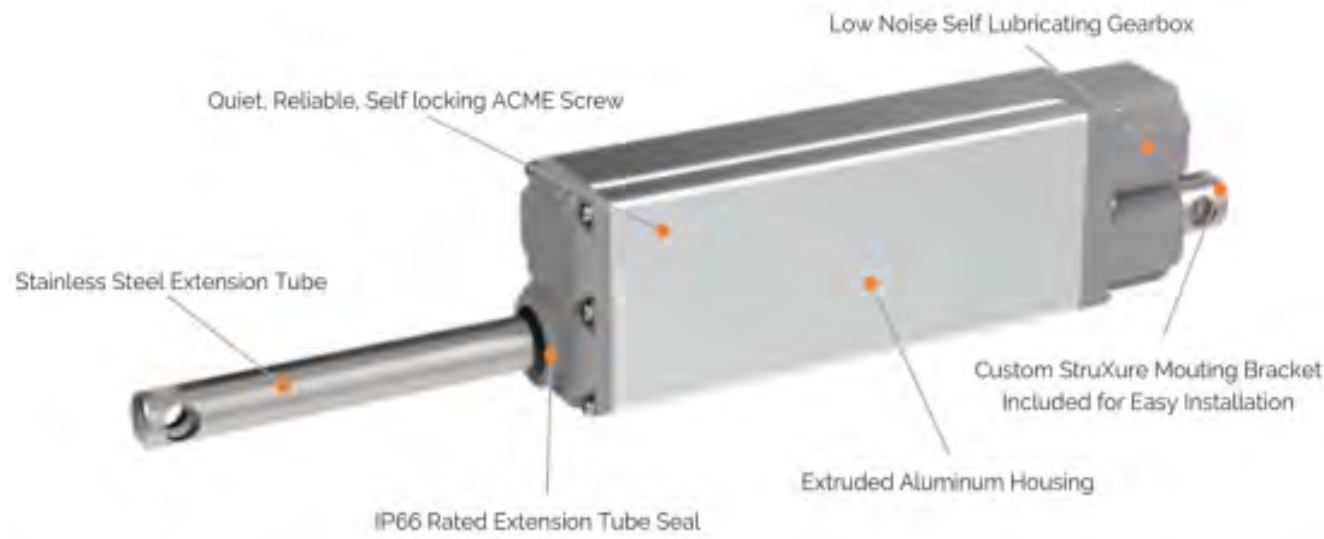
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PAGE NAME:
DETAIL

PAGE #:
A112

ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

LOUVERED ROOF MOTOR



SOMFY TECHNICAL SPECIFICATIONS

SOMFY TECHNICAL SPECIFICATIONS		
VOLTAGE		
Input Voltage	[VDC]	24
LOAD		
Static Load (Fx), max.	[N/lbs]	2500 / 562
Dynamic Load (Fx), max.	[N/lbs]	2500 / 562
STROKE		
Stroke length, standard	[mm]	140
CURRENT		
Current consumption, rated load	[A]	1.875
GENERAL DATA		
Speed, no load	[mm/s]	3.4
Speed, rated load	[mm/s]	2.8
Operating temperature limits	[°C]	-10/+60
Service life	[Cycles]	± 10,000
Sound level	[dB(A)]	≤ 70
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

LOUVERED PERGOLA CONTROL



*Product dimensions: 10.59 x 8.59 x 6.96 in. / 268.99 x 218.19 x 176.78 mm

** Enclosure must be mounted in this vertical orientation.

COMPONENT RATINGS AND CERTIFICATIONS

COMPONENT RATINGS AND CERTIFICATIONS		
POWER SUPPLY		
Input Voltage	[VAC]	115/230
Input Voltage Frequency Range	[Hz]	47 - 63
Output Voltage	[VDC]	24
Voltage Adjustable Range	[VDC]	21.6 - 28.8V
Current Range	[A]	0 - 14.6
Rated Power	[W]	350.4
Safety Standard	[UL Certification]	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	[ETL Certification]	#3170291
Voltage Rating	[V]	300
Temperature Rating	[°F]	-40 to 158
ENCLOSURE		
Safety Standard	[UL Certification]	UL508A
	[File Number]	E352997
Temperature Range	[°F]	-40 to 257
Impact Resistance	[in/lb]	500
Dielectric Strength	[volts/mil]	380
UV Rating	[UL Certification]	UL 746C
Flammability Rating	[UL Certification]	UL 94

HOLA TACOS

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PAGE NAME:
DETAIL

PAGE #:
A113
ALUMINIUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

13 :: DETAIL
::Scale: 3/16" = 1'-0"





LILIANA

BRIDAL HOUSE







H
O
L
A
Tacos

HOLA
Tacos





















PARKING
ON
HOPKINS

HOLA
TACOS

HOLA
Tacos



CERVEZA

Refresh
yourself

COCONUT
MARGARITA







CERVEZA

Refresh
yourself

COCONUT

MAGISTO



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-22-24

Permit No.: BBS24-000026

Applicant Name: Jill Brandt, Brandt Architecture

Project Address: 1276 Manor Park Ave.

Project Name: n/a

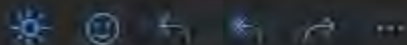
Project: Applicant proposes a new front porch and dormer.

MC

Mary Clare Carson <carson.maryclare@gmail.com>

To: ○ Pasquale Esposito

Cc: ○ Jill Brandt; mcarson08@gmail.com; behringerlaurie@gmail.com



Fri 9/29/2023 2:02 PM

Thank you!

We the homeowner Michael and Mary Clare Carson consent to Jill Brandt (architect) submitting the necessary documents on our behalf.



CARSON RESIDENCE 1276 MANOR PARK AVE

GENERAL NOTES AND SPECIFICATION

GENERAL CONDITIONS

1. Materials and methods of construction shall comply with all applicable local, state and federal building codes.
Current issue code = RCO effective July 1, 2019.

2. Contractor to provide minimum 1 year warranty on material and labor as well as provide Owner with manufacturer's warranty where applicable.

3. All work shall be installed in compliance with manufacturers' recommended installation methods and limitations.

4. Work schedule shall be coordinated with Owner prior to the start of construction. This shall include but not be limited to the days and hours of operation, as well as estimated completion date.

5. Contractor shall be responsible for removal of debris from site at the completion of work.

6. Contractor responsible for verifying dimensions & locations of existing walls, stairs, ceiling heights etc.

7. Contractor responsible for verifying locations of existing utilities and roads.

8. Contractor shall ensure structural stability of existing building during construction. Contractor shall maintain integrity of structural, mechanical, plumbing and electrical systems of existing building where impacted by new work.

9. Contractor shall patch and repair areas impacted by new work. Finishes to match existing.

10. Contractor shall cap all electrical and plumbing lines disconnected by scope of work in these documents

11. If any unfavorable or unforeseen conditions are discovered, contractor shall bring them to Owner's attention prior to proceeding with work.

12. Base bid shall consist of manufacturers as noted on drawings and this specification. Any substitutions, i.e.; casework, windows, fixtures, hardware, siding, etc. recommended by Contractor shall be separately listed for Owner review. Substitutions shall include change in cost and schedule as well as product information or samples.

13. All submittals to be reviewed by Contractor prior to review by Owner. Submittals shall include but not be limited to cut sheets for hardware, equipment, plumbing and electrical fixtures, and color selections for finish materials.

EARTHWORK

1. Protect all adjacent structures, utilities, sidewalks, pavements and other facilities from damage caused by excavation, settlement, washout and any other hazards created by earthwork operations. Contractor is responsible for locating all utilities.

2. Unused excavated soil to be transported to on site location as designated by Owner.

3. Prevent surface water and ground water from entering excavations or flooding Project site and surrounding area.

4. Excavate to ensure footings and foundations bear on undisturbed soil. If soil is found to be insufficient bearing, Contractor shall notify Owner and Engineer prior to proceeding with work.

5. Backfill at foundations to within 12" of finish grade with #57 gravel fill.

6. Provide termite control methods per section 318 of RCO.

7. Utility trenches shall be excavated to provide uniform width and working clearance around utility line. Back fill w/ sand then soil.

8. At areas to receive concrete slab, install minimum 4" #57 limestone over compacted soil.

9. Contractor to finish grade site effected by work. Provide smooth transition between adjacent grades. Slope away from building Owner shall seed and landscape

ENERGY EFFICIENCY REQUIREMENTS

This project shall comply with the RCO requirements for energy efficiency using the prescriptive method outlined in sections 1101.14 - 1104 of the RCO.

BUILDING THERMAL ENVELOPE

1. Insulation R values shall be as follows:
Walls: R=20
Ceilings R=49 for new construction
a. R=38 where insulation is installed over 100% of the area and extends over wall top plate
Floor: R= 30
Basement R=10 to depth of 10' below grade or basement floor.
Slab R=10 at 2' from perimeter
Window U=.30
A permanent certificate shall be completed and posted by furnace listing R= values of all insulation components.

2. Where insulation extends over top plate in a vented attic, install an eave baffle. Baffles shall maintain an opening equal or greater than the size of the vent. The baffle shall extend over the top of the attic insulation.

10. If a dye test has not already been recorded, Contractor must perform dye test or visual inspections of the drainage system. If illegal connections are found, the alterations to correct will be required by the City of Lakewood. This includes, but is not limited to, downspouts, drain tile, yard, driveway or garage drains.

CONCRETE

1. Concrete slab at building shall be Portland Cement ASTM C 150 Type 1 cement. Concrete to have a minimum cement content of 564# / cu.yd., a maximum water to cement ratio of 0.53 and obtain a minimum strength of 4,000 psi at 28 days. (unless noted otherwise - u.n.o.)

2. All garage slabs and exterior slabs shall have a minimum strength of 4,000 psi.

3. All reinforcing steel shall conform with ASTM A615, 60 ksi yield.

4. Trowel finish for interior concrete and broom finish for exterior concrete. Comply with ASTM C 94 for mixing, delivery and testing.

5. All reinforcing steel, anchor bolts, plumbing & electrical sleeves shall be placed prior to pouring concrete.

6. Cut joints for all slabs on grade shall be a maximum of 12'-0" O.C. unless otherwise noted. All cuts shall be made 8 hours after placing concrete.

7. At all expansion joints, install backer rod and sealant.

REINFORCING STEEL

1. Reinforcing bars shall comply with the ACI code, ASTM A615, grade 60 U.N.O.

2. Lap all horizontal bars at corners and intersection.

3. Dowel all vertical rebar to foundations.

4. Grout solid minimum 2 courses (16") below beam bearing.

MASONRY

1. Construct all masonry walls in accordance with ACI 530.

2. Foundations walls shall be standard 12x8x16 & 8x8x16 masonry units as shown on plans.

3. Mortar for reinforced masonry and load bearing walls shall be type S. Non-bearing walls shall use Type N.

4. Grout solid minimum 2 courses (16") below beam bearing.

EARTHWORK

7. Apply 1/2" min. cement parging from the bottom of the footing up the foundation wall to grade with 1 coat of ironite waterproofing and 1 coat asphaltic emulsion over parging

8. Provide pipe sleeves for any through wall penetrations per OPC 305.

9. Brick shall be standard in size, texture, color and variation selected by owner. Contractor shall provide 3 samples for owner approval.

10. Mortar Color tint to match existing.

11. Brick shall be installed in running bond pattern with color distribution.

FRAMING

1. All framing shall be Southern Yellow Pine species #2 grade or better.

2. LVL's shall be Boise Cascade 2.0E GP Lam LVL or equal.

3. Where multiple plies of LVL are used, beams shall be nailed with 3 rows of min. 3" 10d nails, 12" O.C. If three or more plies are used, beams shall be nailed on both sides, staggered. Follow manufacturer's recommendation for alternate fasteners.

4. Plywood shall be standard PS-1 and OSB shall be standard PS-2

5. All exposed lumber or lumber in contact with concrete or masonry shall be ppt (u.n.o.)

6. All preservative pressure treated (ppt) lumber shall be southern pine #2.

3. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces.

4. Floor framing-cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking

AIR LEAKAGE

1. The building thermal envelope shall be constructed to limit air leakage and comply with sections 1102.4 of the RCO.
2. Sealing methods between dissimilar materials shall allow for differential expansion and contraction.
3. The building or dwelling unit shall be tested and verified as having an air leakage rate of not more than five air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or ASTM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). A written report of the results of the test shall be signed by the party conducting the test and provided to the building official. Testing shall be performed at

7. Provide blocking at mid span of joists exceeding 2x12.

8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.

9. Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.

10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.

11. Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO.

12. Provide draftstopping in floor/ ceiling locations as outlined n section 302.12 of the RCO..

DOORS AND HARDWARE

1. Reuse exist. doors where practical.

2. Provide 2'-6" x 6'-8" x 1 1/2" solid core wood door unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.

3. Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.

4. Exterior doors shall be Fiberglass Pella, Thermo Tru or Owner approved equal.

5. Interior & exterior doors & hardware to match exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

WINDOWS

1. Windows shall be Pella Architect series wood clad double low e glass. Windows shall be double hung & awning with screens, traditional grilles and locks. Windows shall have black finish. Alternates shall be Jeld-Wen, Andersen, or Owner approved equal.

2. Alternate: Windows shall be Pella 250 series vinyl windows, or Owner approved equal.

All garage windows shall be Pella 250 series vinyl windows, or Owner approved equal.

3. Exterior windows and sliding doors shall be tested by an independent laboratory and bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance with AAMA/WDMA/CSA 1011.5.2/A440.

4. Windows shall meet standards for wind design loads per section 301.2 of RCO.

5. Joint treatment shall comply with ASTM C 475. Prefill open joints, beveled edges and any damaged surface areas. Tape and embed joints and fasteners to ASTM C 840 standards.

7. All wood trim, including but not limited to wood base, crown mould, window & door trim, to match existing size and profile.

8. Provide thresholds and reducer strips as needed with finish floor materials.

9. Provide smooth finish at walls and knock down finish at ceiling.

10. All gyp. bd. to be primed and painted.

11. Apply paint according to manufacturer's written instruction using applicators and techniques best suited for substrates and material applied. Provide smooth opaque surface of uniform finish, color, appearance and coverage. Cloudiness, spotting, laps, brush marks runs and other imperfections will not be accepted.

12. Provide the following finish system over interior gypsum board: Two finish coats of low luster acrylic - enamel finish, over a primer. Primer shall be inferior gypsum primer. Acceptable manufacturers shall be Benjamin Moore, Sherwin Williams.

13. All finish colors and materials to be selected by Owner.

14. Kitchen countertops to be granite . Alternate: quartz. Color & texture to be selected by Owner.

15. Cabinetry design by others.

16. Provide allowance for hardwood flooring where indicated on these plans. Size and species to be selected by Owner.

17. Hardwood floors to be stained with 3 coats tinted oil base stain. Allow stain to fully dry. sand between coats.

18. Provide allowance for tile where noted on plan. Tile and grout selection by Owner.

19. Provide concrete substrates with dry-set or latex-portland cement mortar.

20. Trowel level, free of any bumps and protrusions.

21. Install tile under counters and equipment to provide complete floor covering without interruption.

22. Lay tile in grid pattern on floor and brick pattern on walls unless otherwise indicated verify layout with Owner prior to installation.

23. Accurately form intersections and evenly space joints.

24. Grout tile completely per grout manufacturer's recommendations. Clean tile after grouting

25. Toilet room accessories: mirror, soap, towel and toilet paper holders shall be provided by Owner and installed by contractor.

MECHANICAL, ELECTRICAL & PLUMBING
1. All Kitchen equipment to be purchased by Owner and installed by Contractor. Contractor responsible for coordinating plumbing and electrical requirements for kitchen equipment. Owner shall provide equipment cut - sheets 1 week prior to delivery.

2. Provide new electrical wiring, outlets, junction boxes etc. throughout addition.

3. Provide new 200amp service to garage. Run new 200 amp disconnect to new main panel at house. Provide sub panel at garage. Contractor shall field verify capacity and runs. Notify owner of any necessary upgrades in base bid.

4. Coordinate light fixture locations with Owner. Coordinate switching with existing switch and fixture locations. Contractor shall walk through with Owner once framing is completed to confirm fixture locations.

5. All bath exhaust fans and dryer exhaust duct runs shall be vented out through exterior walls or up through the roof. Avoid venting at the front of house where possible. Do not vent through soffits into soffits or into attics. Provide a duct termination kit (energy efficient with screen) and roof flashing as required at the duct exterior outlet. Paint the exterior wall and roof penetrations to match the finished surface. The duct run shall be smooth metal with foil 'mastic' tape joints and clamps (no screws) and insulated or in an insulated cavity for the exterior outlet.

6. Plumbing systems to connect to existing domestic supply & wastelines. Contractor to notify Owner of any necessary upgrades in existing systems and include work in base bid.

7. Connect to existing gas water heater. Contractor shall field verify capacity. Notify owner of any necessary upgrades in base bid.

8. Provide pipe protection for exterior plumbing line sand utilities per OPC 305.

9. Plumbing contractor to provide isometric of system upon request of the City prior to pulling permits.

10. Plumbing fixtures by Owner. Acceptable manufacturers shall be Moen, Kohler, Delta.

11. HVAC contractor to verify capacity of existing boiler system and compatibility with new forced air system. If boiler system is to be removed, Notify owner of any unnecessary upgrades in base bid.

12. Provide HVAC to habitable areas impacted by this scope of work.

13. Duct sizing and layout by mechanical contractor.

14. J Schedule provided by HVAC contractor.

VENTILATION
1. The building shall be provided with ventilation that complies with the requirements of Section 1505

2. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

3. Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

4. Mechanical system piping capable of carrying fluids greater than 105°F (41°C) or less than 55°F (13°C) shall be insulated to an R-value of not less than R-3.

5. Building cavities shall not be used as supply ducts.

6. Mechanical system piping capable of carrying fluids greater than 105°F (41°C) or less than 55°F (13°C) shall be insulated to an R-value of not less than R-3.

7. Provide blocking at mid span of joists exceeding 2x12.

8. Provide bridging or lateral support between rafters and ceiling joists greater than 2x10 at point of bearing.

9. Any necessary holes or notching in load bearing studs shall be in accordance with section 602.6 of RCO.

10. Any necessary holes in load bearing top plates shall be in accordance with section 602.6 of the RCO, provide min. 16 ga. strap 1.5" wide and min. 16" long at notch.

11. Provide fire blocking at exterior walls between stories, at stairs, soffits, openings and vents between floors, at chimneys and other locations outlined in section 302.11 of the RCO.

12. Provide draftstopping in floor/ ceiling locations as outlined n section 302.12 of the RCO..

DOORS AND HARDWARE

1. Reuse exist. doors where practical.

2. Provide 2'-6" x 6'-8" x 1 1/2" solid core wood door unless otherwise noted on plan. Panel size and pattern selected by owner. Doors shall be primed and painted. Color selected by Owner. Door shall be hung level and true.

3. Exterior doors to have screen door with storms, glazing & lock. Coordinate keying with Owner.

4. Exterior doors shall be Fiberglass Pella, Thermo Tru or Owner approved equal.

5. Interior & exterior doors & hardware to match exist. Where possible, new door hardware shall be by Schlage or approved equal. Style and finish selected by Owner.

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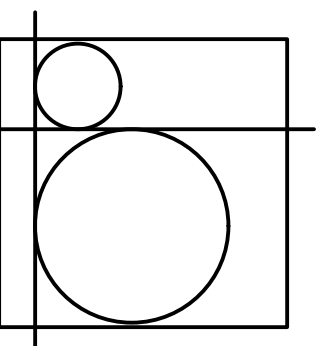
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16. Provide allowance for hardwood flooring where indicated on these plans.



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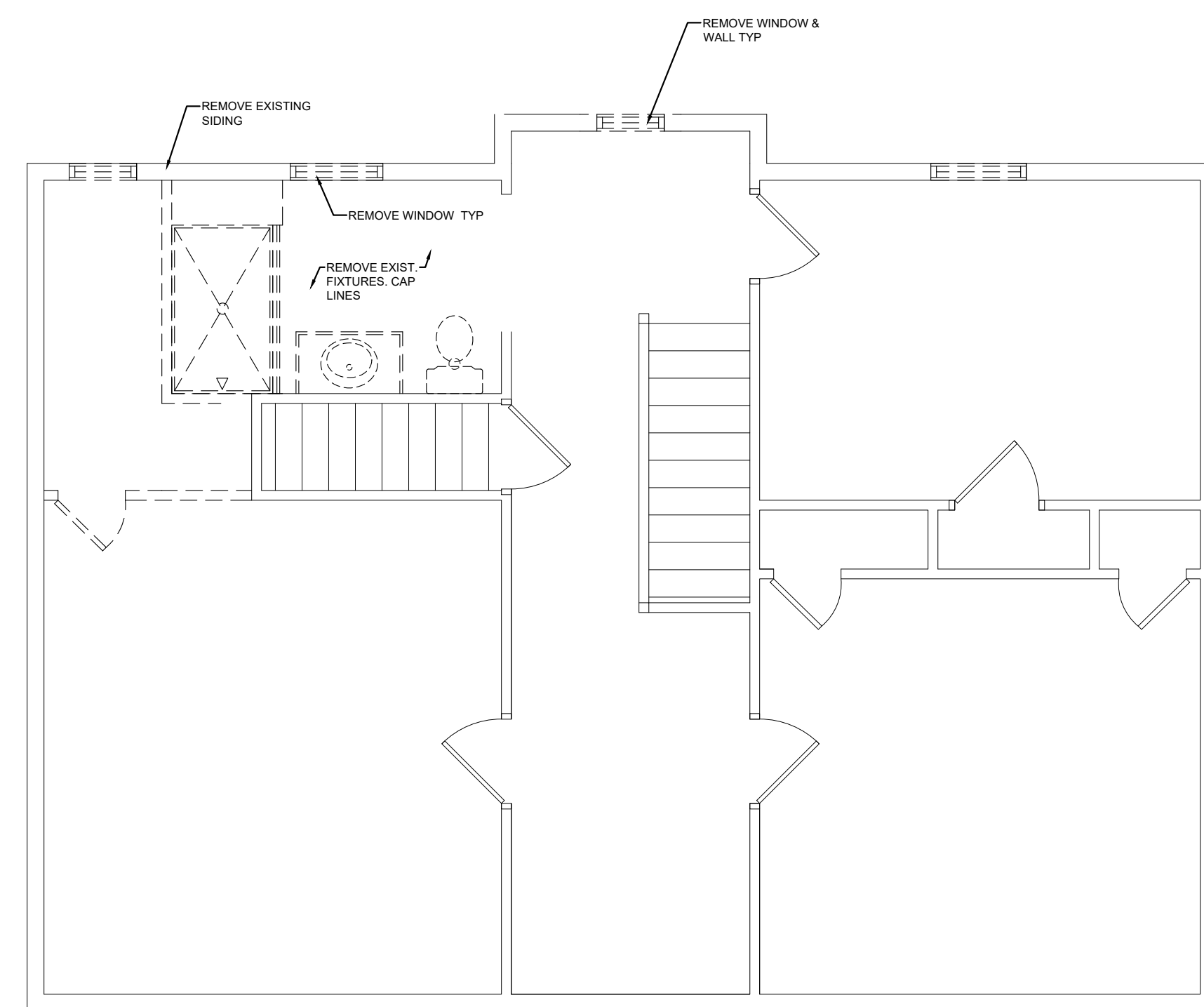


Jill L. Brandt
OH #12657
EXP 12/31/25

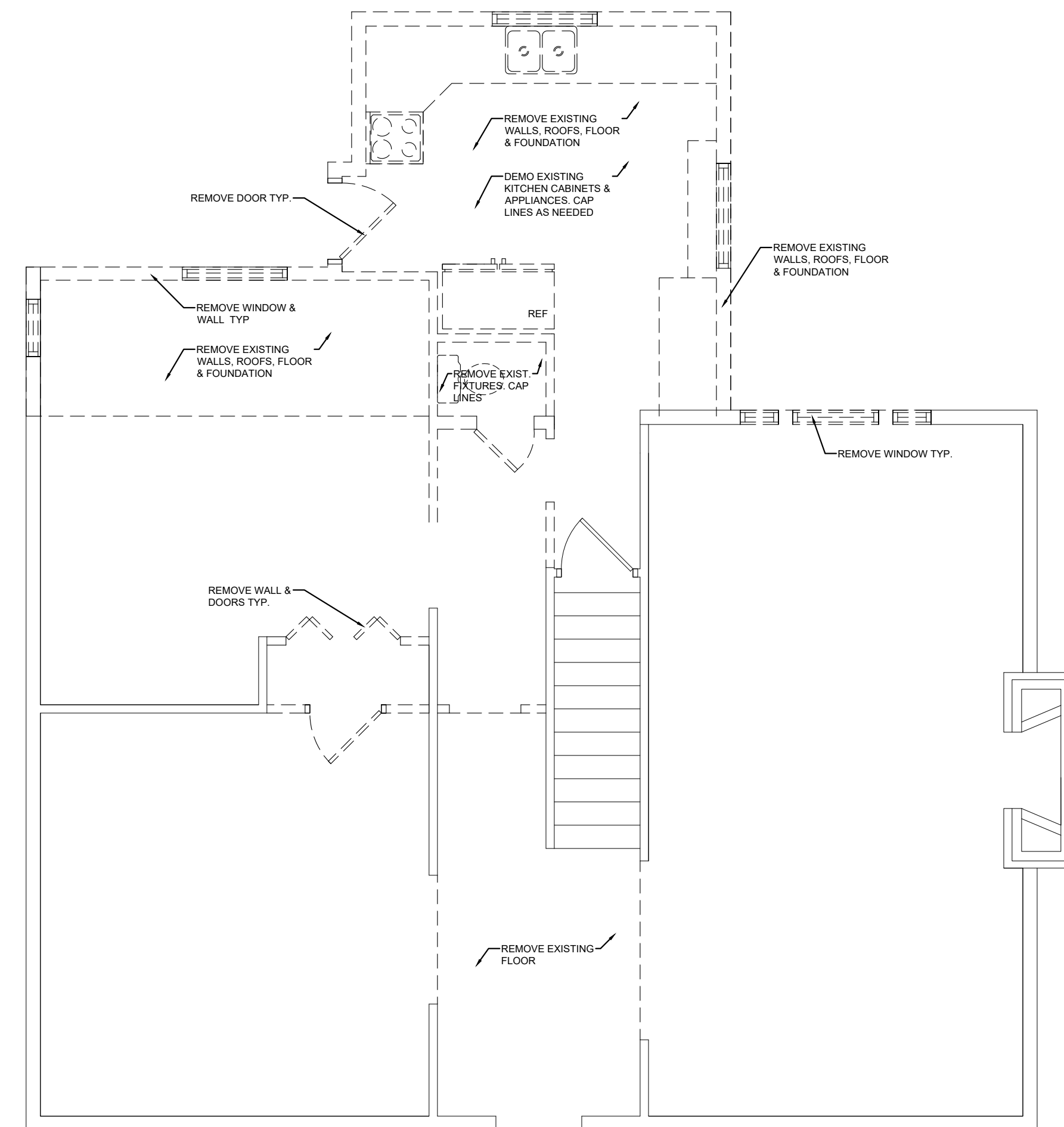
CARSON RESIDENCE
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LAKEWOOD, OHIO 44107

DEMOLITION
PLAN

A-0



1 SECOND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

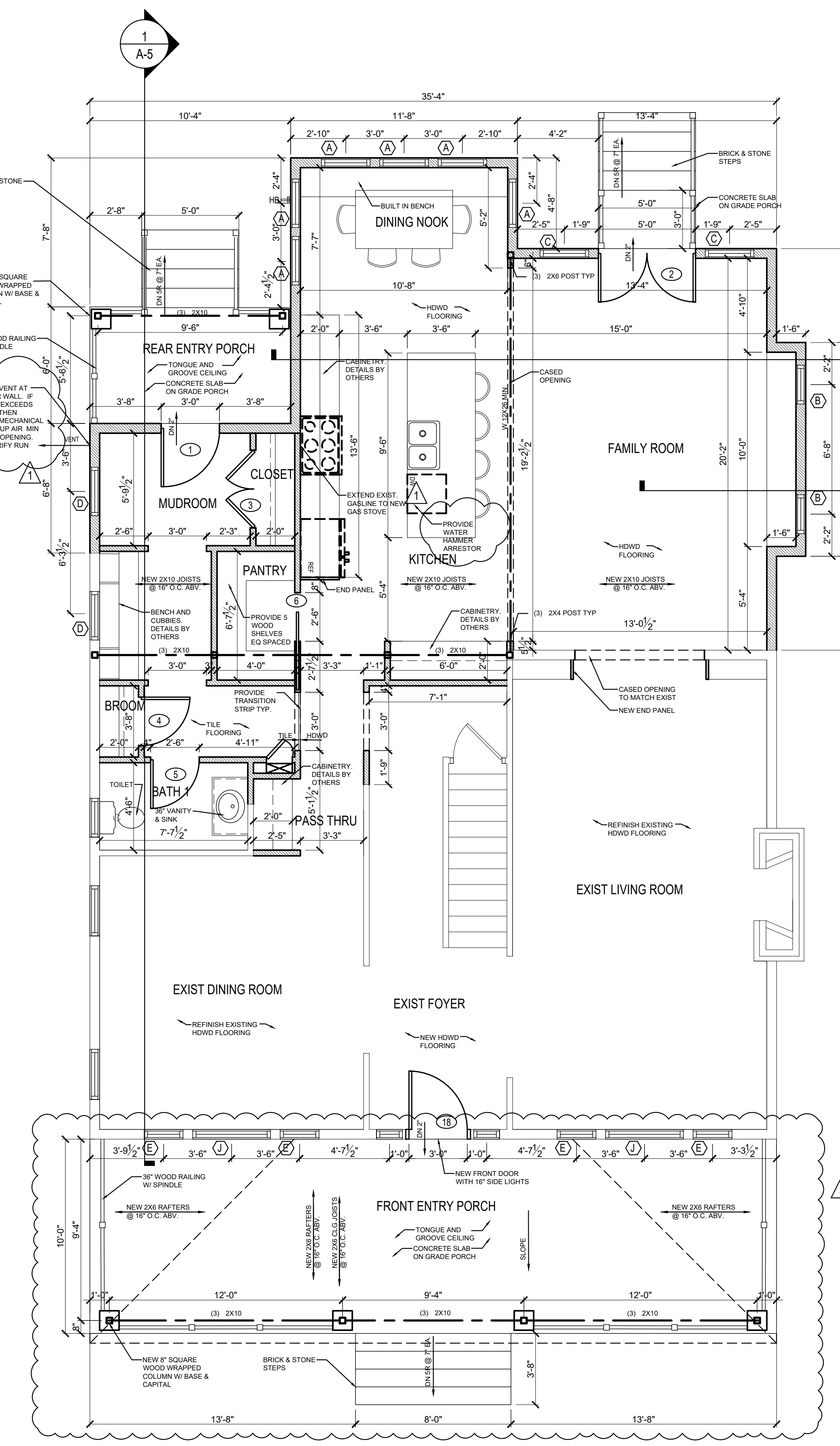
#	WIDTH	HEIGHT	THICK	MATL	FINISH	FRAME	LOCKSET	HINGE	SILENCERS	KICKPLATE	HAND	REMARKS
1	3'-0"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	RH	15 LIGHT TEMPERED
2	(2) 2'-6"	6'-8"	1 1/2"	FIBER GLASS	PAINT	WOOD PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	RH ACTIVE	15 LIGHT TEMPERED
3	(2) 2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
4	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	RHRB	
5	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	RH	
6	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	LH	POCKET DOOR
7	3'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LH	
8	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	RH	
9	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	RH	POCKET DOOR
10	2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	RHRB	
11	2'-8"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	LH	POCKET DOOR
12	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LH	
13	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LHRB	
14	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LH	
15	2'-6"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LH	
16	(2) 2'-0"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PASSAGE	BUTT	YES	-	RHRB ACTIVE	
17	2'-4"	6'-8"	1 3/8"	WOOD	PAINT	WOOD PAINT	PRIVACY	BUTT	YES	-	LH	
18	3'-0"	6'-8"	1 1/2"	WOOD	PAINT	WOOD PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	LH	3/4 LITE DOOR WITH 2 SIDELIGHTS
19	3'-0"	6'-8"	1 1/2"	STEEL	PAINT	WOOD PAINT	DEADBOLT ENTRANCE	BUTT	YES	-	RHRB	GARAGE

GENERAL NOTES
 1. INTERIOR DOORS SHALL BE SOLID CORE WOOD DOORS. PANEL DESIGN TO MATCH EXISTING. RE-USE EXISTING OR SALVAGED DOORS WHERE POSSIBLE. ACCEPTABLE MANUFACTURERS ARE ALOMA, EGGER, OR OWNER APPROVED EQUAL.
 2. NEW DOORS TO BE PAINTED TO MATCH EXISTING.
 3. ALL LOCKSETS AND LATCH SETS SHALL MATCH EXISTING STYLE. HANDLES SHALL BE MOUNTED WITH THE CENTERLINE 36" A.F.F. COORDINATE LOCKSET FUNCTION WITH OWNER. ALL HARDWARE FINISHES SHALL MATCH EXISTING.
 4. ACCEPTABLE HARDWARE MANUFACTURERS ARE SCHLAGE OR OWNER APPROVED EQUAL.
 5. VERIFY THICKNESS OF ALL FINISH FLOOR MATERIALS TO PROVIDE 1" CLEARANCE AT ALL DOORS.
 6. PROVIDE TEMPERED GLASS IN ALL LOCATIONS AS REQUIRED BY BUILDING CODE.

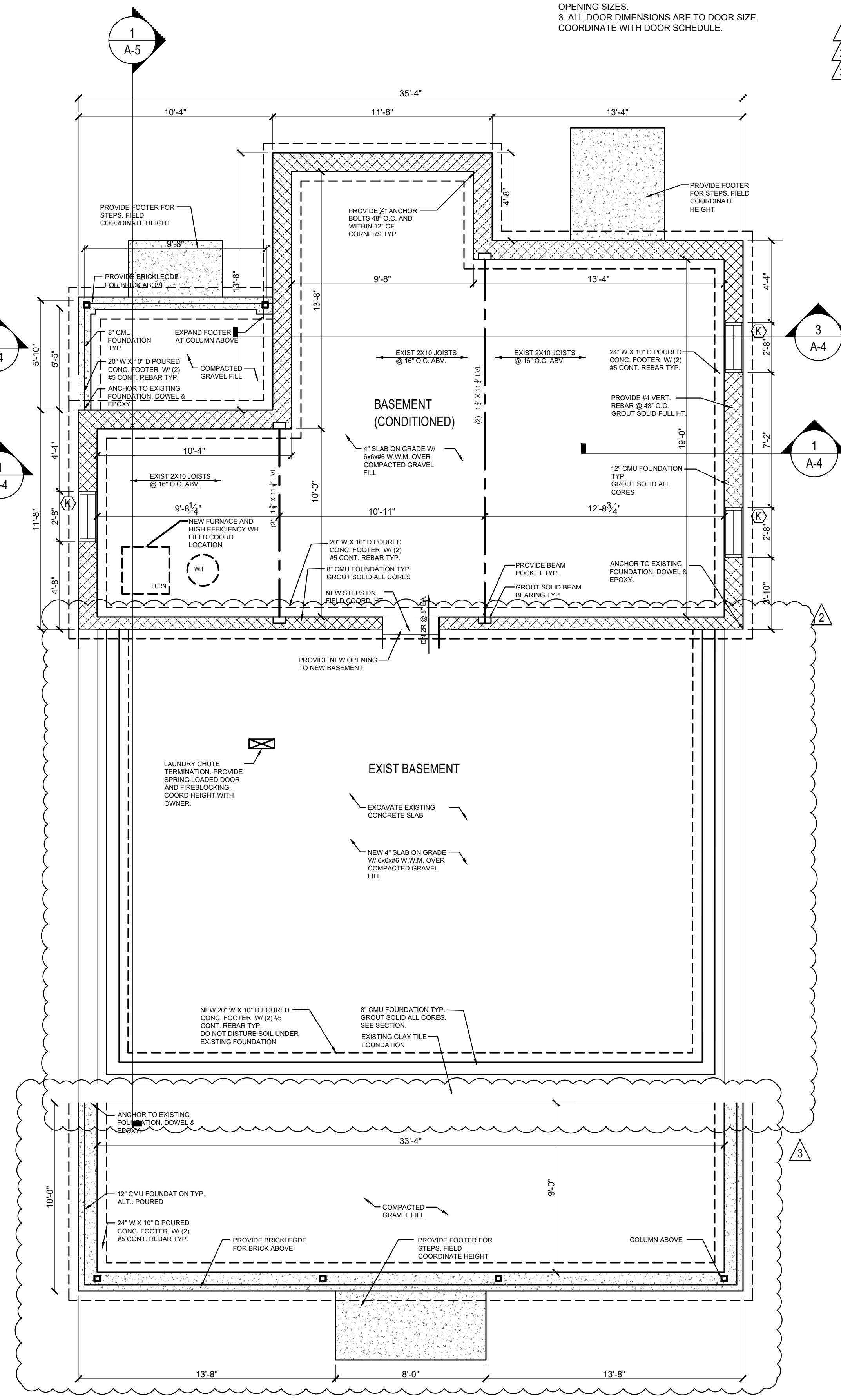
WINDOW SCHEDULE

#	QTY	UNIT SIZE W X H	MAT'L	FUNCTION	GLASS	REMARKS
A	6	30" X 50"	WOOD	DOUBLE HUNG		
B	2	24" X 50"	WOOD	DOUBLE HUNG		
C	4	30" X 64"	WOOD	DOUBLE HUNG		
C.1	5	30" X 64"	WOOD	DOUBLE HUNG	TEMPERED	
D	4	30" X 36"	WOOD	FIXED		
E	6	24" X 64"	WOOD	DOUBLE HUNG		
F	1	60" X 64"	WOOD	DOUBLE HUNG		EGRESS
G	4	28" X 40"	VINYL	DOUBLE HUNG		
H	6	24" X 45"	VINYL	DOUBLE HUNG		
J	2	48" X 64"	WOOD	DOUBLE HUNG		
K	3	16" X 32"	GLASS BLOCK	VENTED		
L	2	24" X 24"	WOOD	AWNING		TEMPERED

GENERAL NOTES
 1. REPLACE EXISTING FIRST FLOOR WINDOWS TO MATCH NEW.
 2. REPLACE EXISTING SECOND FLOOR WINDOWS TO MATCH NEW. VERIFY WITH OWNER.

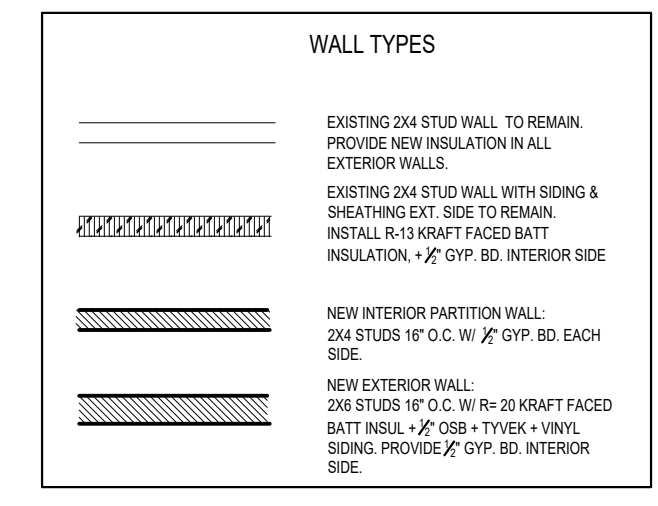


1 FIRST FLOOR
 SCALE: 1/4" = 1'-0"

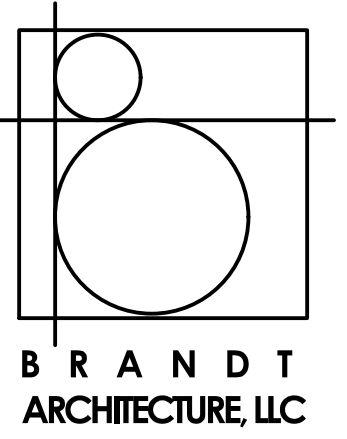


2 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FINISH NOTES:
 1. PROVIDE 1/2" GYP BD AT ALL WALLS AND CEILING OF ADDITION.
 2. IN ALL AREAS MODIFIED BY THIS SCOPE OF WORK, PROVIDE BASE TRIM, DOOR & WINDOW CASING TO MATCH EXISTING.
 3. PAINT ALL WALLS, CEILINGS AND TRIM IN AREAS IMPACTED BY SCOPE OF WORK. COLORS TO BE SELECTED BY OWNER.
 4. PROVIDE NEW FLOORING AS INDICATED ON PLANS. PROVIDE TRANSITION STRIPS AT CHANGES IN MATERIAL.

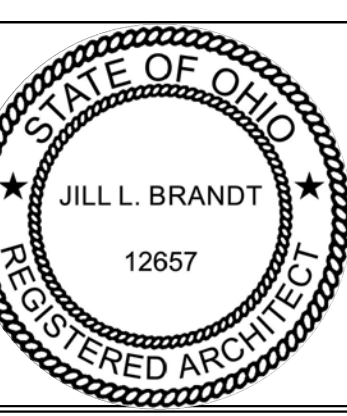


DIMENSIONAL NOTES:
 1. INTERIOR DIMENSIONS ARE STUD TO STUD.
 2. ALL WINDOW DIMENSIONS ARE TO CENTERLINE ON WINDOW UNIT. SEE WINDOW SCHEDULE FOR SIZES. COORDINATE WITH MANUFACTURER FOR ROUGH OPENING SIZES.
 3. ALL DOOR DIMENSIONS ARE TO DOOR SIZE. COORDINATE WITH DOOR SCHEDULE.



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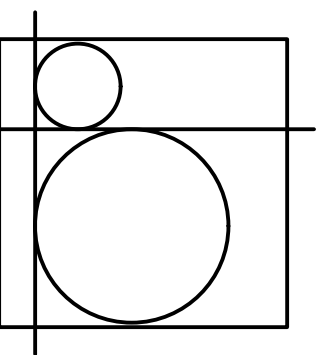


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FLOOR PLANS & SCHEDULES

A-1



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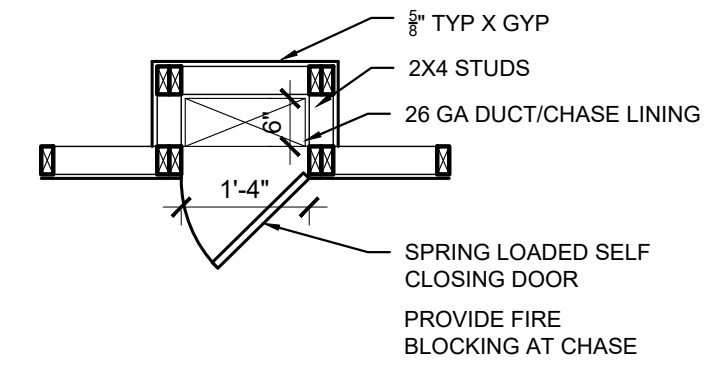


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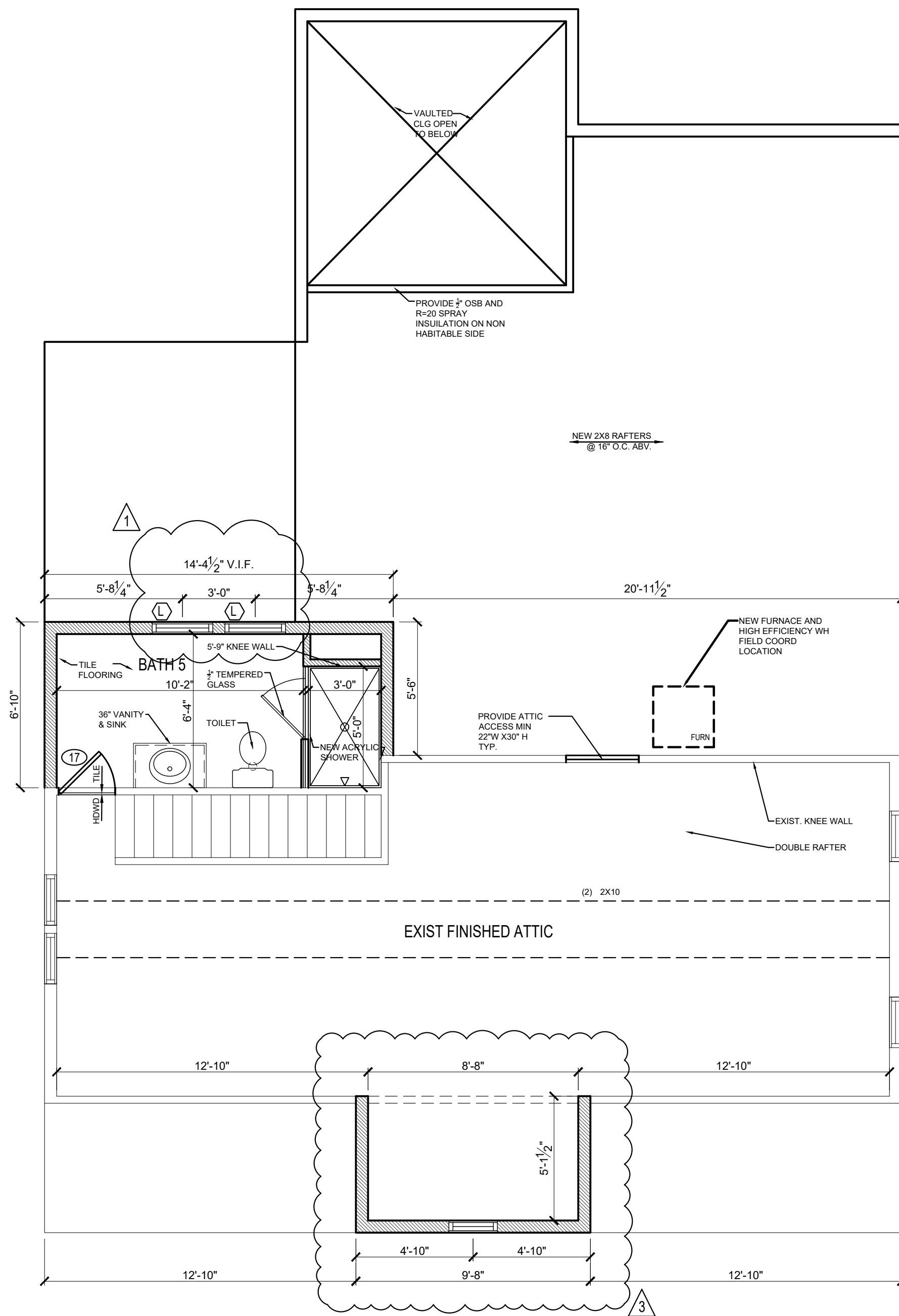
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PLANS & FLOOR PLANS

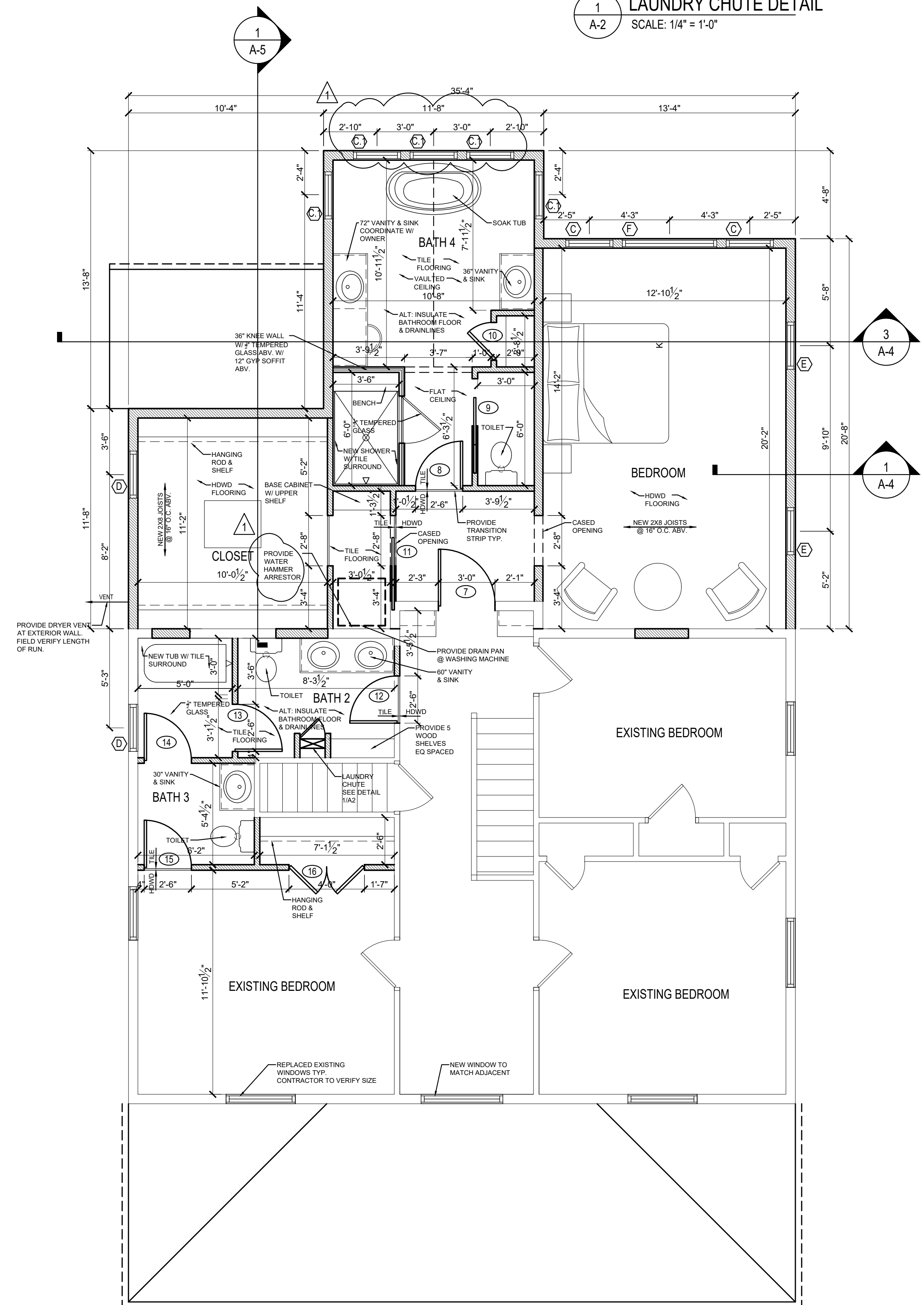
A-2



1 LAUNDRY CHUTE DETAIL
SCALE: 1/4" = 1'-0"



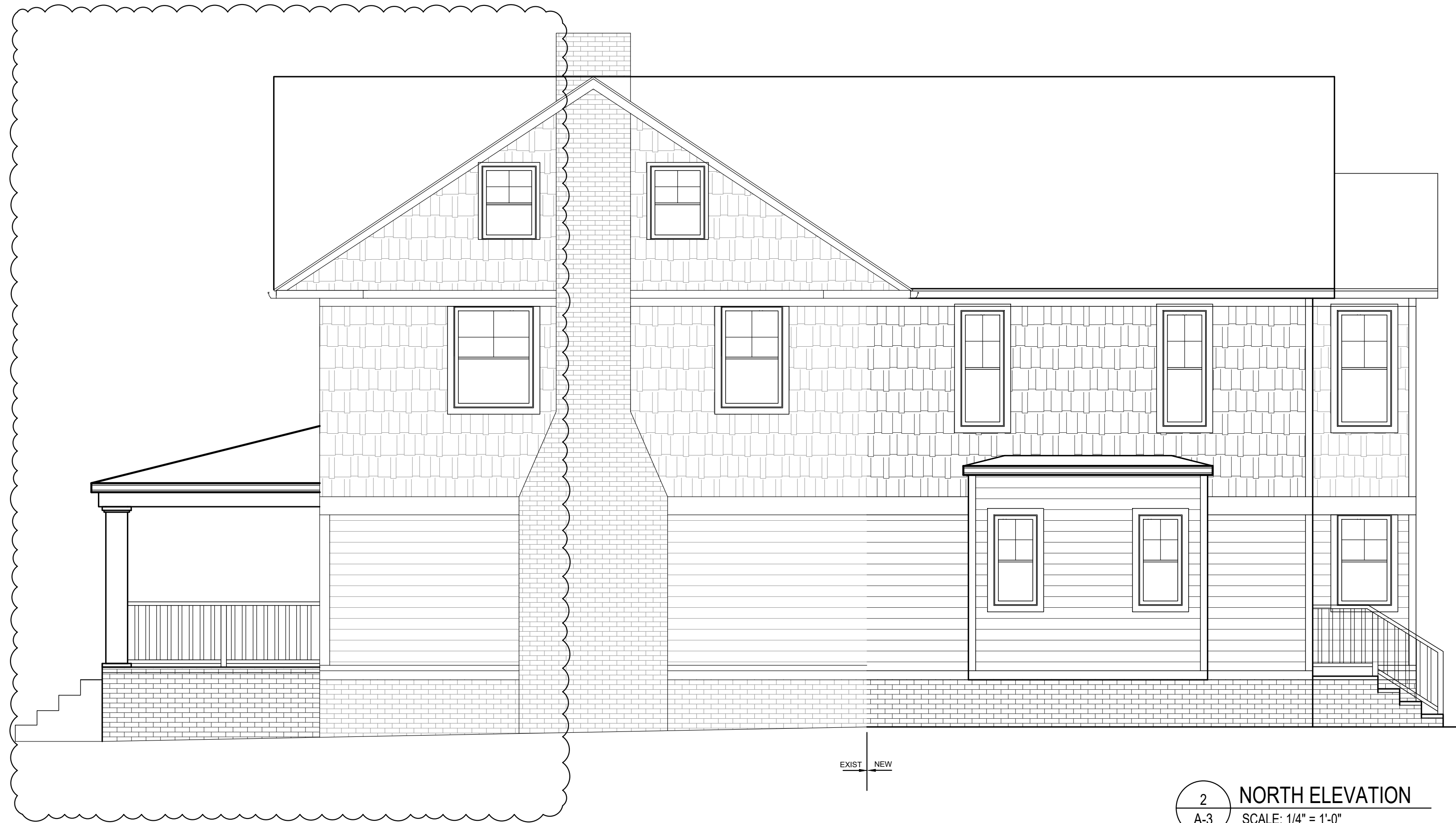
2 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



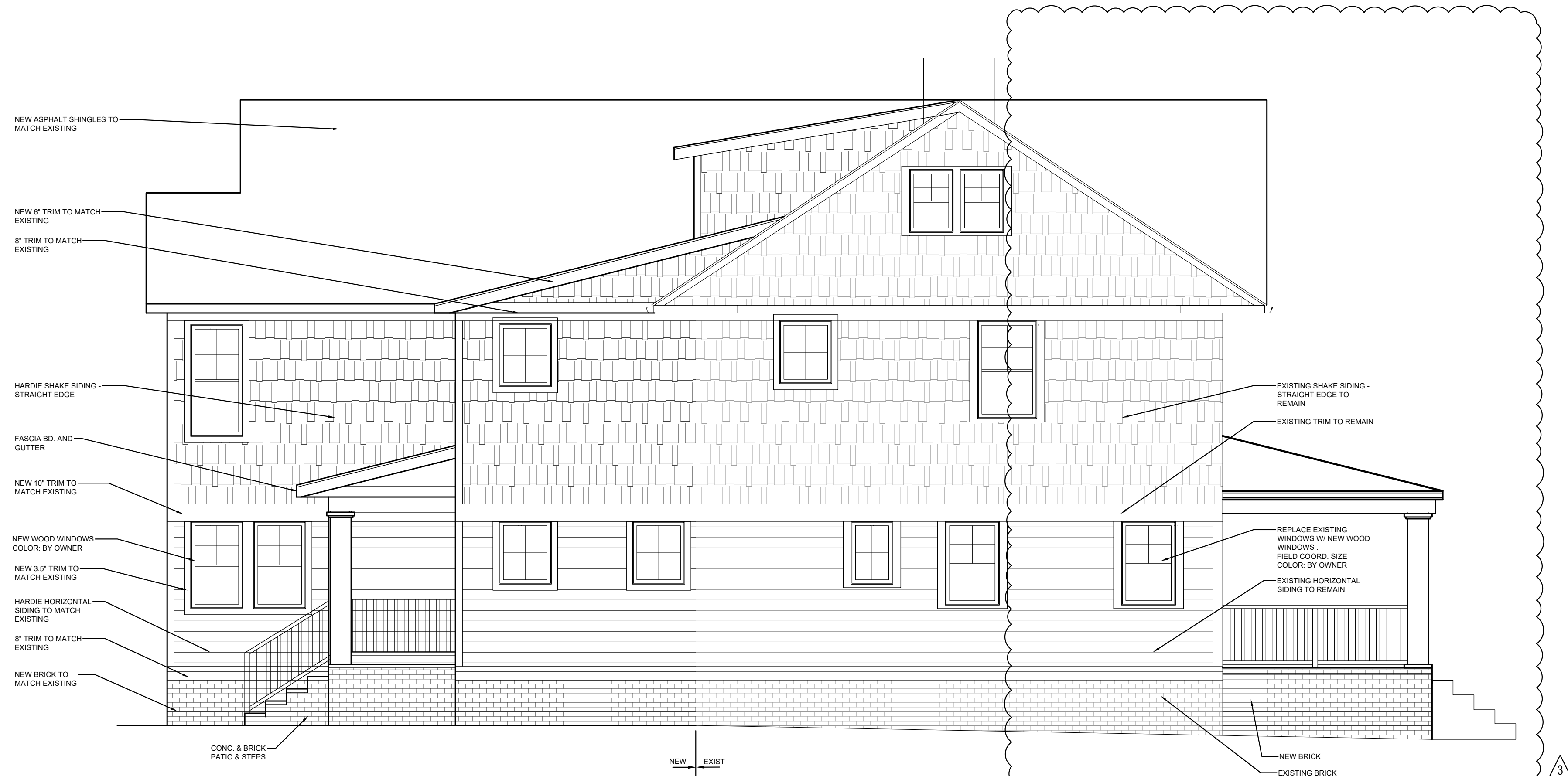
1 EAST ELEVATION (NO CHANGE)
A-3 SCALE: 1/4" = 1'-0"



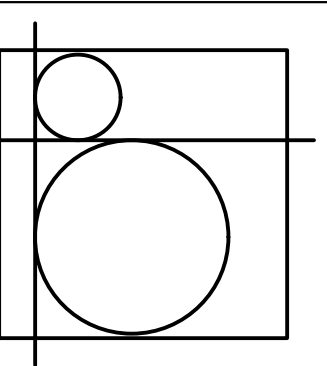
2 NORTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



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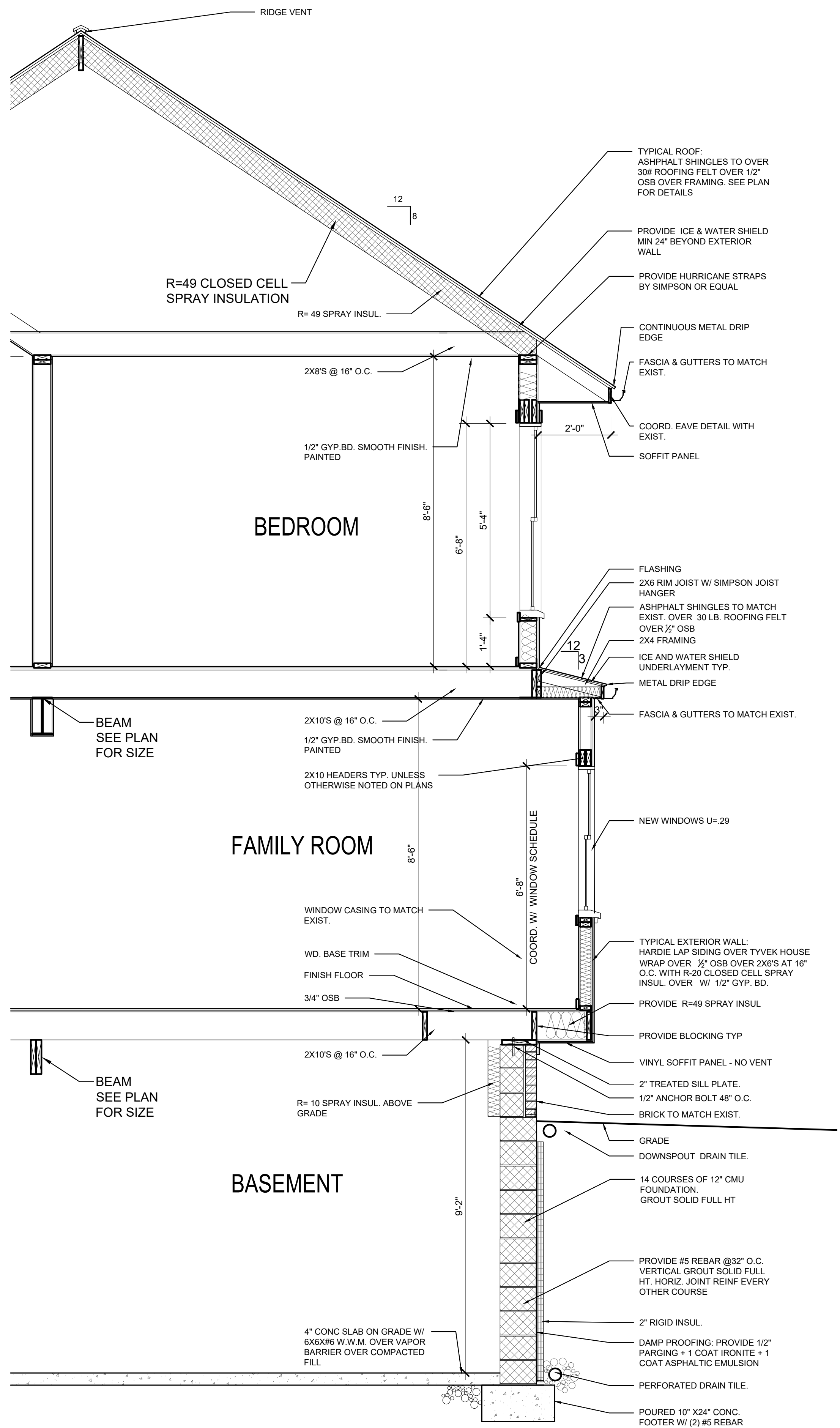
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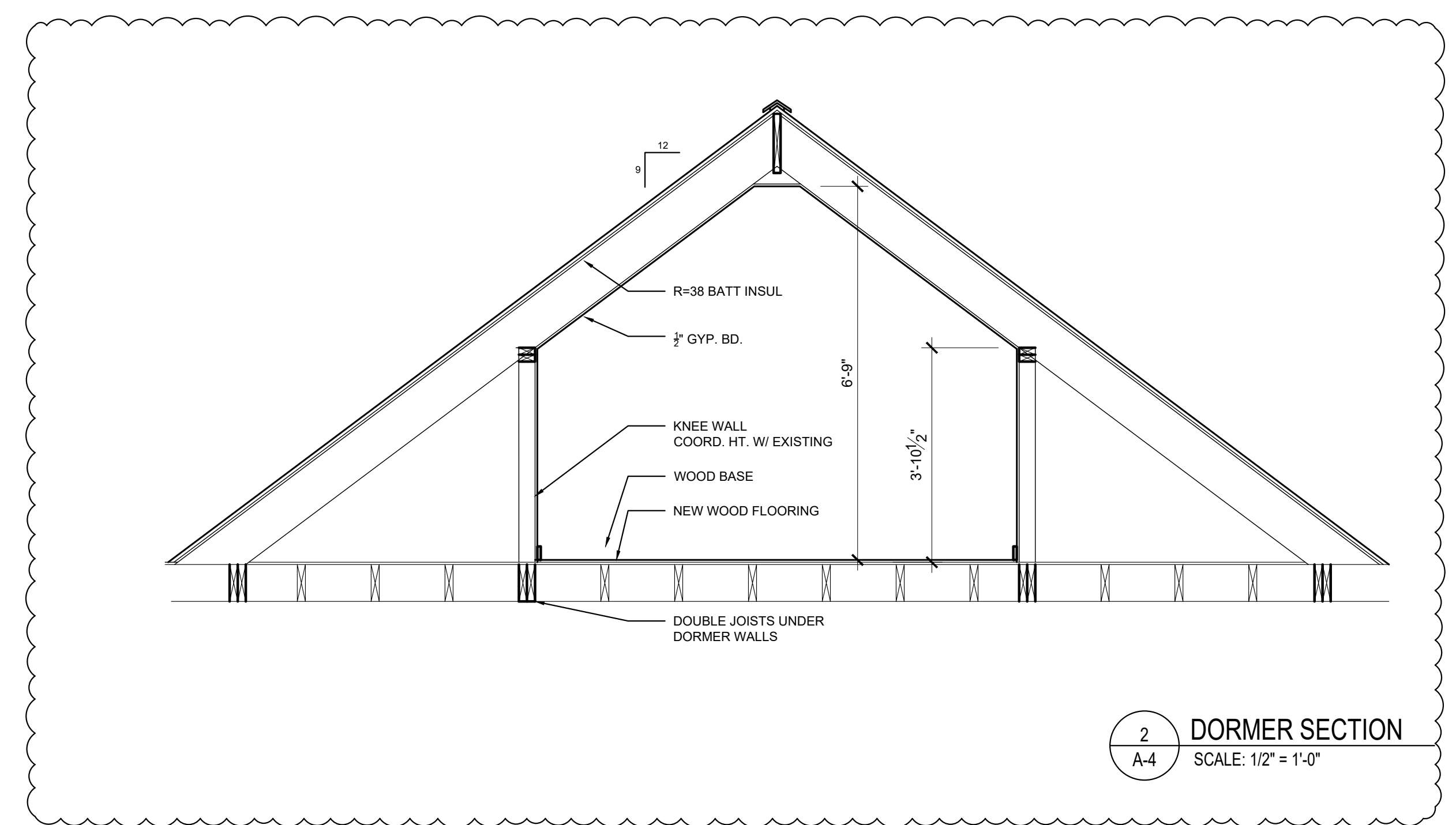
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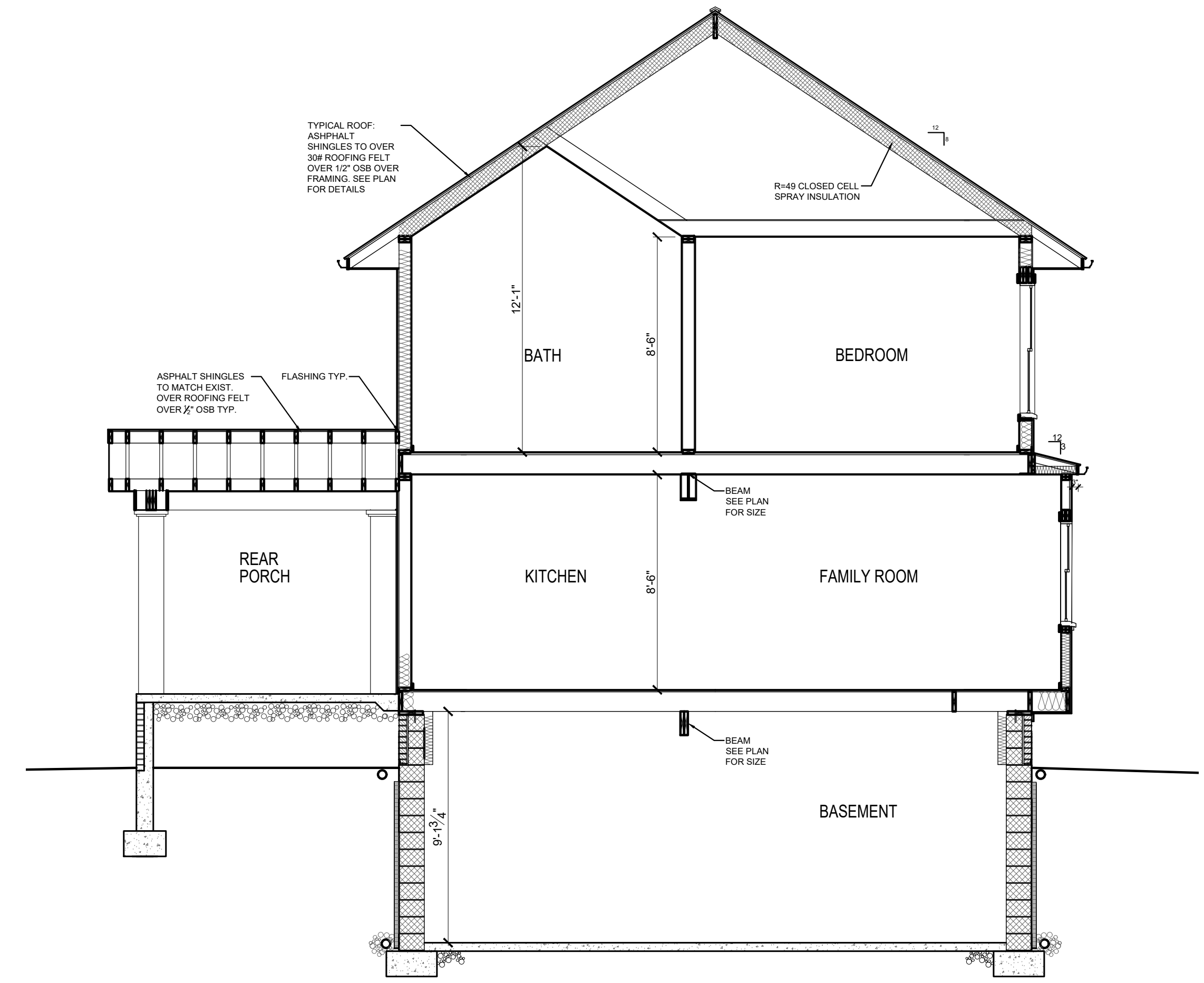
ELEVATIONS
A-3



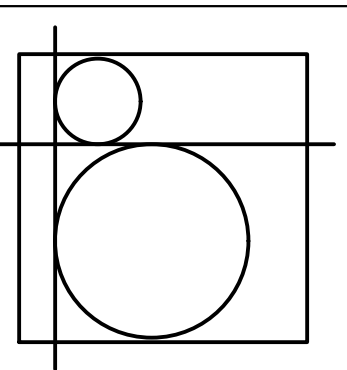
1 TYPICAL WALL SECTION
A-4 SCALE: 1/2" = 1'-0"



2 DORMER SECTION
A-4 SCALE: 1/2" = 1'-0"



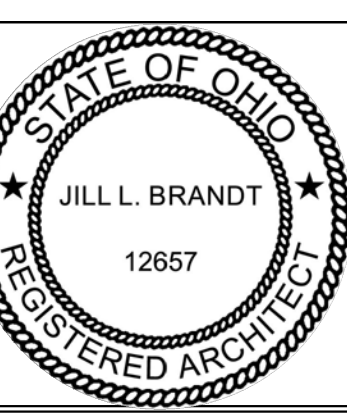
3 SECTION 1
A-4 SCALE: 1/2" = 1'-0"



**BRANDT
ARCHITECTURE, LLC**

2220 Wooster Rd.
Rocky River, OH 44116
440.865.1824
brandtarchitecture.com

1	11/8/23	PERMIT
2	11/30/23	REVISIONS
3	2/26/24	REVISIONS
4	3/14/24	REVISIONS

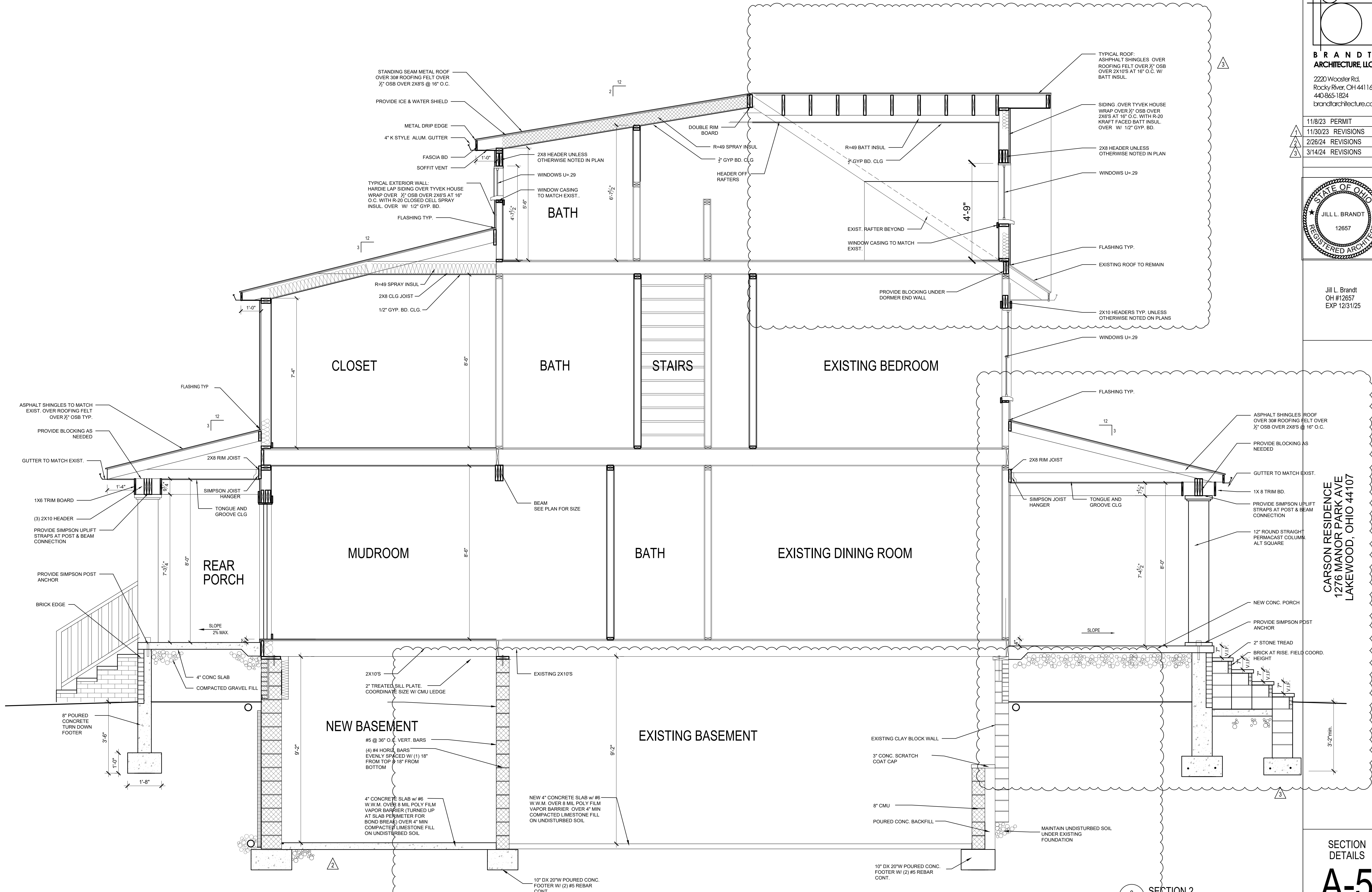


Jill L. Brandt
OH #12657
EXP 12/31/25

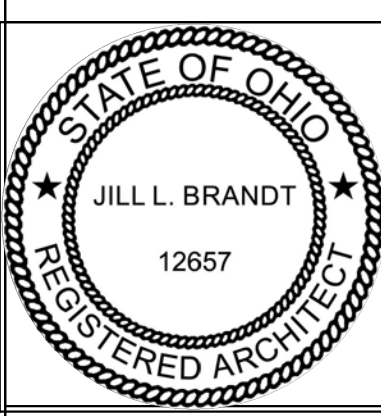
CARSON RESIDENCE
1276 MANOR PARK AVE
LAKEWOOD, OHIO 44107

SECTION
DETAILS

A-4



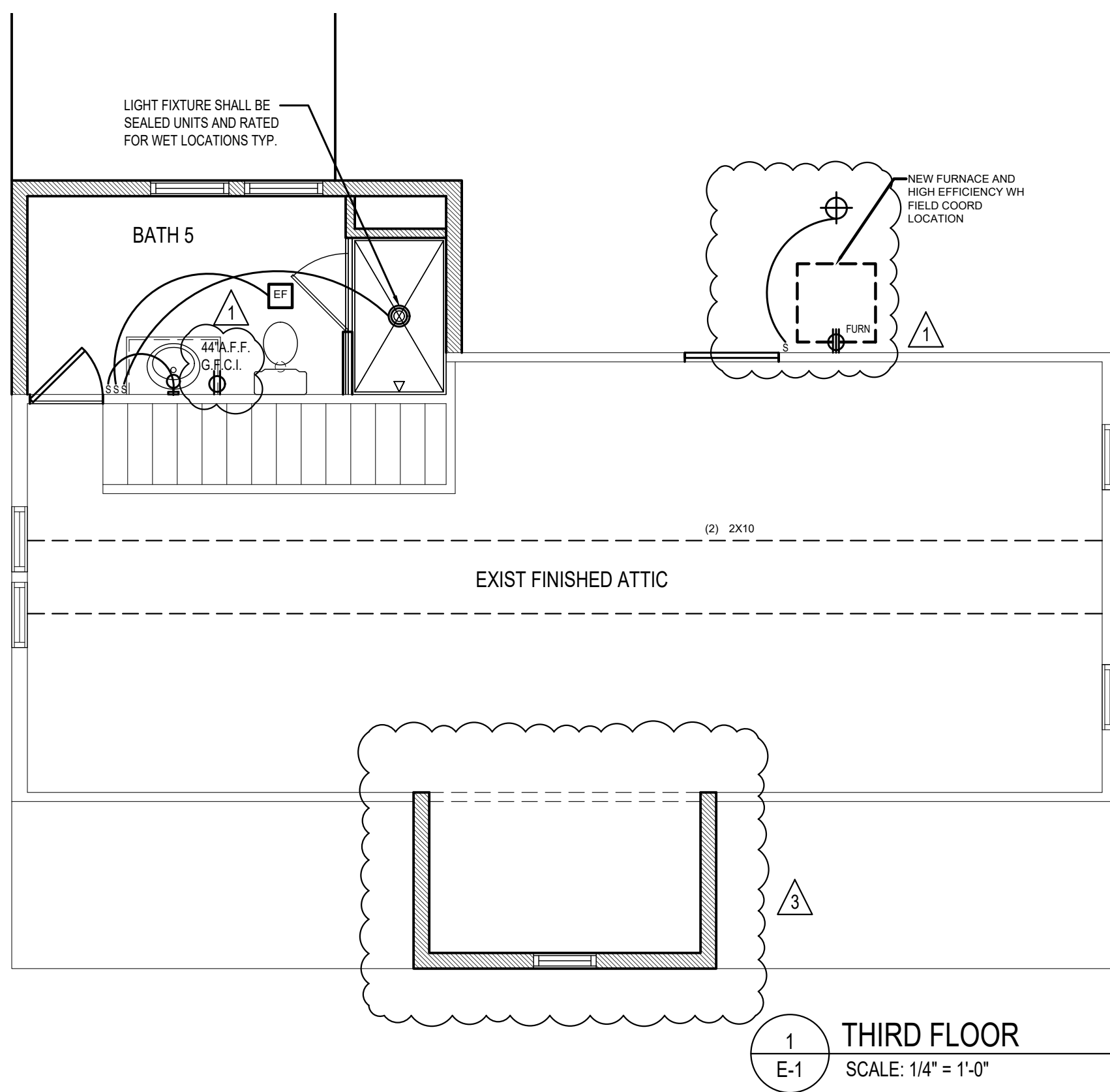
11/8/23	PERMIT
11/30/23	REVISIONS
2/26/24	REVISIONS
3/14/24	REVISIONS



Jill L. Brandt
 OH #12657
 EXP 12/31/25

CARSON RESIDENCE
 1276 MANOR PARK AVE
 LAKEWOOD, OHIO 44107

SECTION 2
 SCALE: 1/2" = 1'-0"



SYMBOL	DESCRIPTION
⊕	DUPLEX OUTLET
⊕	DEDICATED APPLIANCE OUTLET
⊕ GFCI	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
⊕ WR	WATER RESISTANT OUTLET
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	WALL MOUNTED LIGHT FIXTURE
○	PENDANT LIGHT FIXTURE
○	4" RECESSED LIGHT FIXTURE
—	UNDER CABINET LIGHT FIXTURE
EF	EXHAUST FAN VENT TO EXTERIOR
EF	COMBINATION EXHAUST FAN / LIGHT
⊕	CEILING FAN / LIGHT FIXTURE
⊙	HARDWIRED SMOKE DETECTOR
⊙	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

ELECTRICAL NOTES:

- ALL WORK SHALL COMPLY WITH THE RCO & IFGC, NEC, AND FEDERAL, STATE AND LOCAL CODES.
- ANY INCOMPATIBILITY WITH ELECTRIC PANEL SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
- FIELD VERIFY EXISTING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE EXISTING AND NEW OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS.
- NEW AND EXTENDED CIRCUITS (EXCEPT THOSE AT KITCHEN COUNTERTOPS) SHALL RECEIVE AFCI PROTECTION.
- PROVIDE A MINIMUM OF TWO (2) 20 AMP SMALL APPLIANCE CIRCUITS FOR RECEPTACLES AT KITCHEN COUNTER.
- PROVIDE A MINIMUM OF ONE (1) 20 AMP SMALL APPLIANCE CIRCUIT FOR RECEPTACLES AT LAUNDRY ROOM.
- PROVIDE A MINIMUM OF ONE (1) 20 AMP SMALL DEDICATED BRANCH CIRCUIT FOR EACH BATHROOM & POWER ROOM.
- PROVIDE HARDWIRED SMOKE DETECTORS PER CODE RCO SECTION 314.3.1 PER SLEEPING ROOM AND 1 LOCATED ON EACH FLOOR. ALL NEW SMOKE ALARMS WILL HAVE BATTERY BACK-UP POWER. UNLESS ADDITIONAL FINISHES MUST BE REMOVED, THEY SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ACTIVATES ALL INTERCONNECTED SMOKE ALARMS.
- EACH FLOOR SHALL HAVE BOTH IONIZATION AND PHOTOELECTRIC SMOKE ALARMS.
- PROVIDE CARBON MONOXIDE DETECTORS PER CODE RCO SECTION 316.1 PER FLOOR.
- OWNER SHALL PROVIDE DECORATIVE LIGHTING.
- RECOMMENDED MANUFACTURERS FOR NEW FIXTURES SHALL BE LITHONIA, OR OWNER APPROVED EQUAL.
- ALL EQUIPMENTS AND SYSTEM COMPONENTS SHALL BE SQUARE D OR APPROVED EQUAL.
- NEW LIGHT FIXTURES SHALL USE CFL'S OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.
- ALL RECEPTACLES SHALL BE TAMPER-RESISTANT.
- ALL WEATHER RESISTANT OUTLETS TO BE ENCLOSED WHEN PLUG IS INSERTED OR NOT.

ELECTRICAL SERVICE NOTES:

- PROVIDE NEW METER AND ELECTRICAL SERVICE TO GARAGE.
- PROVIDE 200 AMP METER DISCONNECT WITH FEEDER TO HOUSE MAIN PANEL (200AMP).
- FEEDER SHALL BE 4.0, 4.04.0, 2.0 URD CONDUIT.
- RUN 100 AMP SUB PANEL TO GARAGE.
- PROVIDE 100AMP CIRCUIT BREAKER IN METER DISCONNECT.

SYMBOL	DESCRIPTION
⊕	RETURN AIR GRILLE
⊕	SUPPLY AIR DIFFUSER
—	DUCT

MECHANICAL NOTE:

- ALL WORK SHALL COMPLY WITH THE RCO, IFGC, FEDERAL, STATE AND LOCAL CODES.
- MECHANICAL CONTRACTOR TO SIZE DUCTS, VENTS & FURNACE.
- COORDINATE GRILLE LOCATIONS WITH OWNER & FURNITURE LAYOUT.
- GRILLE COLOR AND FINISH SELECTED BY OWNER.
- DUCT RUNS IN BASEMENT SHALL BE LOCATED TO MAINTAIN HEADROOM AND MAXIMIZE HABITABLE SPACE.

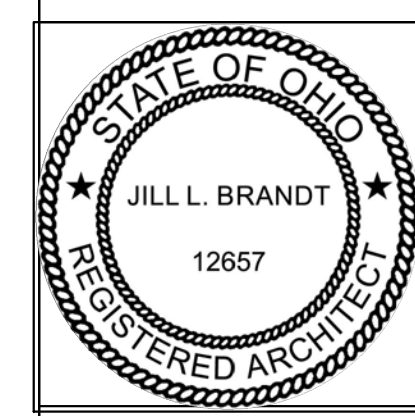
PLUMBING NOTES:

ISOMETRIC DRAWINGS ARE DIAGRAMATIC. CONTRACTOR SHALL FIELD VERIFY WITH EXISTING SUPPLY, WASTE & VENT LINES. COORDINATE HEIGHT WITH INTERIOR ELEVATIONS AND FIXTURE SPECIFICATION.

BRANDT ARCHITECTURE, LLC

2220 Wooster Rd.
Rocky River, OH 44116
440.865.1824
brandtarchitecture.com

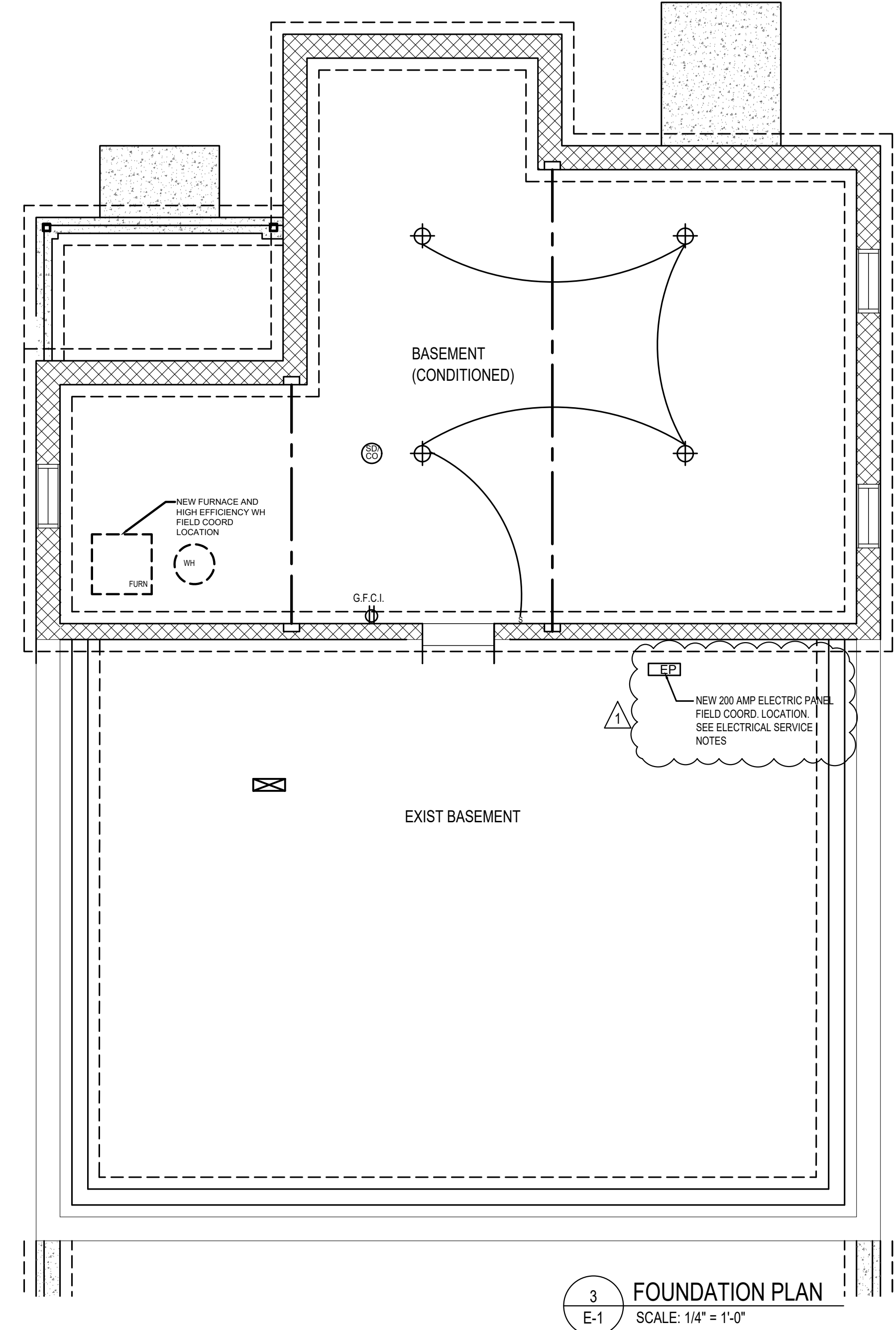
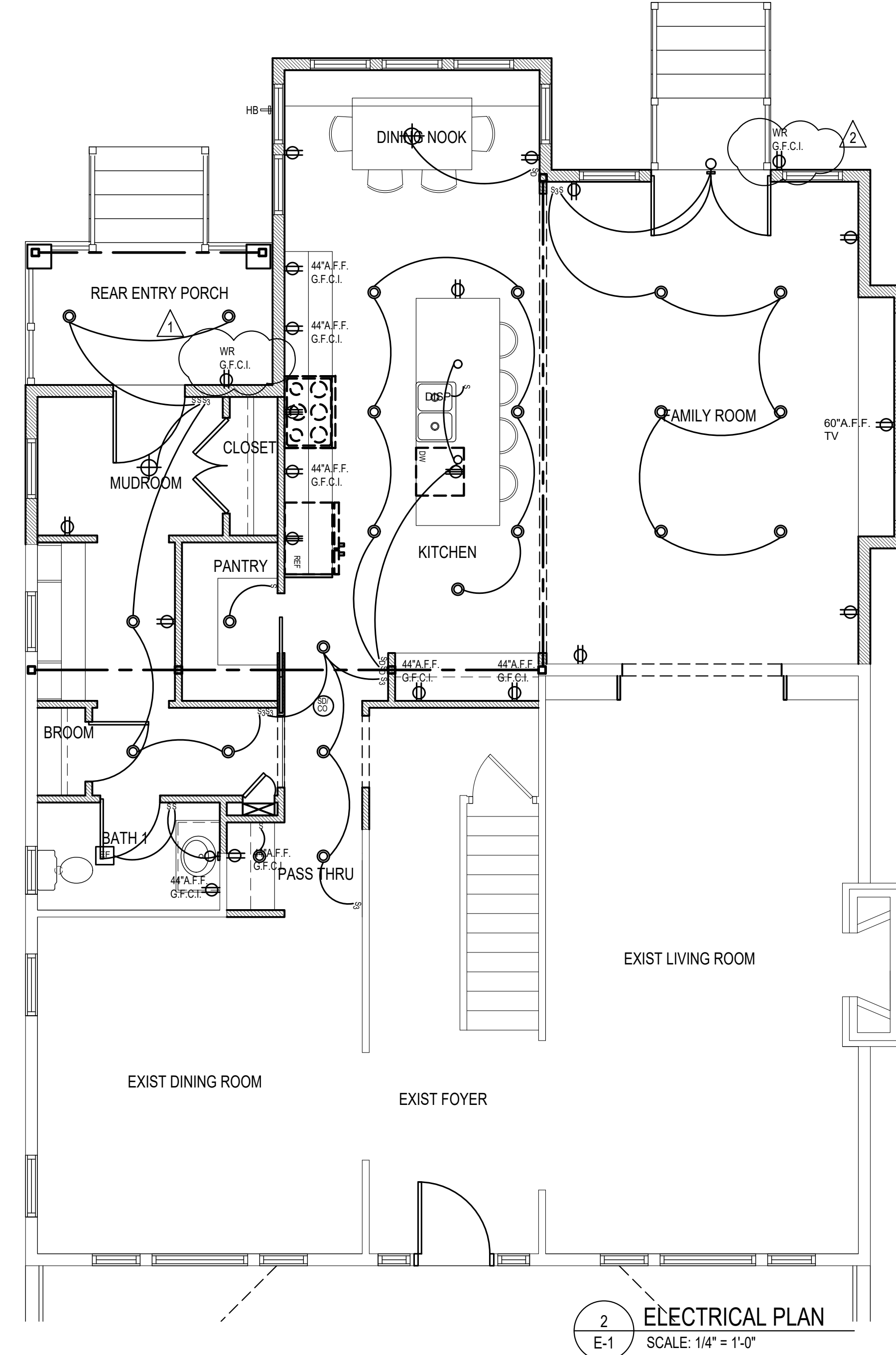
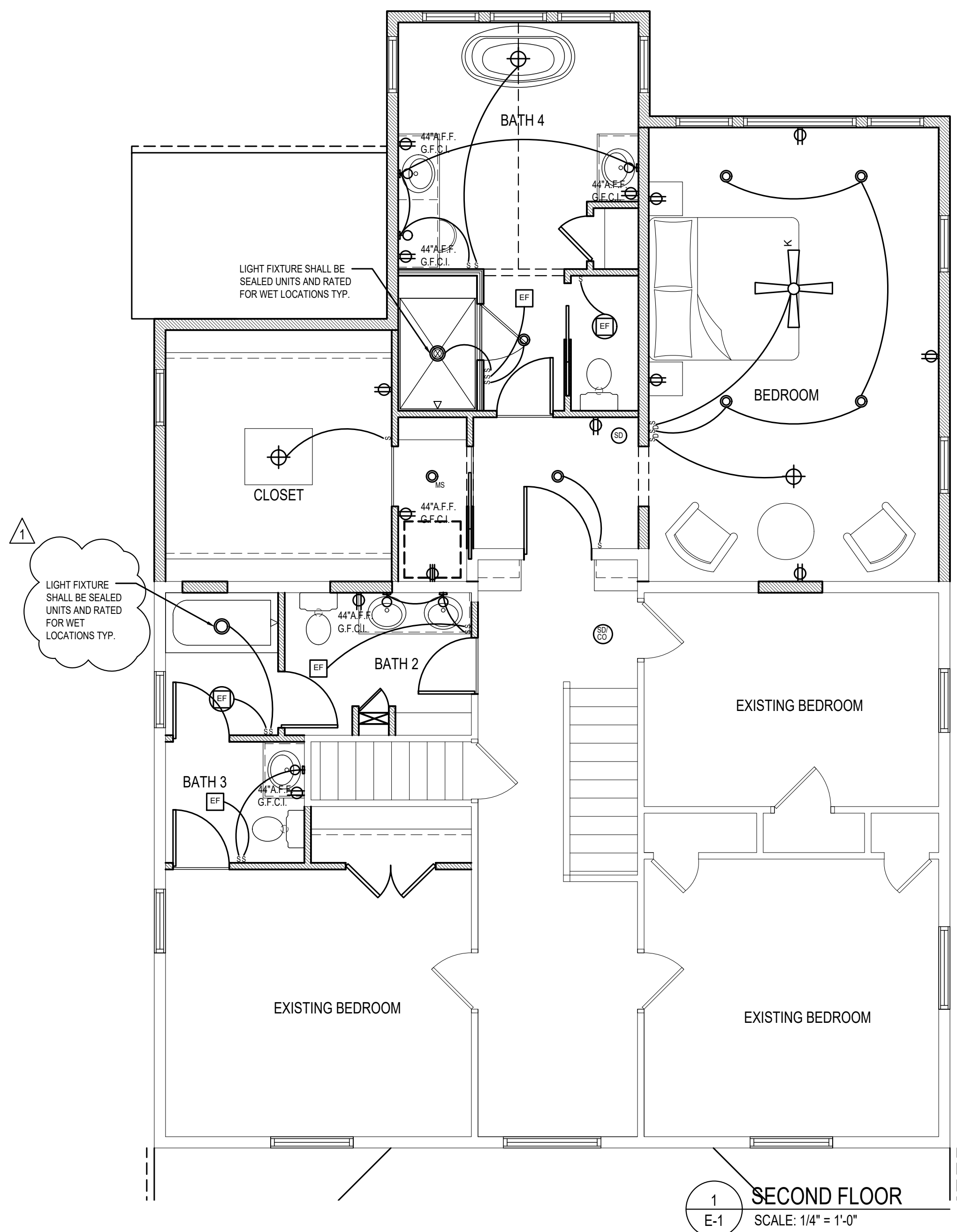
- 11/8/23 PERMIT
- 11/30/23 REVISIONS
- 2/26/24 REVISIONS
- 3/14/24 REVISIONS



Jill L. Brandt
OH #12657
EXP 12/31/25

CARSON RESIDENCE
1276 MANOR PARK AVE
LAKEWOOD, OHIO 44107

ELECTRICAL PLAN
E-1





1276



1276





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-23-24

Permit No.: BBS24-000028

Applicant Name: Mark H. Reinhold, Mark Reinhold Architect

Project Address: 17879 Lake Rd.

Project Name: n/a

Project: Applicant proposes a front porch addition.

Letter of Authorization

March 20, 2024

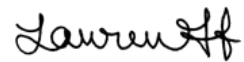
The Architectural Board of Review

Lakewood, OH

To whom it may concern:

We, the owners of the property located at **17879 Lake Road, Lakewood, OH 44107**, hereby authorize **Mark Reinhold** to apply for the architectural review board on our behalf and represent us at the architectural review board's meeting. Thank you.

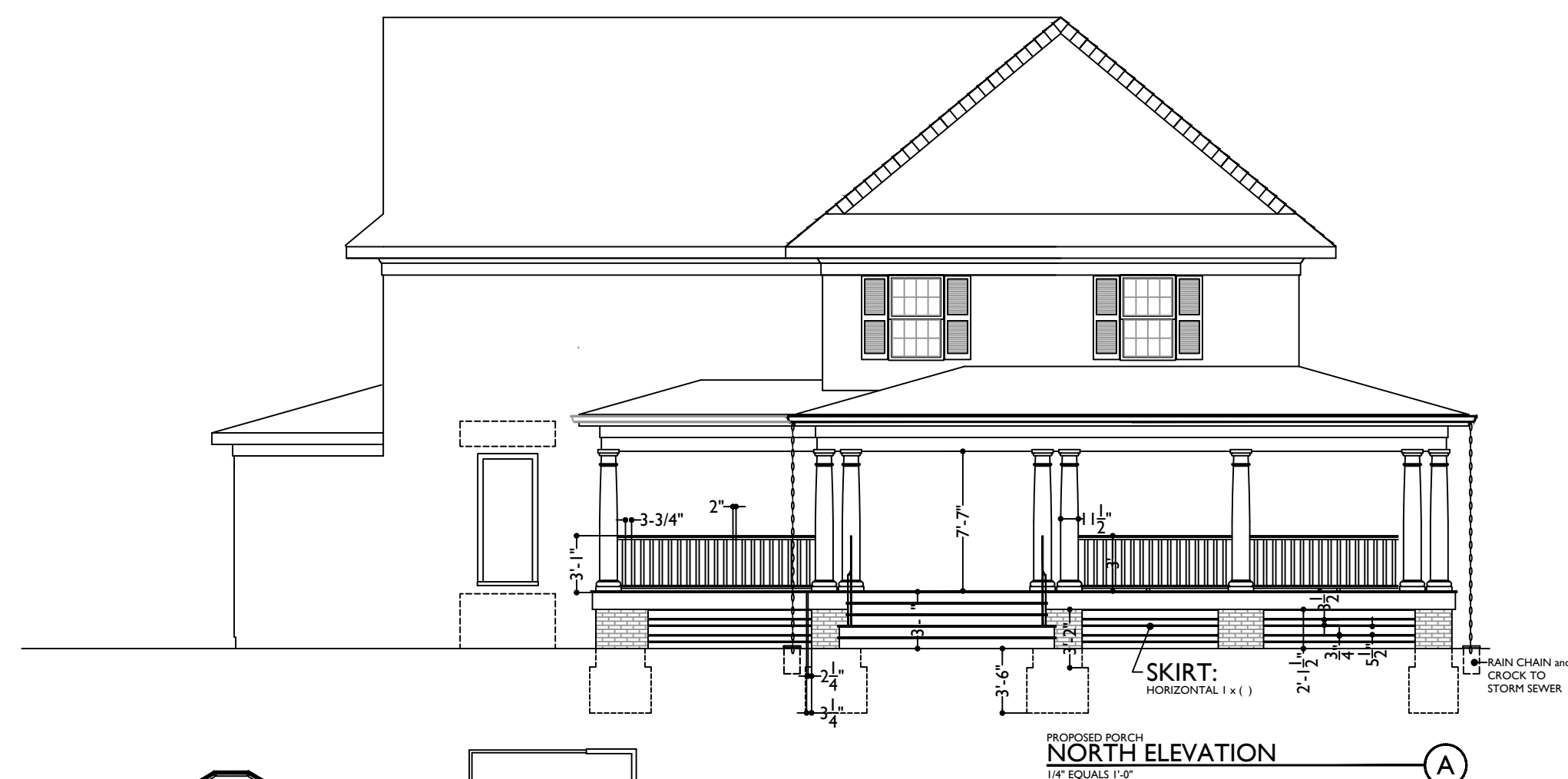
Sincerely,

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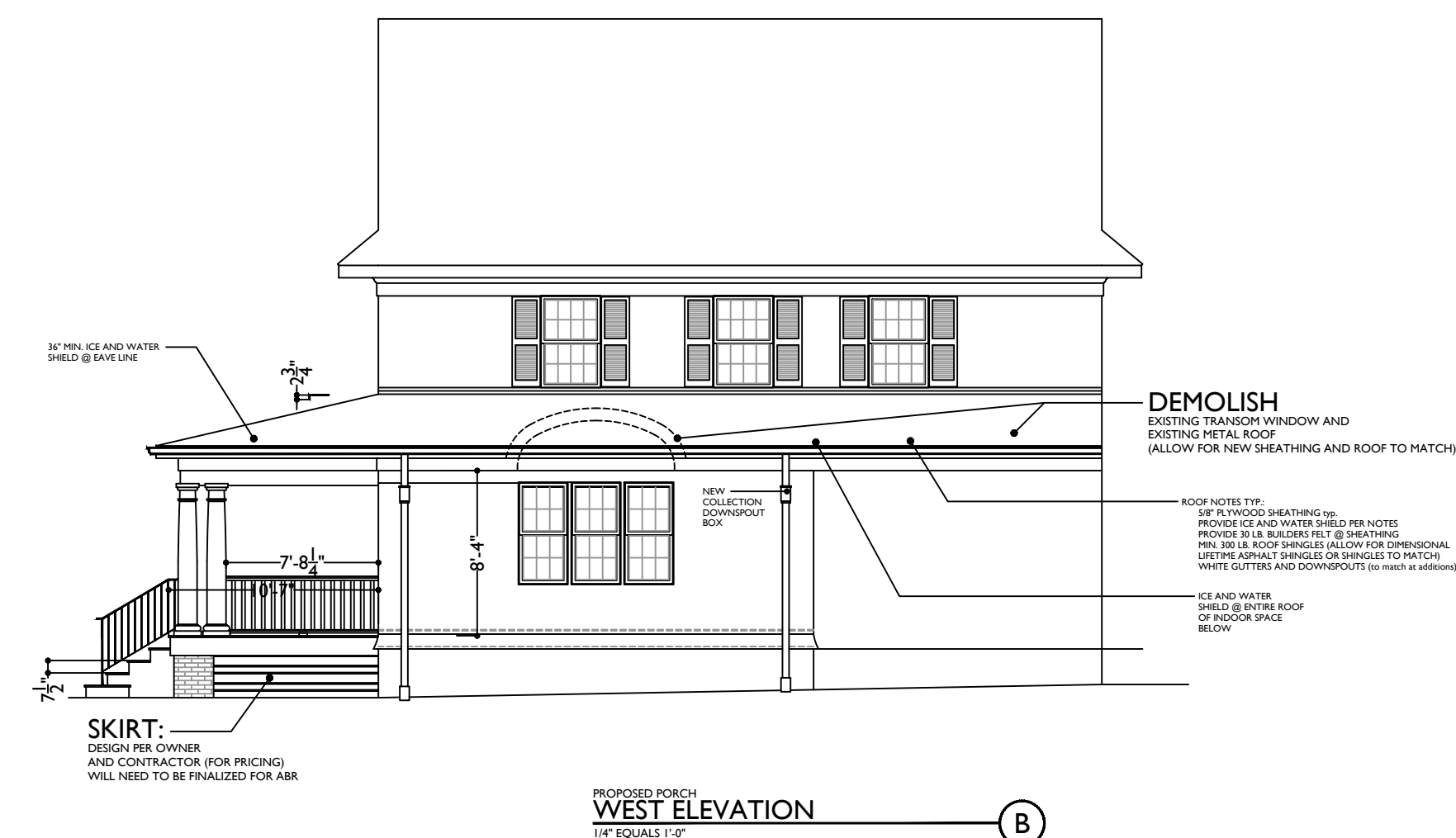
(Lauren Graf)

A handwritten signature in cursive script that reads "Arvind Gounder".

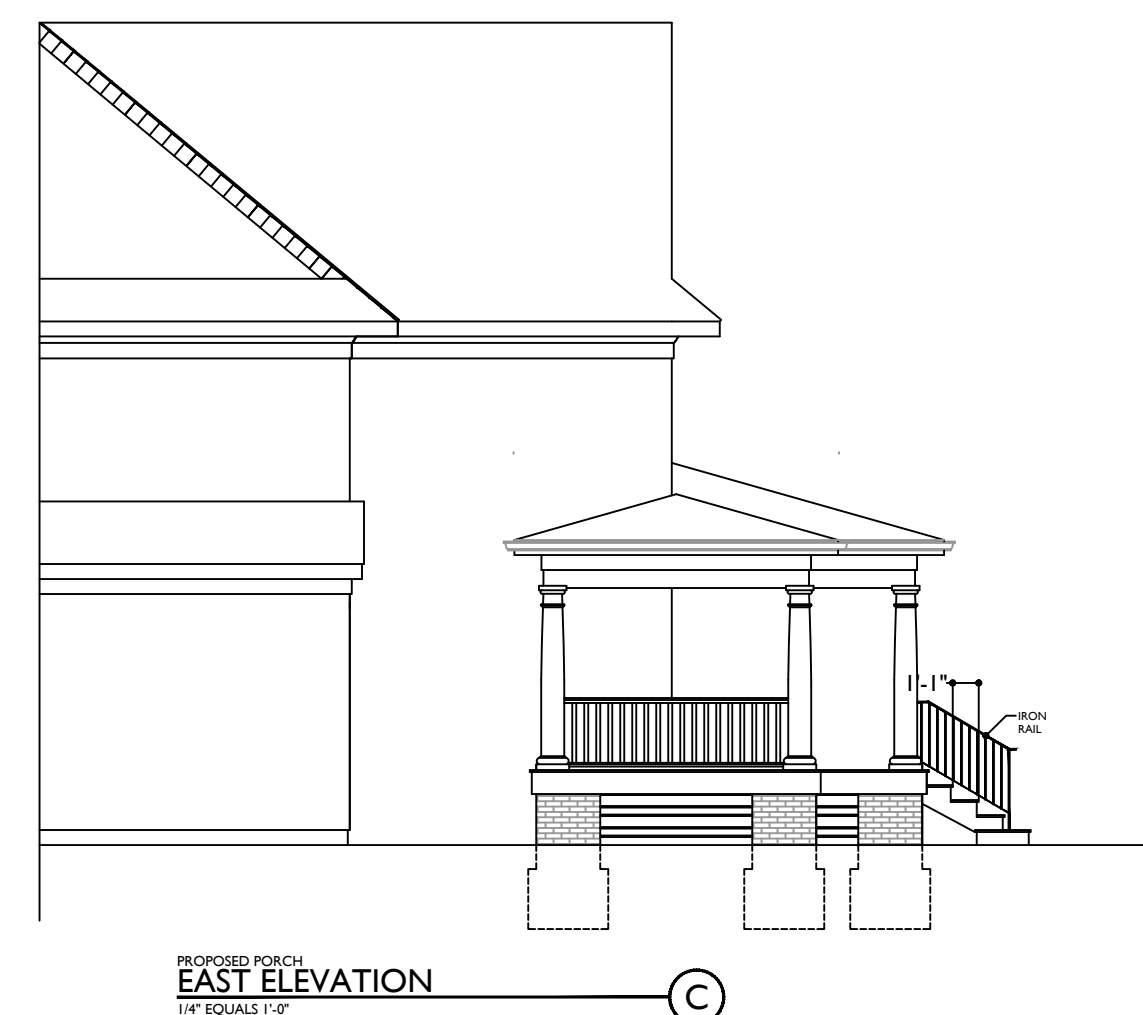
(Arvind Gounder)



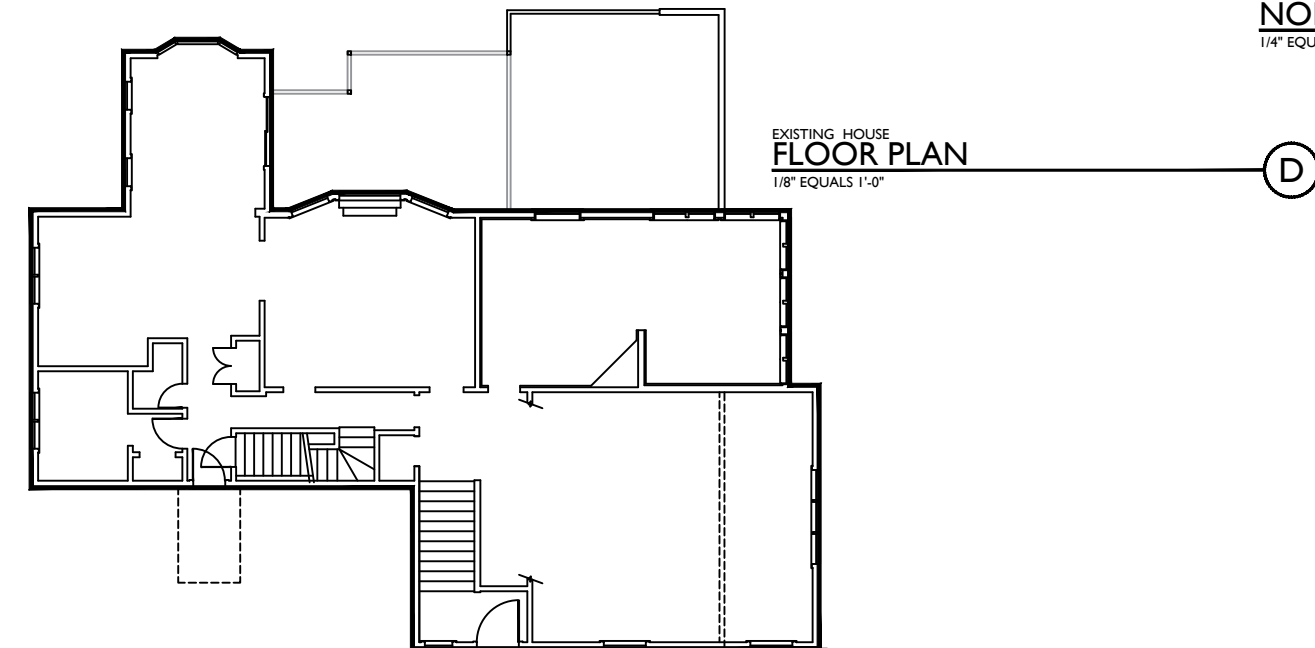
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NORTH ELEVATION
1/4\"/>



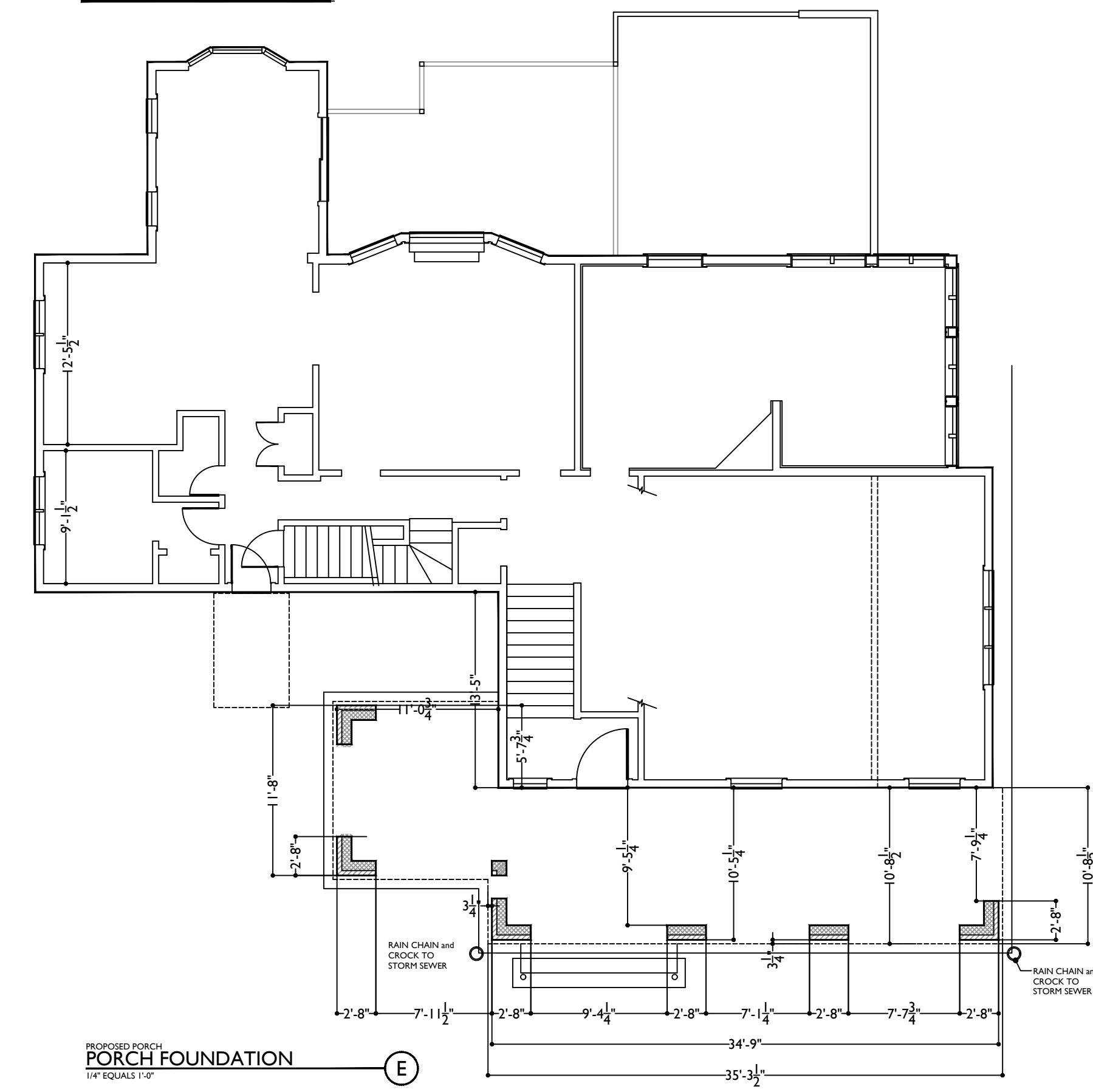
PROPOSED PORCH
WEST ELEVATION
1/4\"/>



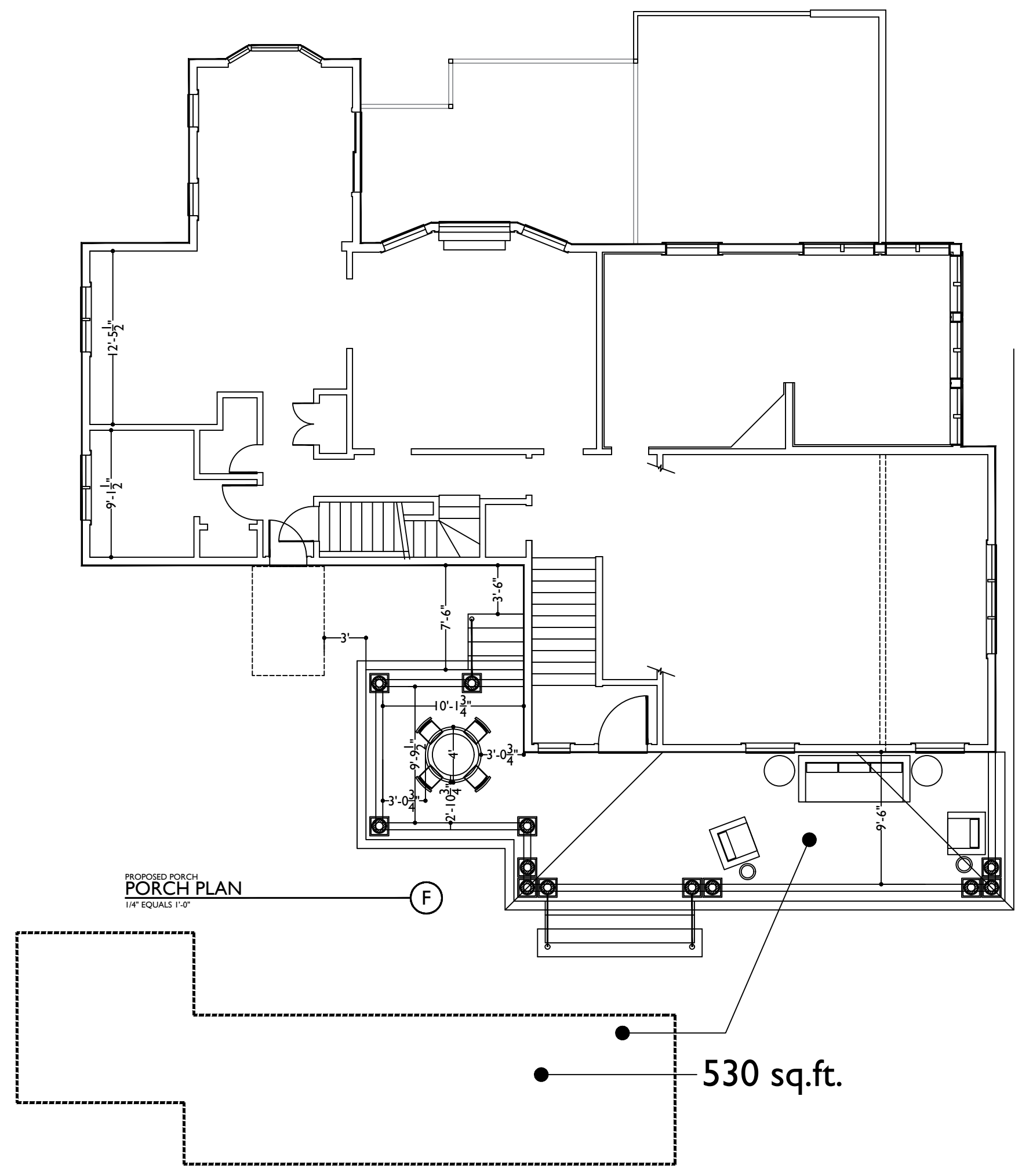
PROPOSED PORCH
EAST ELEVATION
1/4\"/>



EXISTING HOUSE
FLOOR PLAN
1/4\"/>

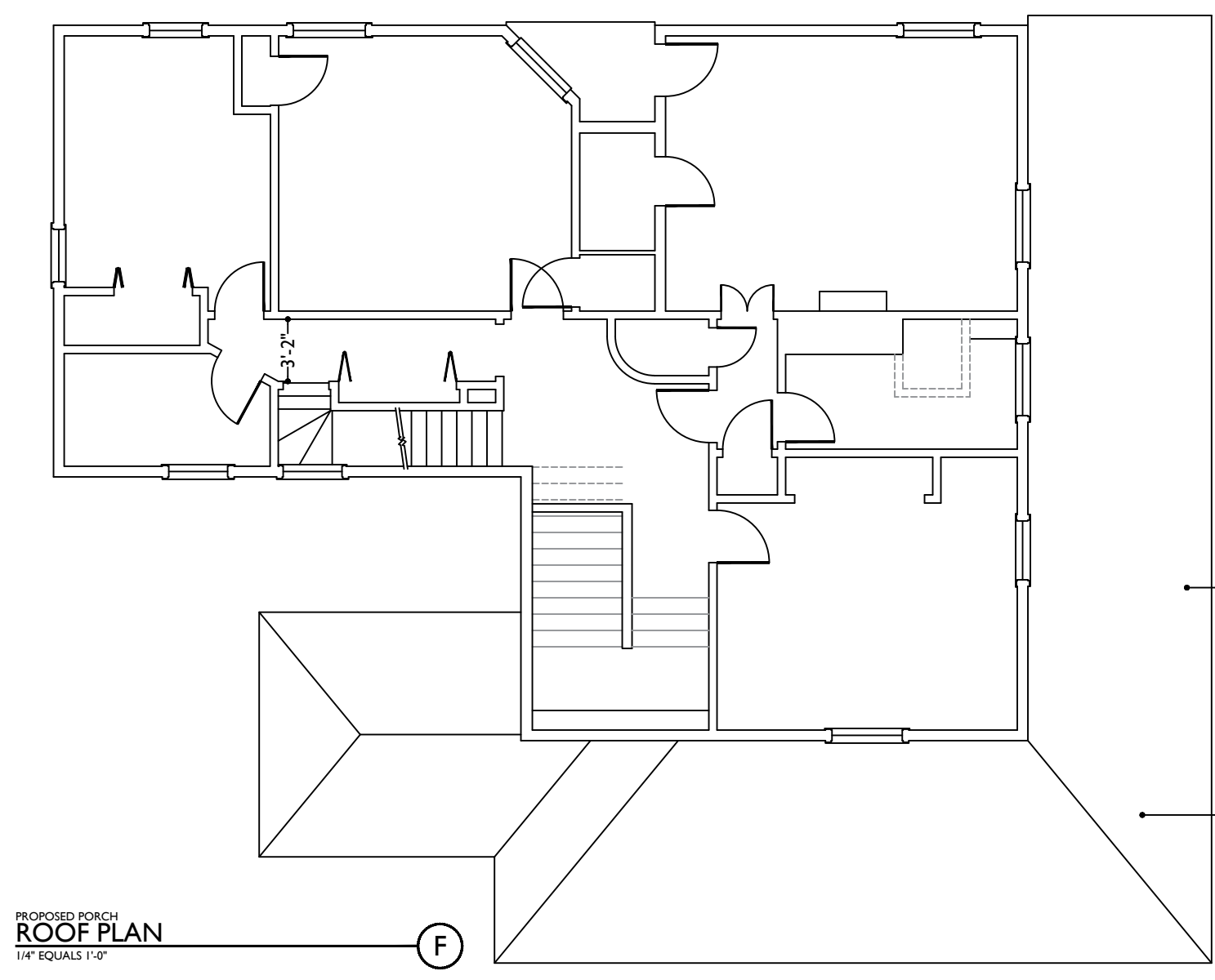


PROPOSED PORCH
PORCH FOUNDATION
1/4\"/>



PROPOSED PORCH
PORCH PLAN
1/4\"/>

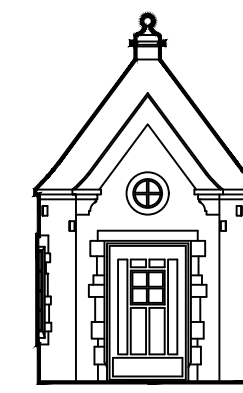
530 sq.ft.



PROPOSED PORCH
ROOF PLAN
1/4\"/>

ICE AND WATER
SHED 1/2\"/>

ROOF NOTE TYP:
SEE TO PROVIDE WEATHERING OR
PROTECTIVE ICE AND WATER SHED PER NOTE
PROVIDE 1/2\"/>

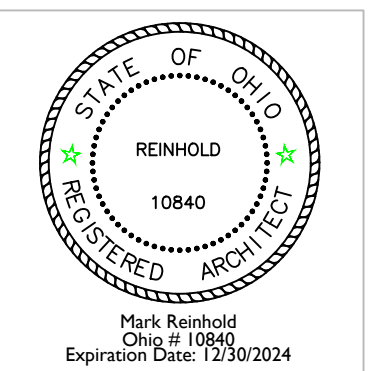


MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

KOZ and COMPANY
03/18/2024



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

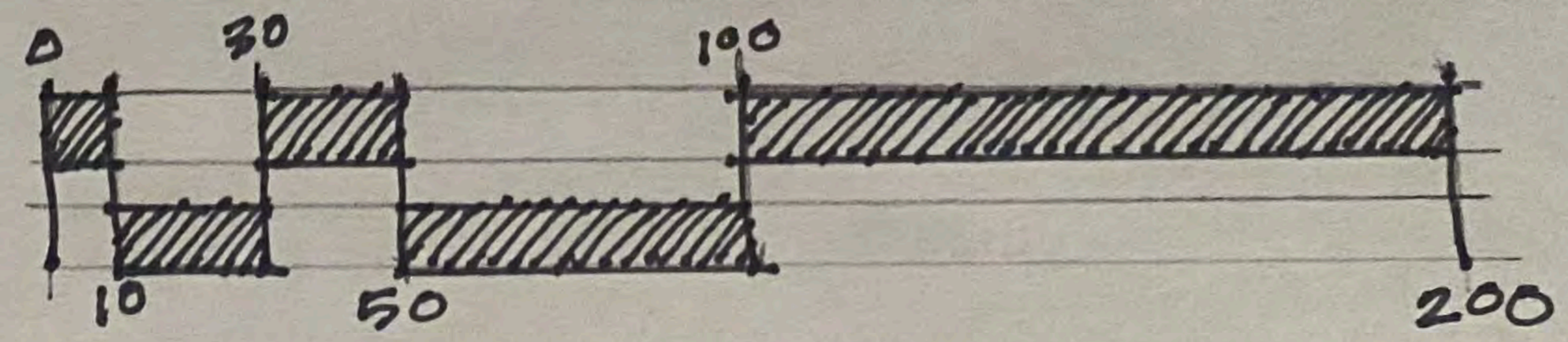
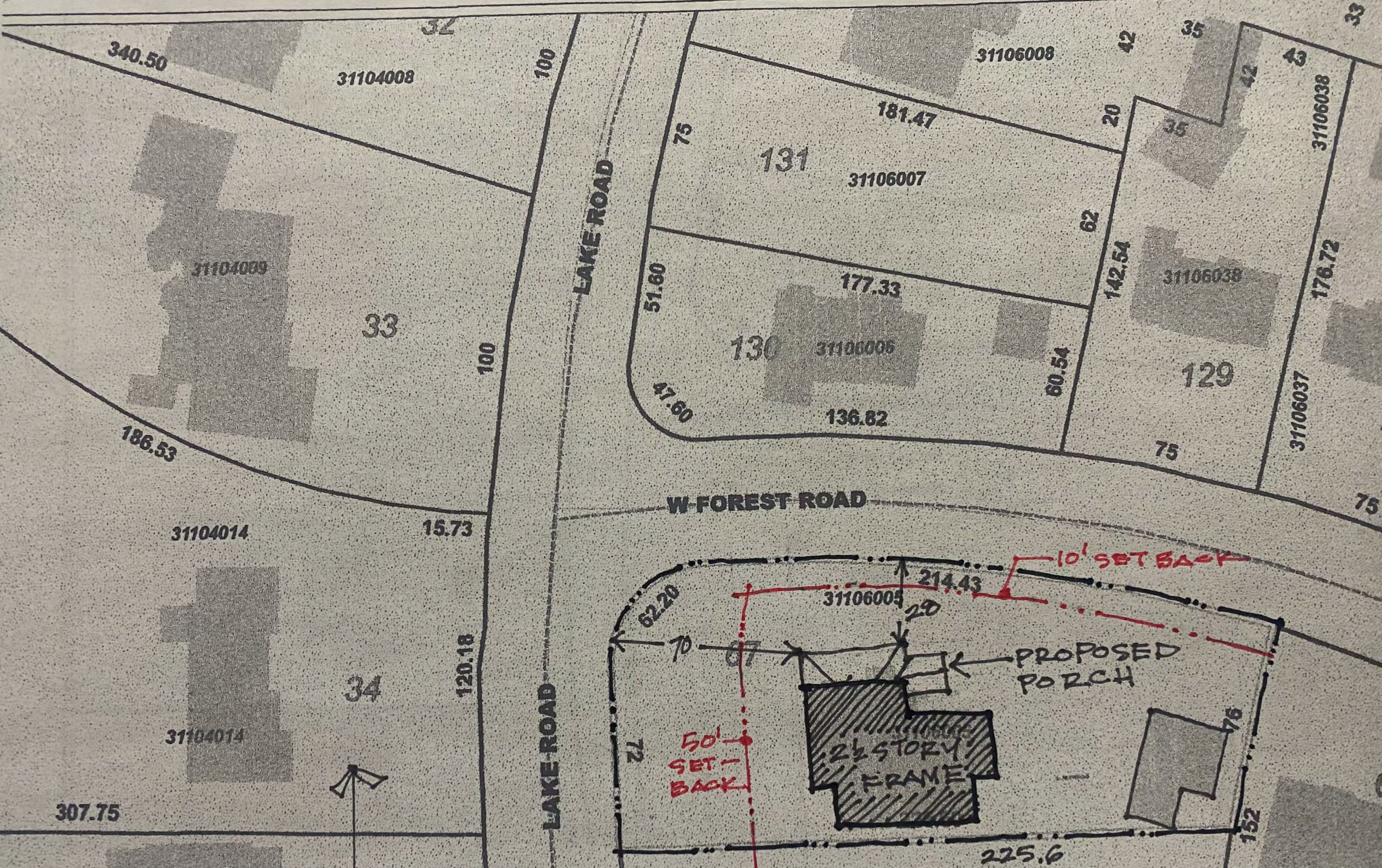
ARCHITECTURAL BOARD OF REVIEW
PORCH A-1













**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 04-24-24

Permit No.: BBS24-000020

Applicant Name: Lizandra Gonzalez

Project Address: 15501 Madison Ave.

Project Name: Vital Pilates & Wellness Bar

Project: Applicant proposes exterior alterations to an existing building.

OHIO COMMERCIAL LEASE TO PURCHASE AGREEMENT

1. **THE PARTIES.** This Commercial Lease Agreement (“Agreement”) made on February 15, 2024, by and between Debbie and Brian Toth (“Landlord”) who agree to lease the Premises (“Premises”) to Vital Pilates LLC, Lizandra Gonzalez (“Tenant”), who agree to Lease the Premises under the following conditions included in this Agreement. Together, the Landlord and Tenant are sometimes hereinafter collectively referred to as the (“Parties”).

1. **DESCRIPTION OF LEASED PREMISES.** Landlord agrees to lease to Tenant the real property, Premises, located at 15501 Madison Ave. Lakewood, Ohio 44107; P.P.N. # 314-14-110 ; approximately 0.27 acres containing a 1,950 square feet building.

1. **USE OF LEASED PREMISES.** Tenant may occupy and use the Premises during the Term for the sole purposes of operating Tenant’s business. Tenant shall operate a Pilates Studio, offering Reformer classes along with the sales of fresh pressed juices and merchandise. Tenant shall make Landlord aware of all operations and uses of the Premises but shall remain free to operate and use the Premises as Tenant deems necessary to operate their pilates business. Tenant is prohibited from subleasing or operating any other business than as described above.

1. **TERM OF LEASE.** The lease term (“Term”) shall be for a period of thirteen (13) months commencing on April 1, 2024, and expiring on April 30, 2025. The tenant has an option to extend the term of this lease period an additional nine (9) years with the approval of the Landlord.

1. **RENT.** Tenant shall pay monthly installments of Three Thousand Dollars (\$3,000) payable on the 1st day of each month of the Term in the manner and place to be communicated by Landlord.

1. **TAXES, MAINTENANCE, REPAIR, INSURANCE.** During the Lease Term, Tenant shall be responsible for all utilities, maintenance, repair, landscaping, snow removal, trash removal, insurance during the Lease Term.

1. **ALTERATIONS.** Tenant intends to renovate the Premises before occupying and agrees to take responsibility for and bear the cost of any needed environmental remediation that is required by any governmental entity as a result of or in preparation for renovations to be made. The planned improvements shall not be limited to, but include the following:
 - Removal and replacement of the existing concrete slab on grade.
 - Removal of existing interior masonry wall and installation of new structural columns and beams.
 - Demolition of interior walls and restrooms.
 - New construction of metal studs and drywall to accommodate new floor plan and ADA compliant restrooms.
 - Replacement of new overhead garage doors.
 - New underground sanitary plumbing and new water lines.
 - New Roof Mounted Packaged HVAC unit.
 - New electrical lighting, circuitry, switching, receptacles, and exiting lighting.

- Demolition and repaving of the parking lot.
 - Alterations to the exterior façade.
1. **ACKNOWLEDGEMENTS.** The Parties are executing this Agreement voluntarily and without duress or undue influence and have carefully read this Agreement and have had the opportunity to ask any questions needed to understand its terms, consequences, and binding effect and fully understand them and have been given and executed copy.
 1. **AMENDMENT.** This Agreement contains the entire agreement between the Parties and there are no other promises, conditions, understandings, or other agreements, whether oral or written, relating to the subject matter of this Agreement. This Agreement may be modified or amended in writing, signed by both Parties.
 1. **SEVERABILITY.** If any portion of this Agreement shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Agreement is invalid or unenforceable, but that by limiting such provision, it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.
 1. **BINDING EFFECT.** The provisions of this Agreement shall be binding upon and inure to the benefit of both Parties and their respective legal representatives, successors and assigns.

[Signature page to follow]

This Agreement is executed to be effective as of the 15th day of February 2024.

Landlord:

Brian & Debbie Toth

Brian & Debbie Toth

Date

2/5/2024

Tenant:



Vital Pilates LLC

By: Lizandra Gonzalez

Date

2/5/2024

Signature Certificate

Reference number: RN9P9-4BVYW-QARGN-WRSVN

Signer	Timestamp	Signature
Lizandra Gonzalez Email: liz@vitalpilatesstudio.com Sent: 15 Feb 2024 20:22:15 UTC Viewed: 15 Feb 2024 20:25:19 UTC Signed: 15 Feb 2024 20:26:16 UTC		
Recipient Verification: ✓ Email verified	15 Feb 2024 20:25:19 UTC	IP address: 172.59.25.112 Location: Cleveland, United States

Brian & Debbie Toth Email: dbbtth@yahoo.com Sent: 15 Feb 2024 20:22:15 UTC Viewed: 22 Feb 2024 02:09:17 UTC Signed: 22 Feb 2024 02:11:24 UTC		
Recipient Verification: ✓ Email verified	22 Feb 2024 02:09:17 UTC	IP address: 104.28.78.113 Location: Cleveland, United States

Document completed by all parties on:
22 Feb 2024 02:11:24 UTC

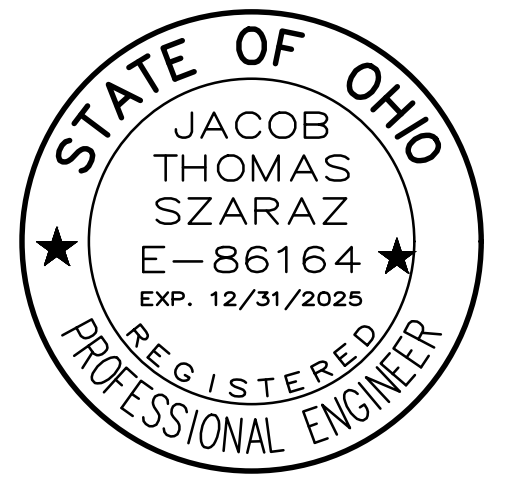
Page 1 of 1



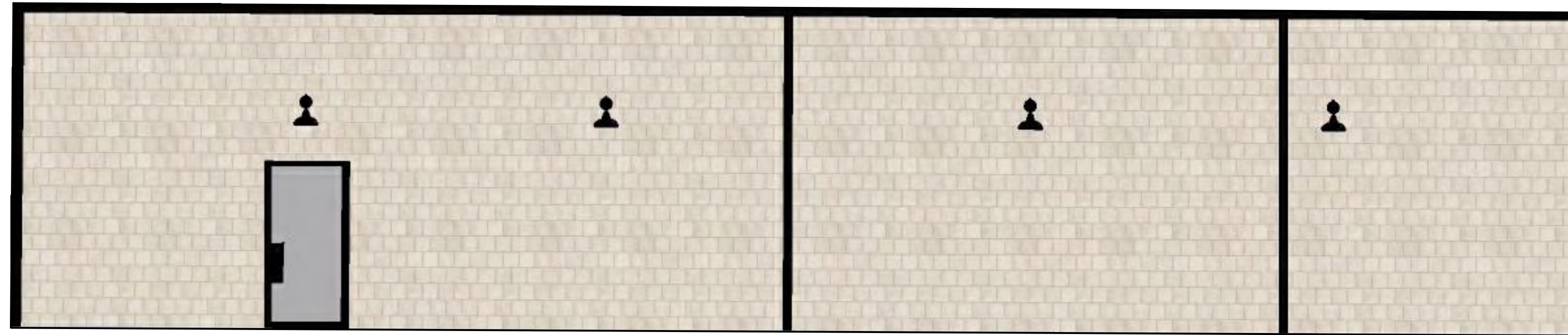
Signed with PandaDoc

PandaDoc is a document workflow and certified eSignature solution trusted by 50,000+ companies worldwide.

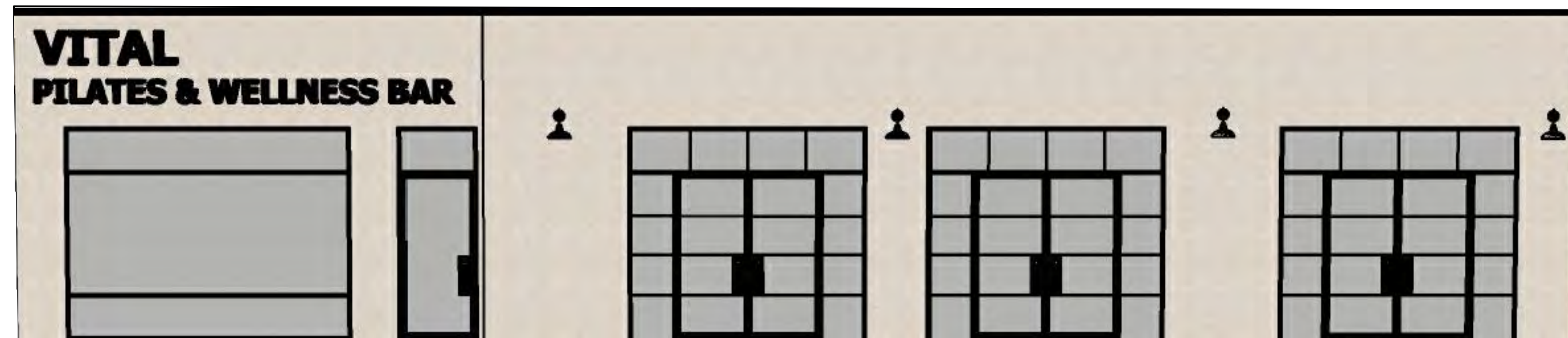




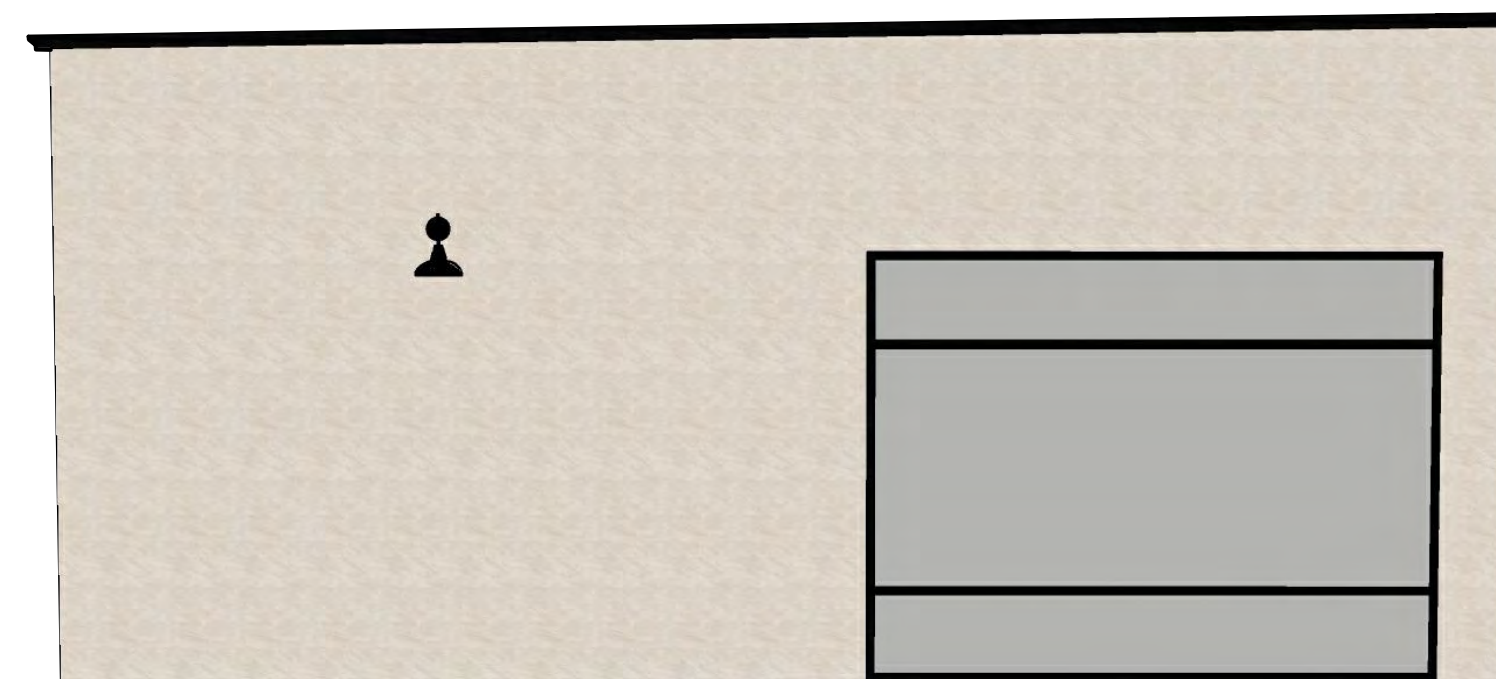
VITAL PILATES & WELLNESS BAR
 15501 MADISON AVE
 LAKEWOOD, OHIO 44107



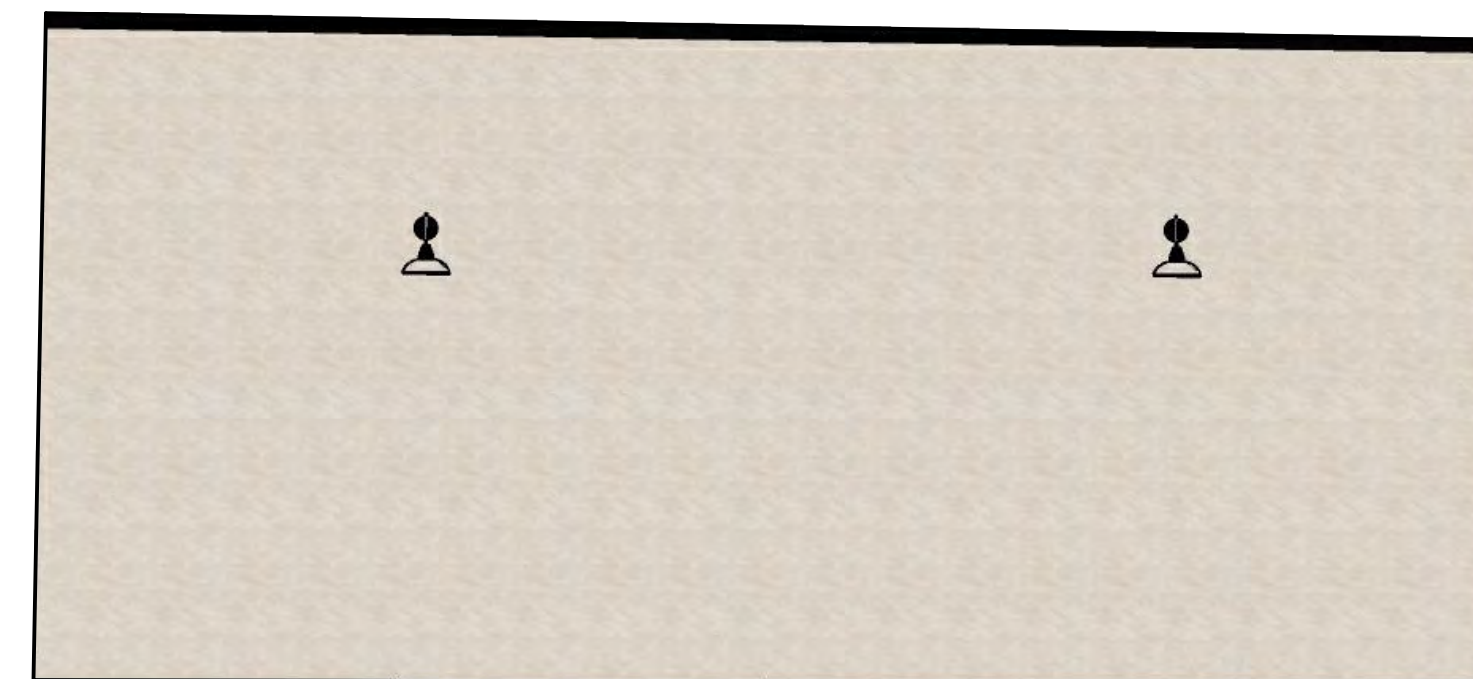
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 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"



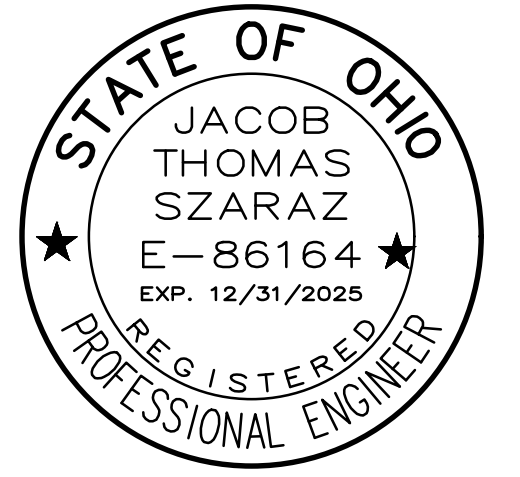
EAST ELEVATION
 1/4" = 1'-0"

No.	Description	Date
	Permit Set	3-5-24

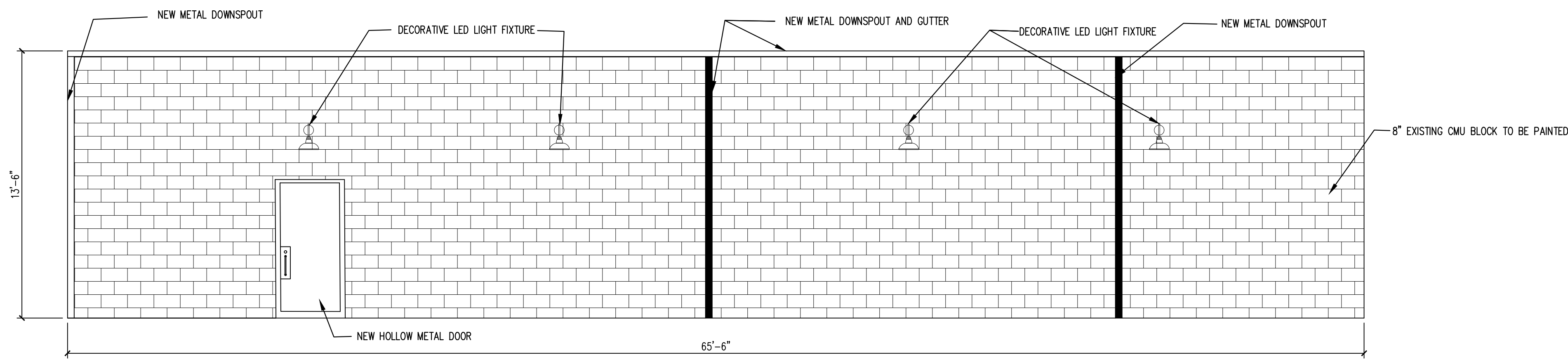
Project No.: 202403
 Drawn By: JS
 Scale: AS NOTED

Sheet Name:
 COLORED ELEVATIONS

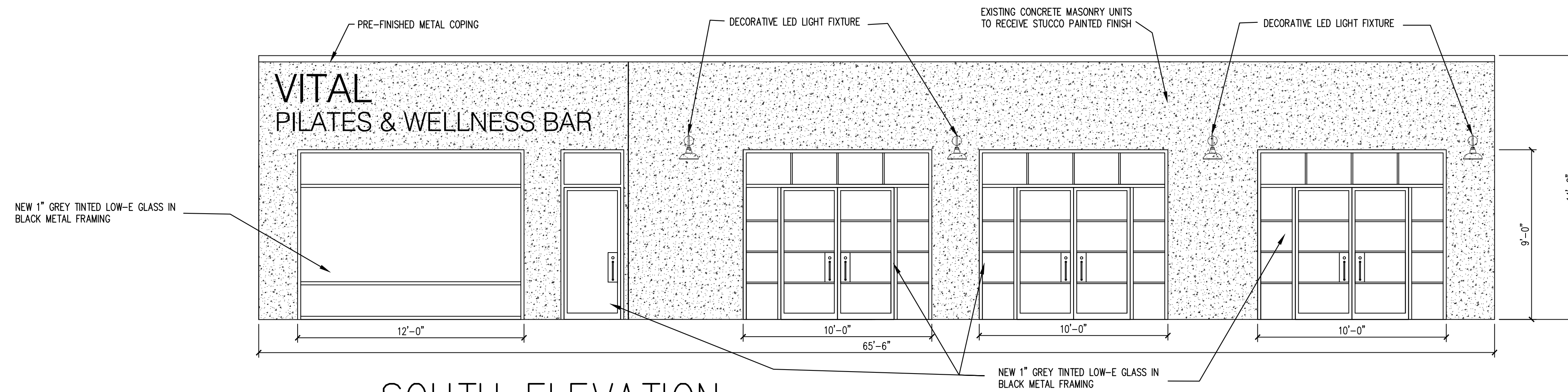
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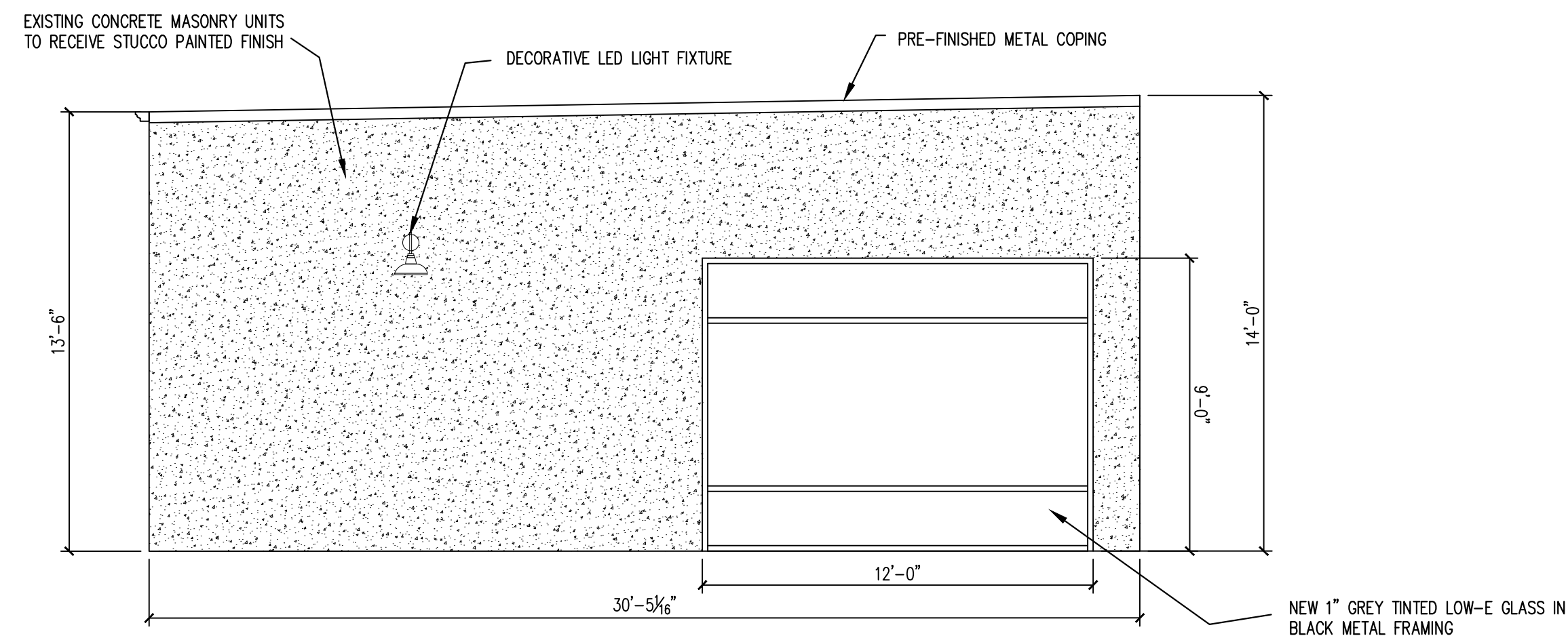
VITAL PILATES & WELLNESS BAR
 15501 MADISON AVE
 LAKEWOOD, OHIO 44107



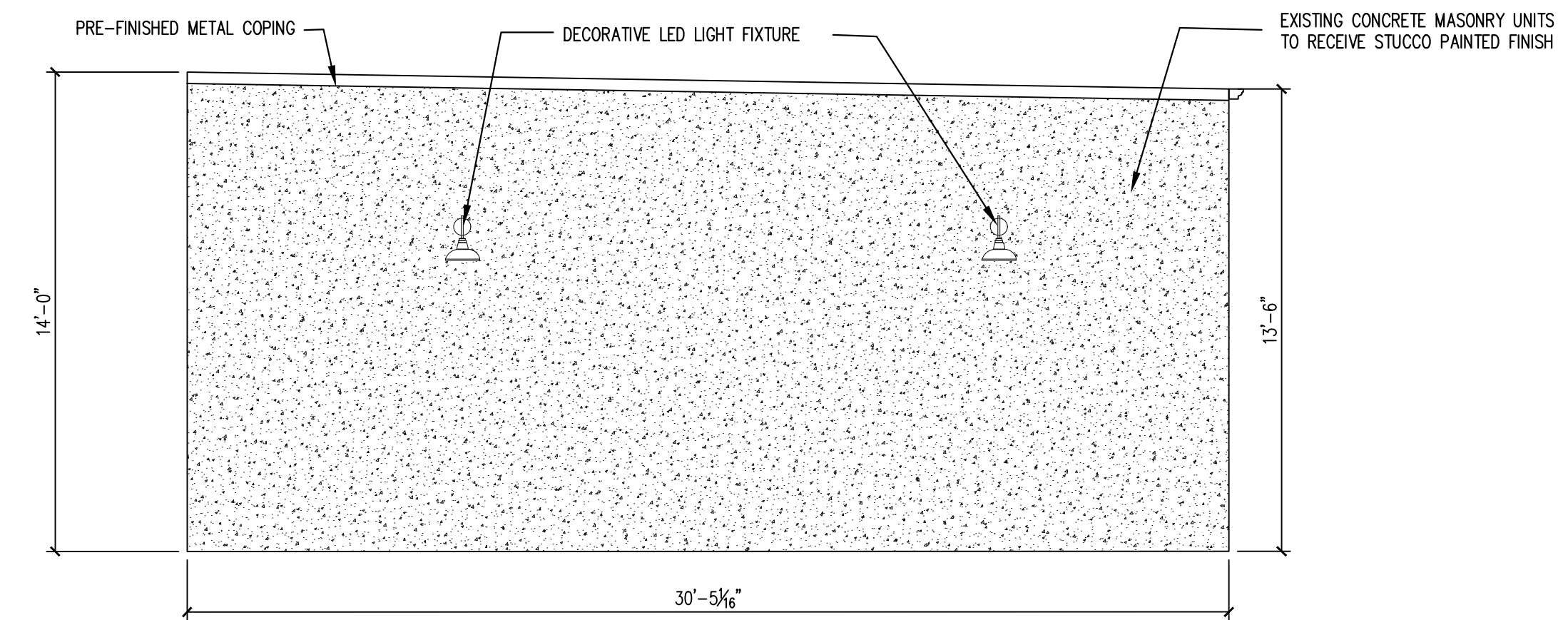
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 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"



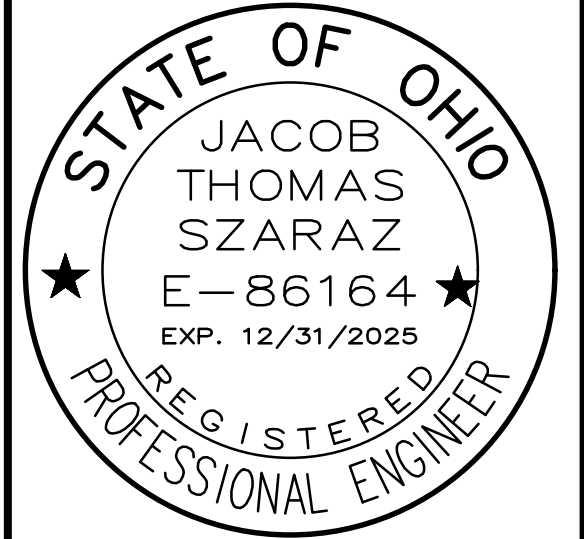
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 1/4" = 1'-0"

Sheet Name:

ELEVATIONS

Sheet Number:

A2.01



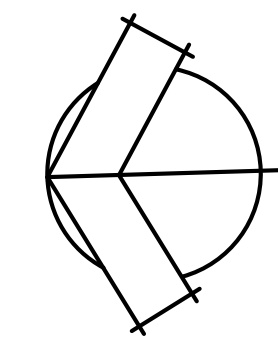
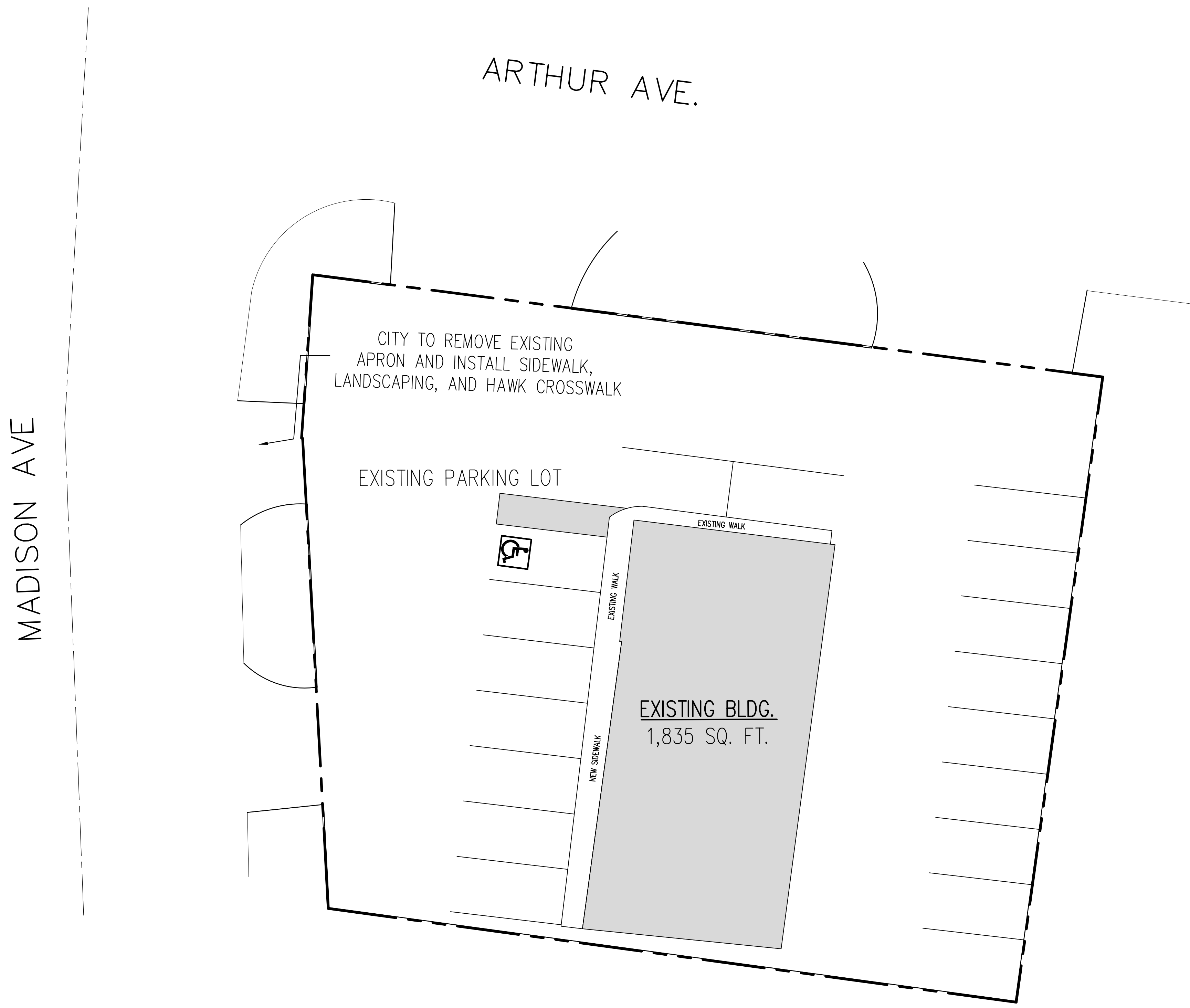
VITAL PILATES & WELLNESS BAR
15501 MADISON AVE.
LAKEWOOD, OHIO 44107

Sheet Name:

EXISTING SITE PLAN

Sheet Number:

SP1.01

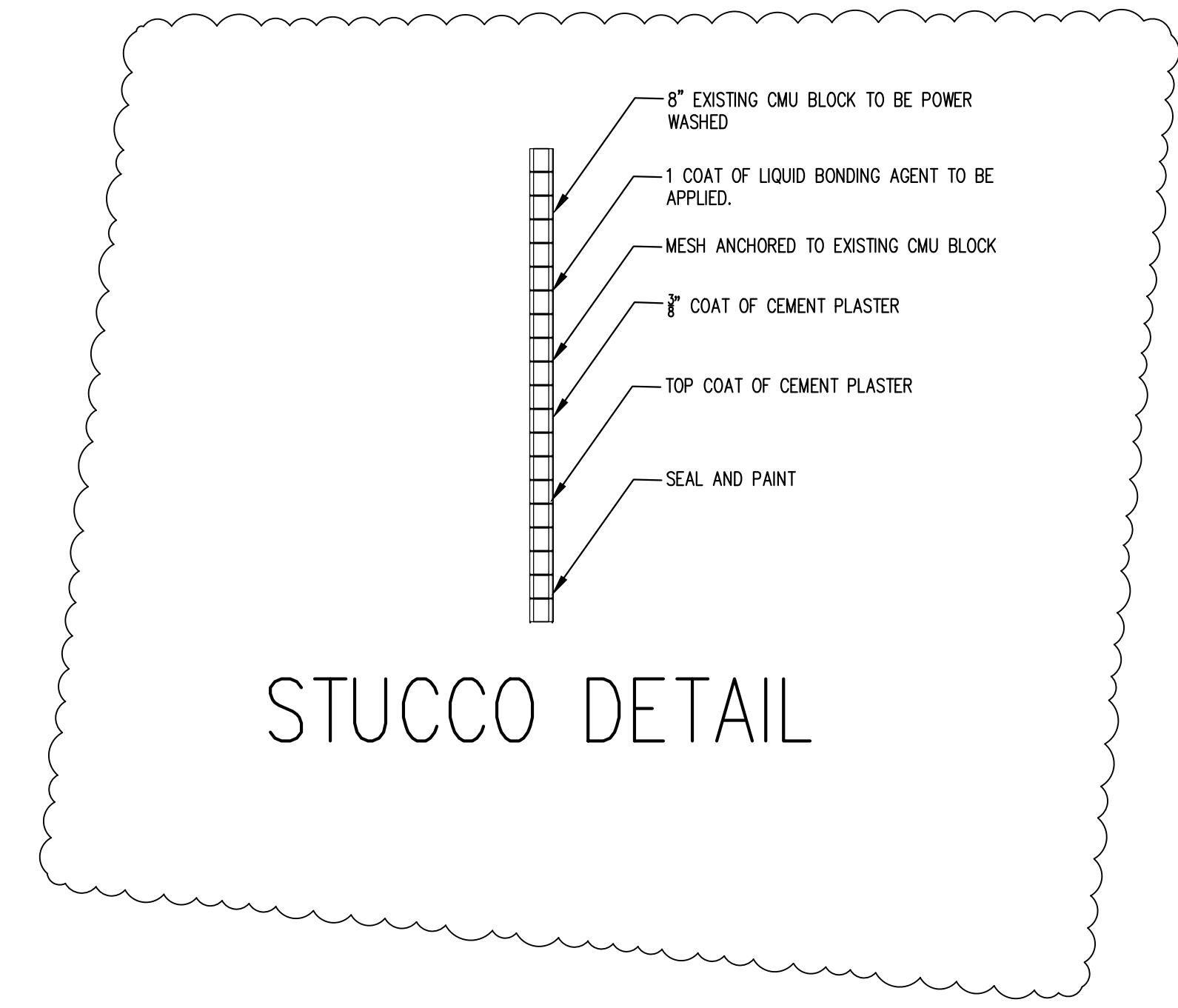
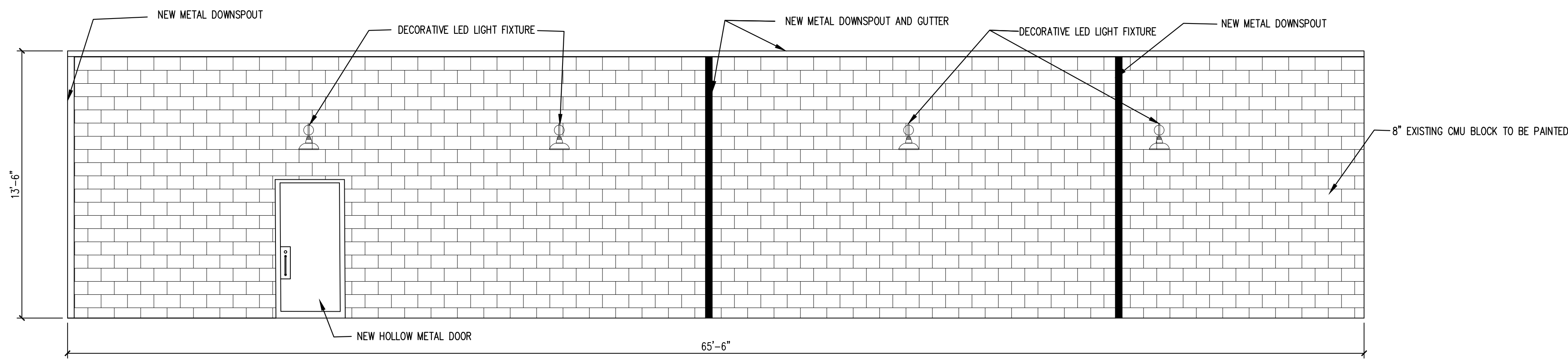


ARCHITECTURAL SITE PLAN

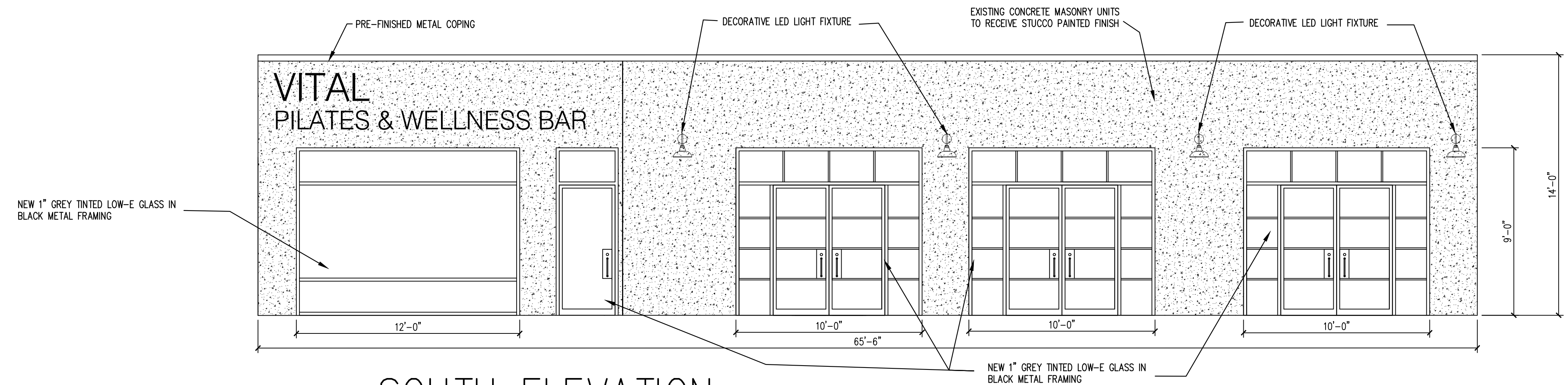
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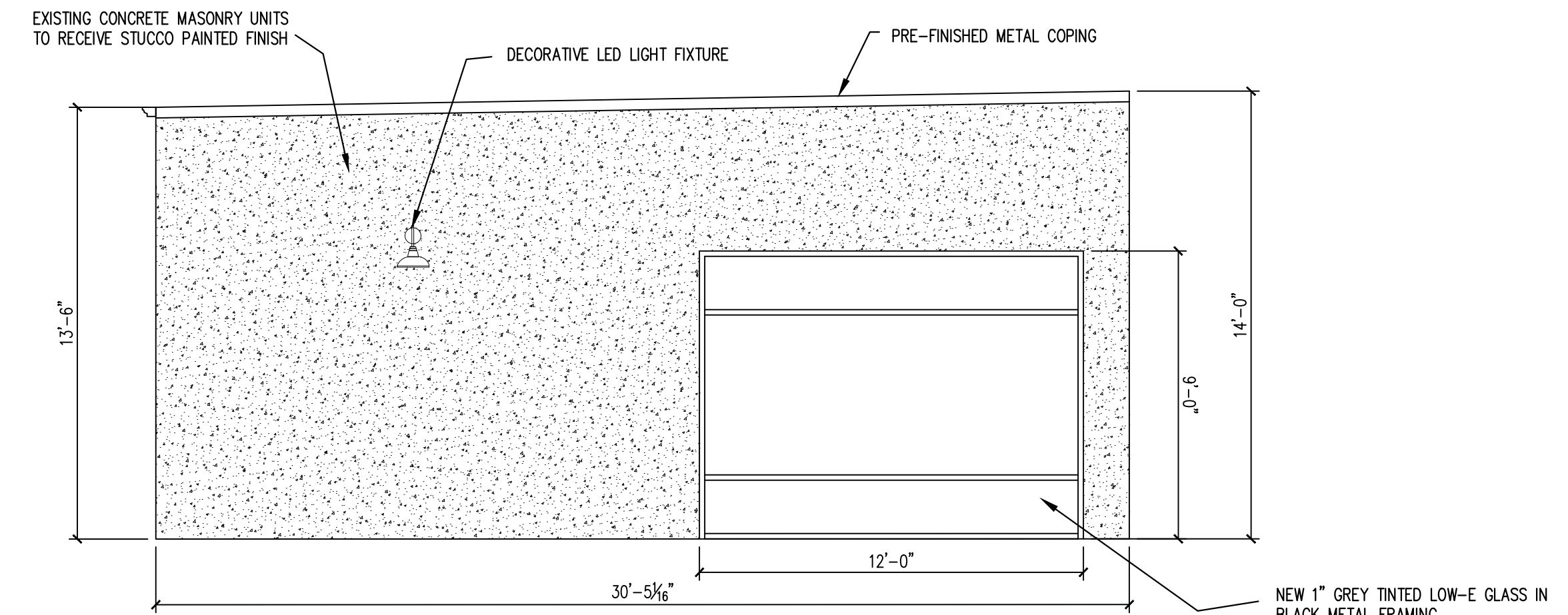
VITAL PILATES & WELLNESS BAR
 15501 MADISON AVE
 LAKEWOOD, OHIO 44107



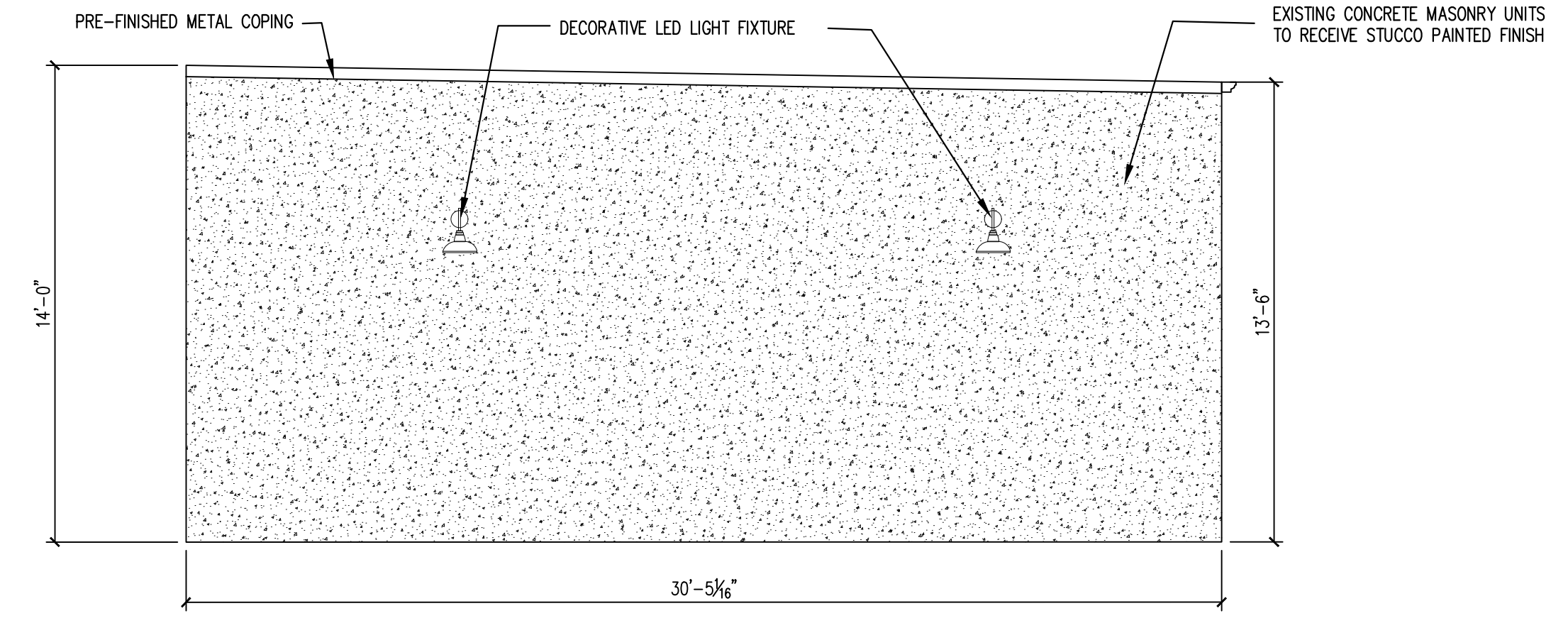
NORTH ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"



EAST ELEVATION
 1/4" = 1'-0"

Sheet Name:
 ELEVATIONS

Sheet Number:
 A2.01

GT BROTHERS AUTOMOTIVE

OPEN





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-25-24

Permit No.: BBS24-000023

Applicant Name: David J. Maniet AIA, Maniet Architects

Project Address: 14414 Detroit Ave.

Project Name: The Marlowe Building

Project: Applicant proposes renovation of a commercial building.



David Maniet <djmoneit@gmail.com>

Authorized Agent for ABR

Jim Miketo <jim@forestcityshuffle.com>
To: David Maniet <davidjmaniet@gmail.com>

Wed, Feb 28, 2024 at 2:17 PM

David,

Please use this email as approval for you to act as my authorized agent for [14414 Detroit Ave.](#)

Thanks
Jim

--
Jim Miketo
Forest City Shuffleboard Arena and Bar
(440) 666-5836
www.forestcityshuffle.com



Detroit Facade



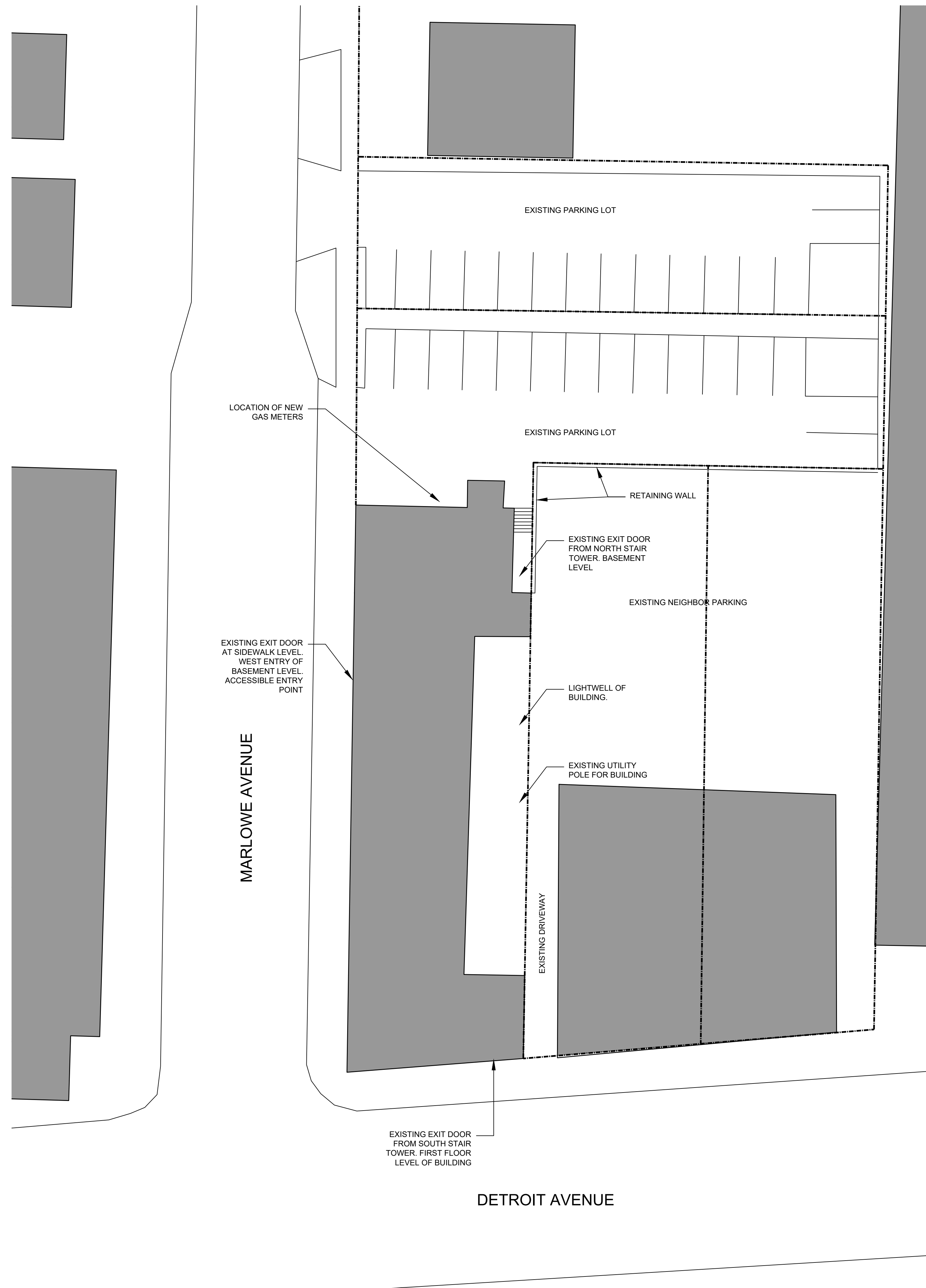
Detroit Facade Entry



Marlowe Elevation



Existing Accessible Roof



Site Plan
 $\frac{1}{8}'' = 1'-0''$

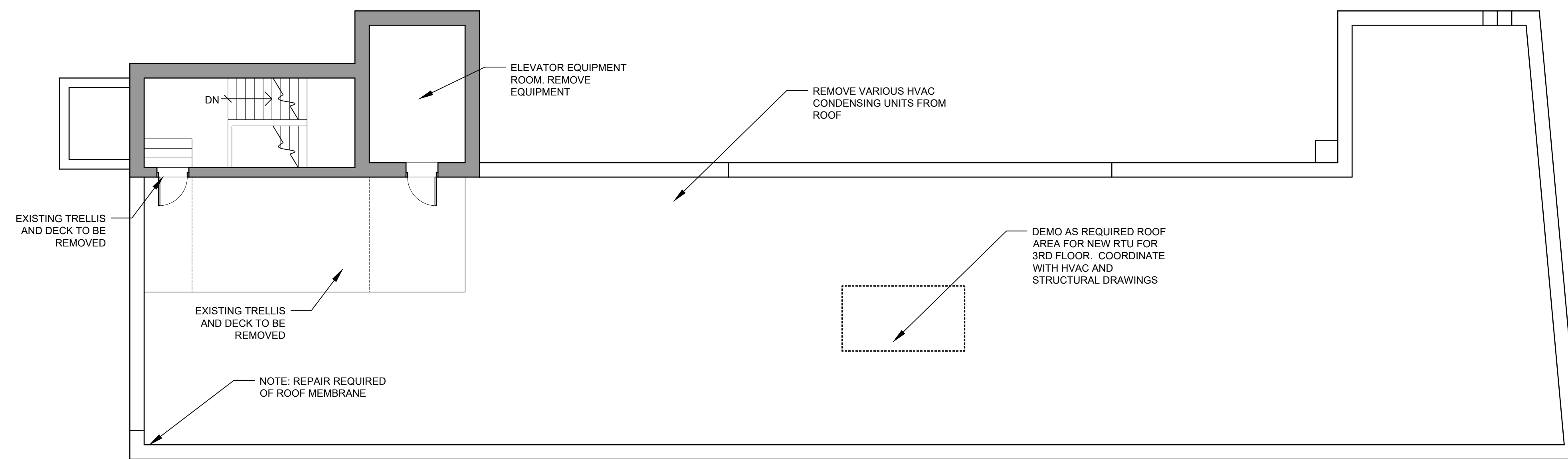
SITE PLAN NOTES:
 PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY AND CUYAHOGA COUNTY GIS DATA.
 NO CHANGES TO BUILDING FOOTPRINT. SITE PLAN FOR INFORMATIONAL PURPOSES ONLY



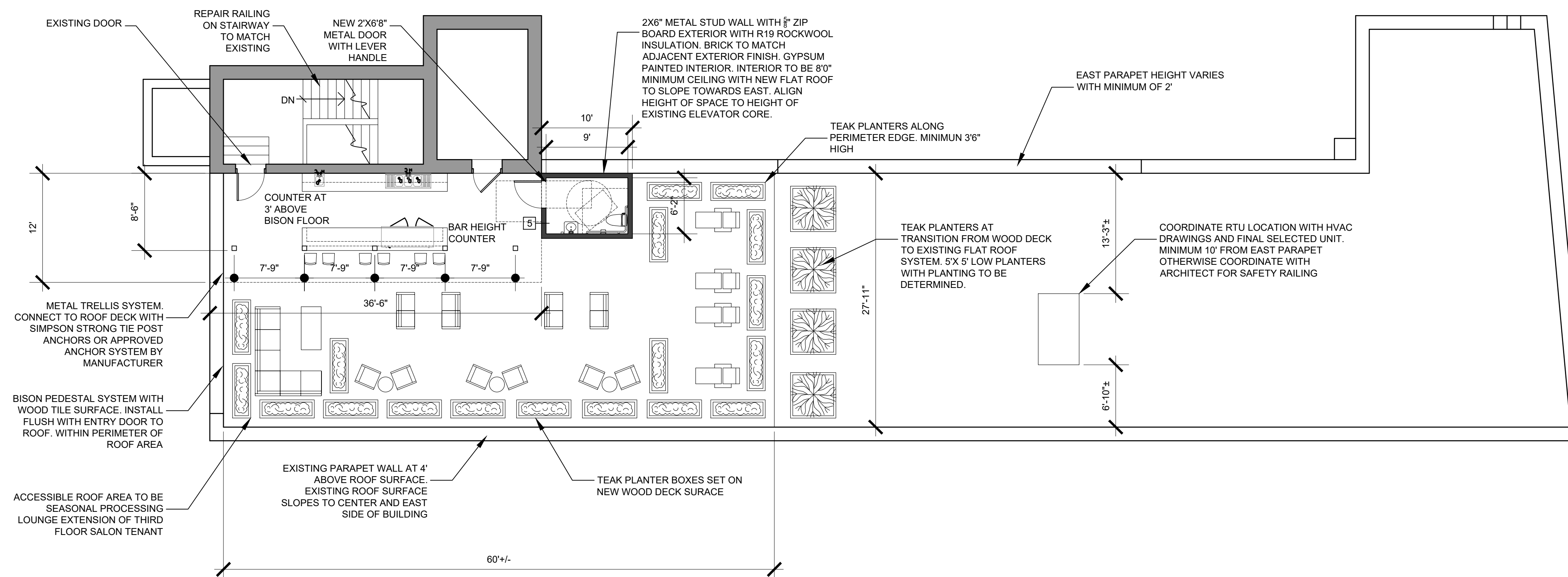
4 1 2 . 7 2 0 . 0 4 2 4
 DavidJManiet@gmail.com

Name / Project Address
 The Marlowe Building
 14414 Detroit Avenue
 Lakewood, Ohio 44107

Issue for Permit	Sheet
Date	R1
2/29/2024	
Drawn By	DJM



Existing Roof Floor Plan
 $\frac{1}{8}'' = 1'-0''$



Proposed Roof Floor Plan
 $\frac{1}{8}'' = 1'-0''$

WALL TYPES

- 1 EXISTING EXTERIOR MULTI-WYTHE BRICK MASONRY WITH PLASTER FINISH
- 2 EXISTING INTERIOR CMU PARTITION
- 3 EXISTING FRAMED PARTITION WALL
- 4 NEW 1 $\frac{5}{8}''$ X 3 $\frac{5}{8}''$ METAL STUD WALL WITH $\frac{1}{2}''$ TYPE X GYPSUM BOARD FINISH WITH ROCKWOOL SAFE N SOUNDS BATT INSULATION BETWEEN STUDS - UL U419
- 5 NEW 1 $\frac{5}{8}''$ X 6" METAL STUD WALL WITH $\frac{1}{2}''$ TYPE X GYPSUM BOARD FINISH WITH ROCKWOOL SAFE N SOUNDS BATT INSULATION BETWEEN STUDS

- USE GREEN BOARD GYPSUM IN BATHROOMS AND AT KITCHENETTE AREA.
 - ALL WALLS RUN FLOOR TO UNDERSIDE OF CONCRETE SLAB AND BEAMS UNLESS OTHERWISE NOTED

WALL LEGEND

- DEMOLITION
- █ EXISTING WALL
- █ NEW WALL



4 1 2 . 7 2 0 . 0 4 2 4
 DavidJManiet@gmail.com

Name / Project Address
 The Marlowe Building
 14414 Detroit Avenue
 Lakewood, Ohio 44107

Issue for Permit	Sheet
Date 2/29/2024	R2
Drawn By DJM	



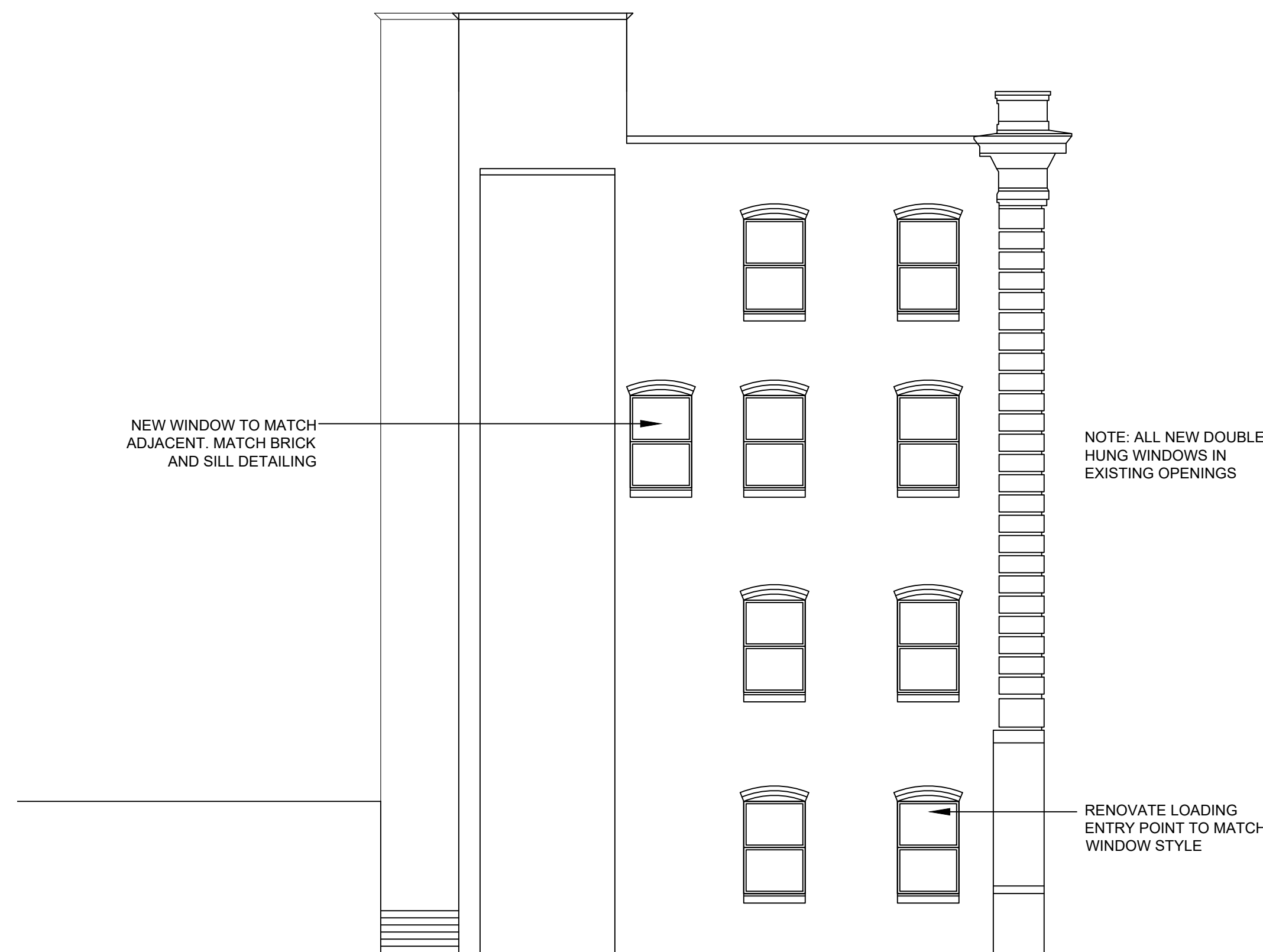
Existing North Elevation

1/8" = 1'-0"



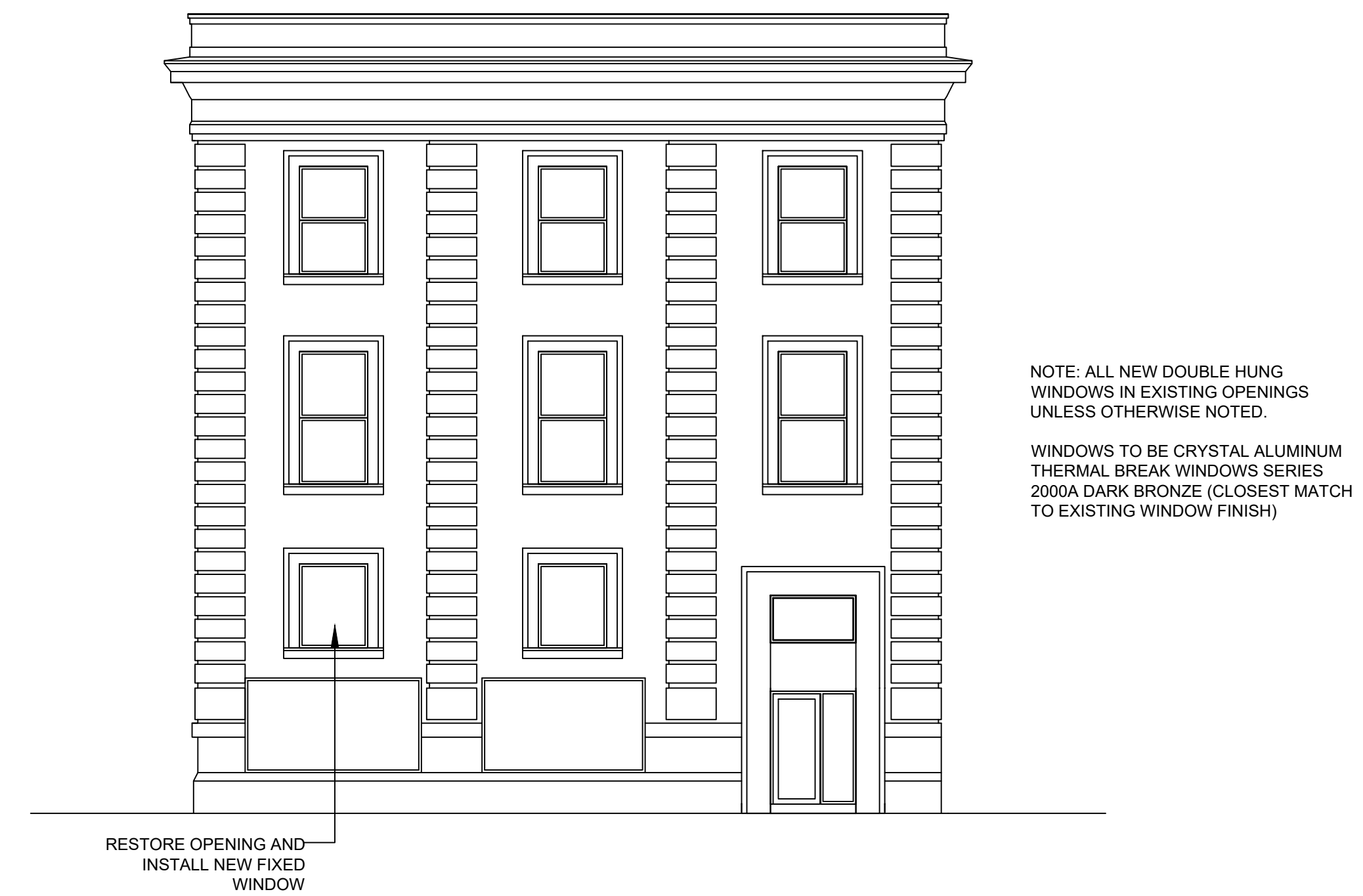
Existing South Elevation (Detroit)

1/8" = 1'-0"



Proposed North Elevation

1/8" = 1'-0"



Proposed South Elevation (Detroit)

1/8" = 1'-0"



4 1 2 . 7 2 0 . 0 4 2 4
DavidJManiet@gmail.com

Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue for Permit	Sheet
Date	R3
2/29/2024	
Drawn By	DJM



Existing Marlowe Avenue Elevation

1/8" = 1'-0"



Proposed Marlowe Avenue Elevation

1/8" = 1'-0"



4 1 2 . 7 2 0 . 0 4 2 4
DavidJManiet@gmail.com

Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue for Permit	Sheet
Date 2/29/2024	R4
Drawn By DJM	

Series 2000A



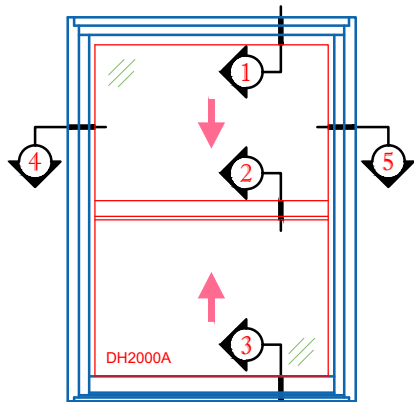
Features

- **Frame Depth = 3 1/4"**
- **Insulated Glass Unit Depth = 7/8"**
- **Tilt Sashes**
 - *Safe, easy cleaning of both top & bottom sashes*
- **Sloped Sill**
- **Anti-Drift Head Clip Lock**
 - *Automatically secures the top sash in the closed position for safety, security and a weather-tight seal*
- **AAMA 2604 Powder Coat Finish**
 - *The durable finish that's also environmentally friendly*

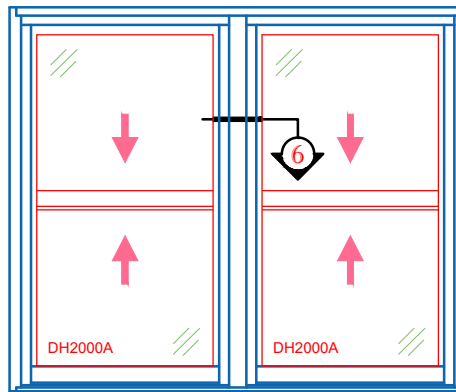
Options

- **Low-E Coating & Argon**
- **Between-the-Glass or Applied Grids**
- **Custom Colors & Finishes**
- **Nailing Fin**
 - *Designed for New Construction*
- **Casement Fin**
 - *Provides a fast, easy and neat replacement*
- **A/C Oriel Kit**
 - *Easily accommodates air conditioners in the same opening*
- **Continuous Head & Sill**
 - *Enhances aesthetics & simplifies installation*

PRODUCT SPECS	SERIES	STYLES	FRAME DEPTH	IG DEPTH	AAMA RATING	AIR (cfm/ft ²)	WATER (psf)	UNIFORM LOAD (psf)	WALL THICKNESS (frame/sill)
	2000A	Double Hung Tilt	3 1/4"	7/8"	H-C60 CW60	< 0.30	7	75	F - 0.062 S - 0.078

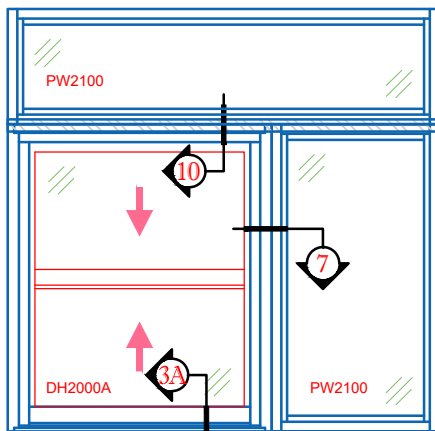
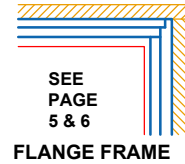
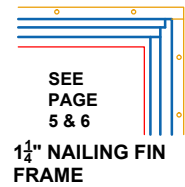


2000A DOUBLE HUNG

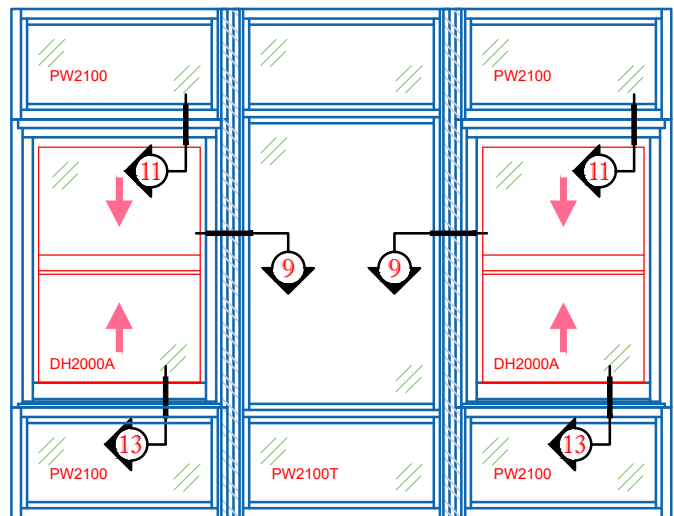


TWIN 2000A DOUBLE HUNG

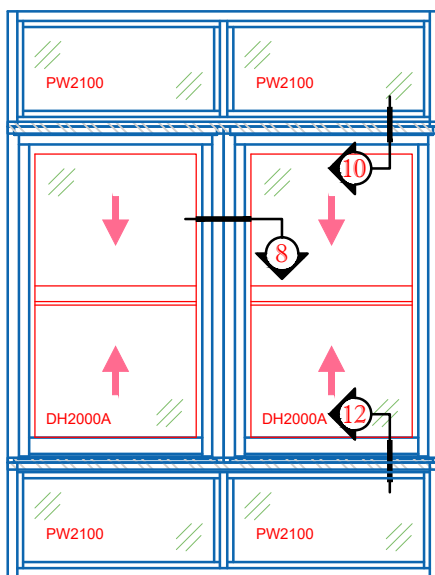
OPTIONAL FRAME



2000A DOUBLE HUNG & 2100 PW



2000A DOUBLE HUNG & 2100 PW W/ 3PC MULLION



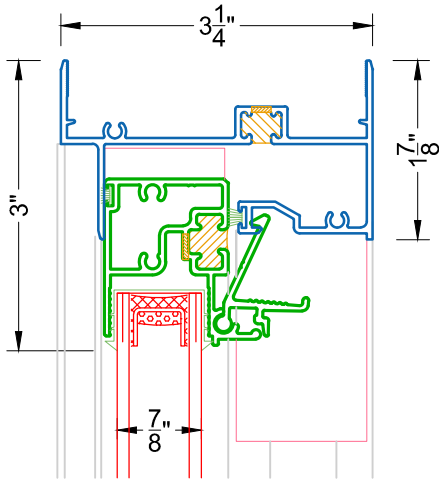
2000A DOUBLE HUNG & 2100 PW W/ STACK MULLION

FEATURES

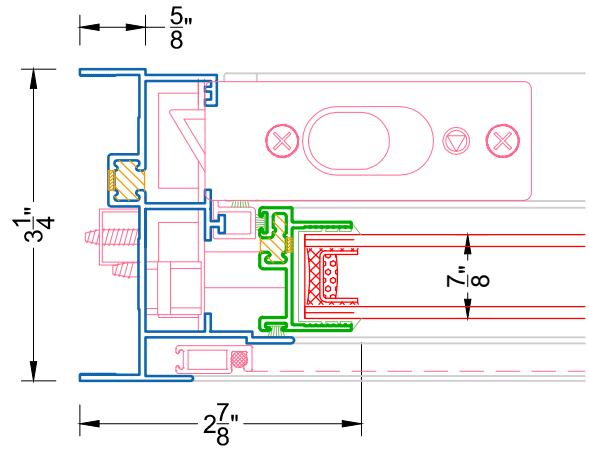
- 3 1/4" FRAME DEPTH
- 7/8" INSULATED GLASS
- TILT SASHES - MAKE CLEANING EASY
- ANTI-DRIFT HEAD CLIP LOCK
- SLOPED SILL
- AAMA RATING: H-C60 / CW-PG50

OPTIONAL

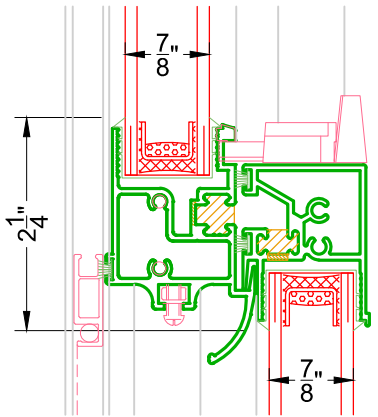
- LOW-E COATING & ARGON GAS
- FLANGE FRAME
- NAILING FIN FRAME
- CUSTOM COLORS & FINISHES
- BETWEEN THE GLASS OR EXTERIOR APPLIED GRID
- CONTINUOUS HEAD & SILL
- A/C ORIEL KIT



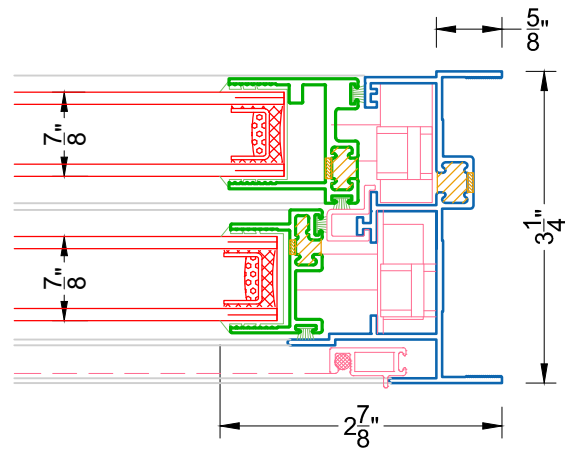
1 STANDARD HEAD
 DH 2000A



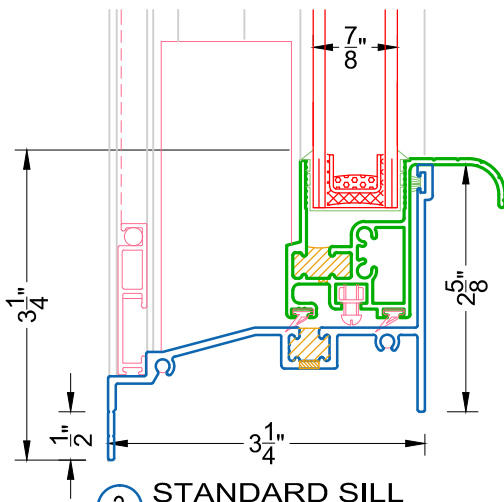
4 STANDARD JAMB
 DH 2000A



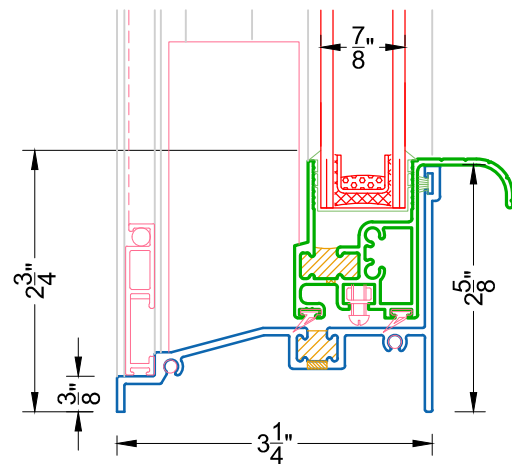
2 MEETING RAIL
 DH 2000A



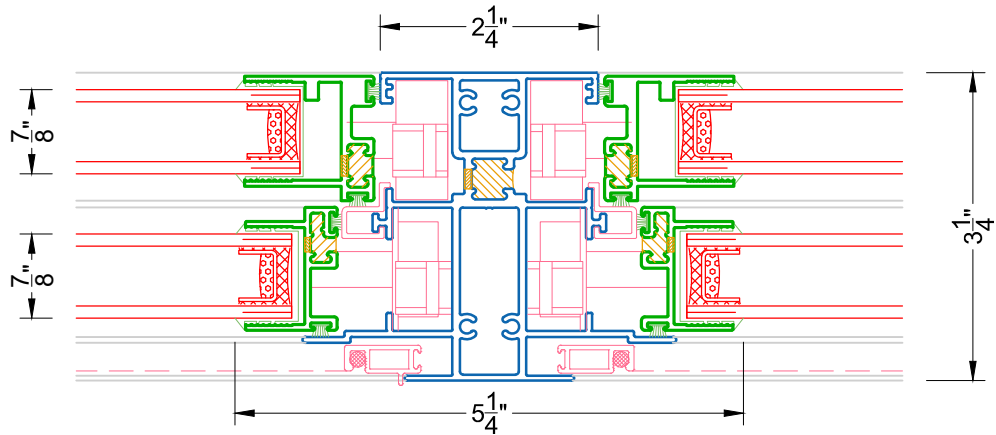
5 STANDARD JAMB
 DH 2000A



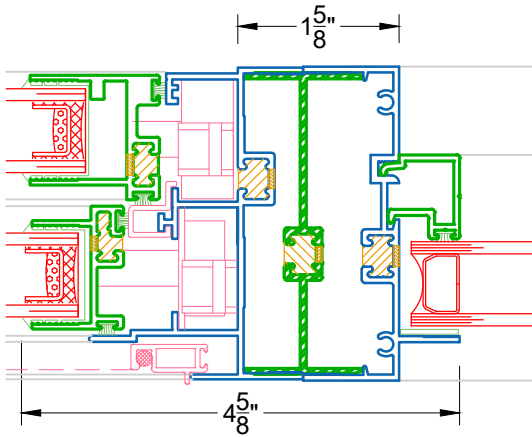
3 STANDARD SILL
 DH 2000A



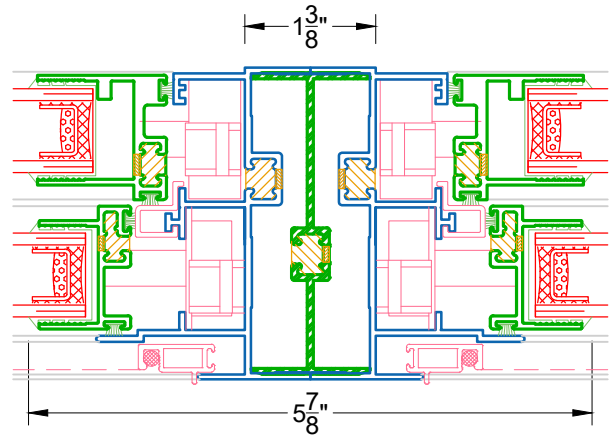
3A EQUAL LEG SILL
 DH 2000A



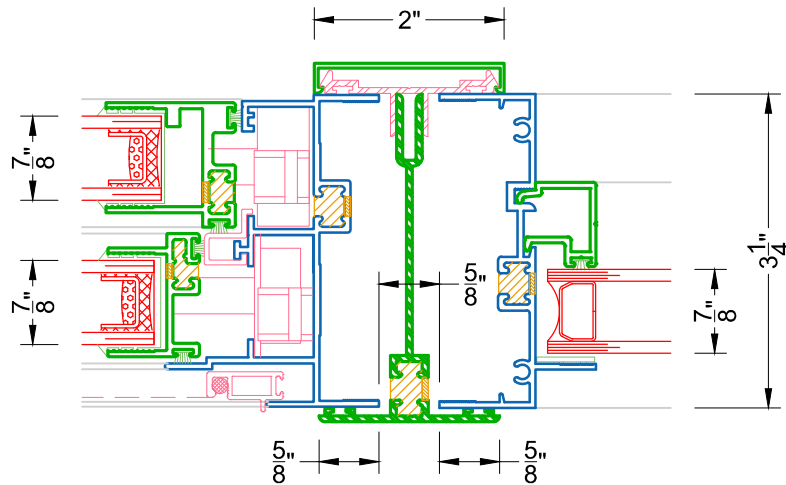
6 INTERMEDIATE JAMB
 DH 2000A



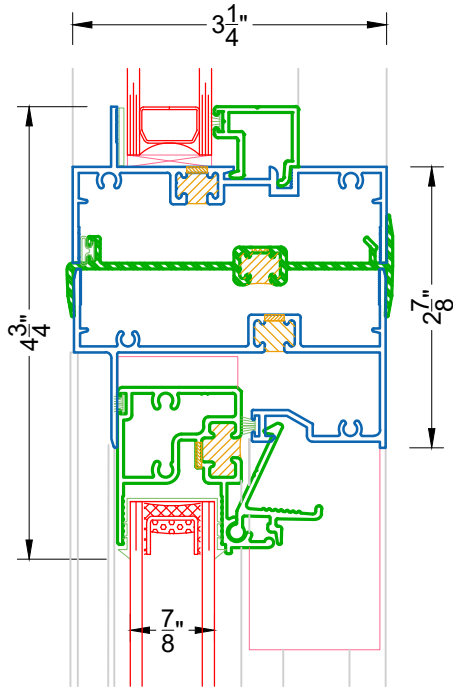
7 H MULLION
 DH 2000A & 2100 PW



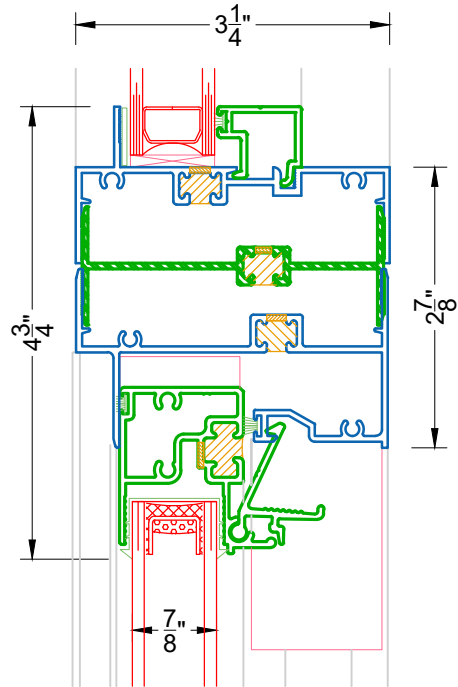
8 H MULLION
 DH 2000A & DH 2000A



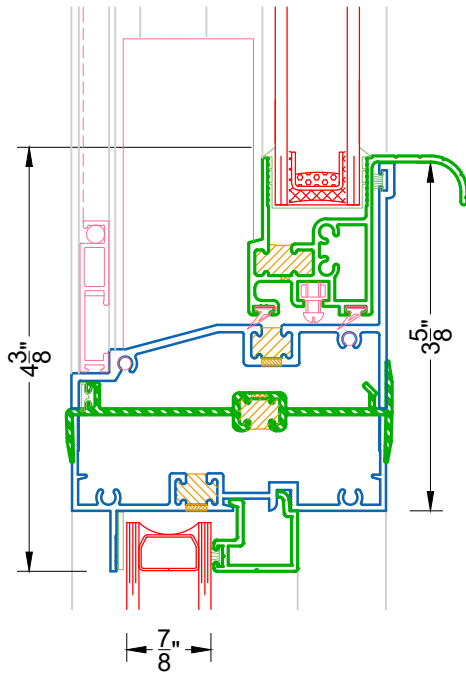
9 3 PC MULLION
 DH 2000A & 2100 PW



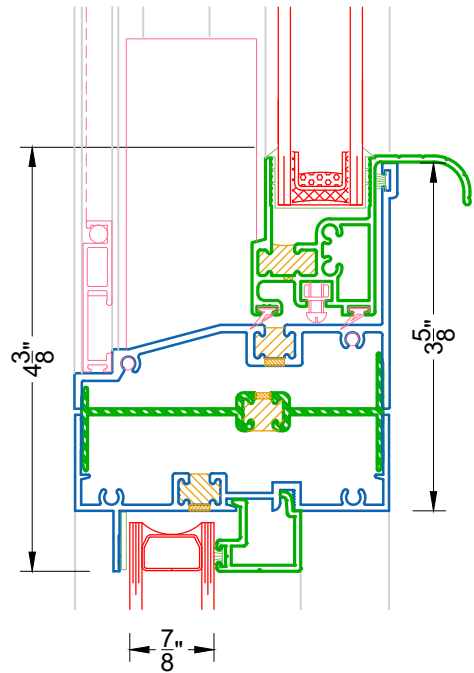
10 STACK MULLION
 2100 PW & DH 2000A



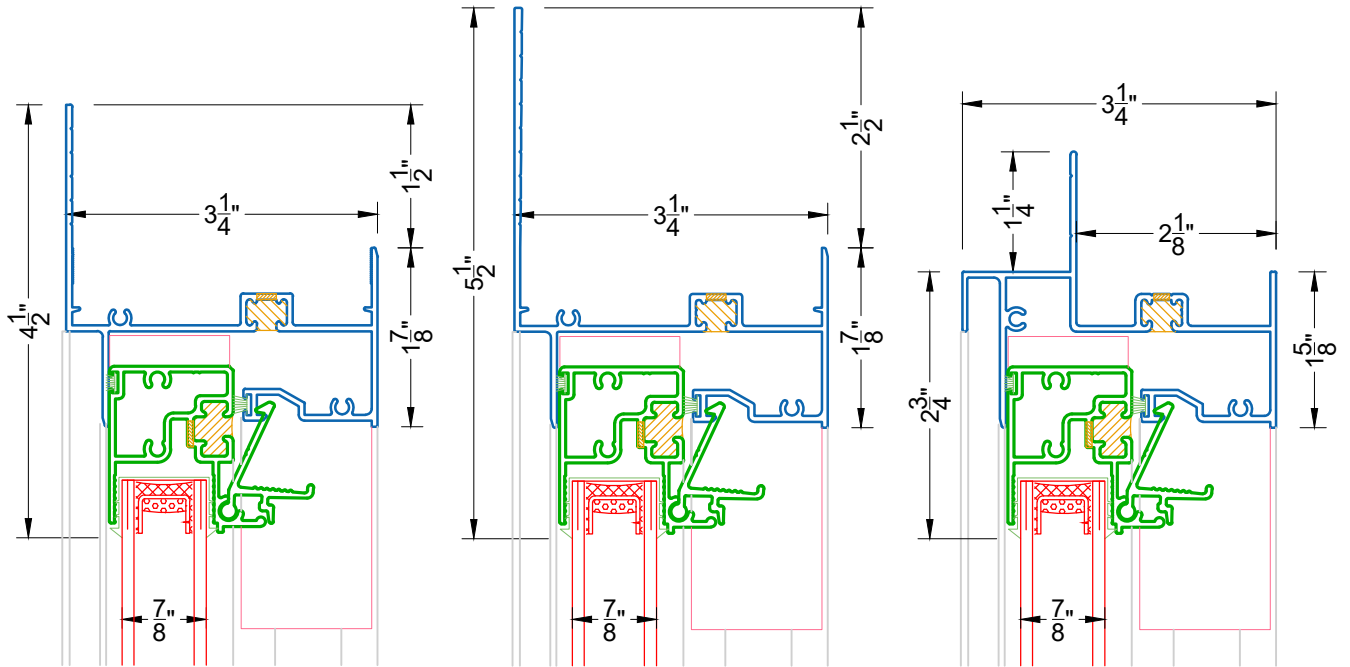
11 H MULLION
 2100 PW & DH 2000A



12 STACK MULLION
 DH 2000A & 2100 PW



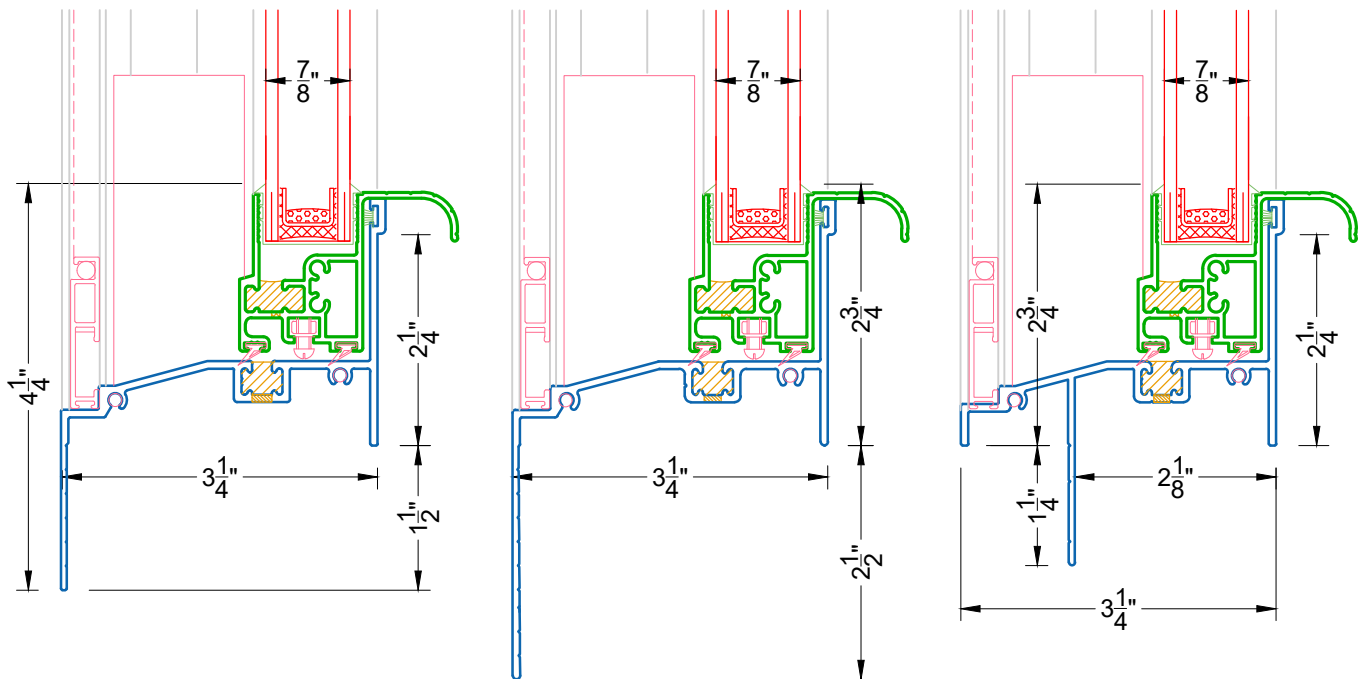
13 SHORT LEG H MULLION
 DH 2000A & 2100 PW



14 HEAD W/ 1 1/2" FLANGE
 DH 2000A

15 HEAD W/ 2 1/2" FLANGE
 DH 2000A

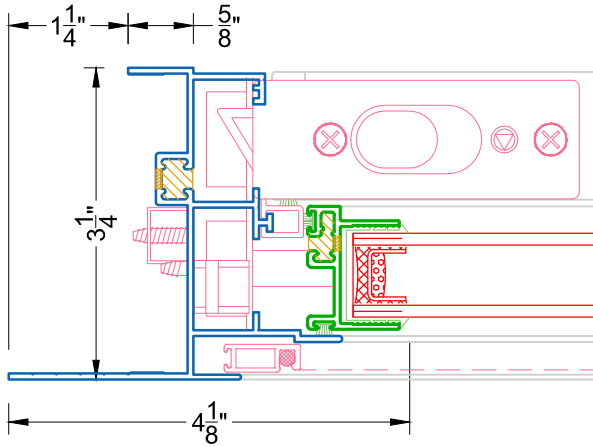
16 HEAD W/ NAILING FIN
 DH 2000A



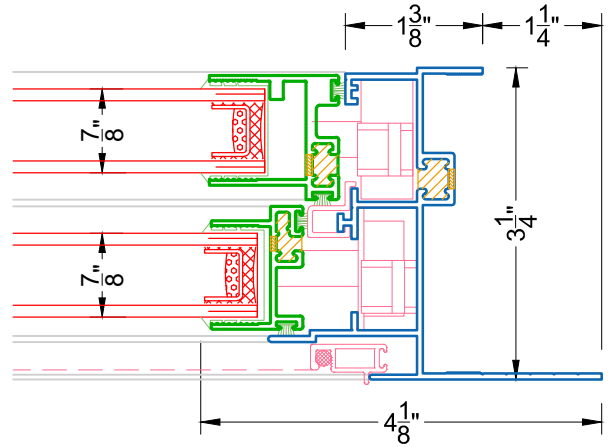
17 SILL W/ 1 1/2" FLANGE
 DH 2000A

18 SILL W/ 2 1/2" FLANGE
 DH 2000A

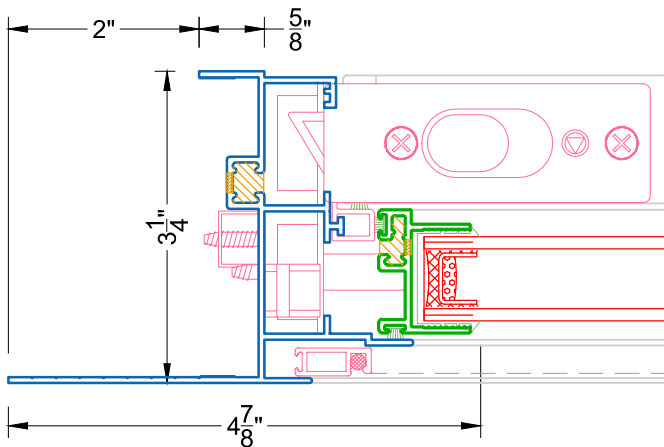
19 SILL W/ NAILING FIN
 DH 2000A



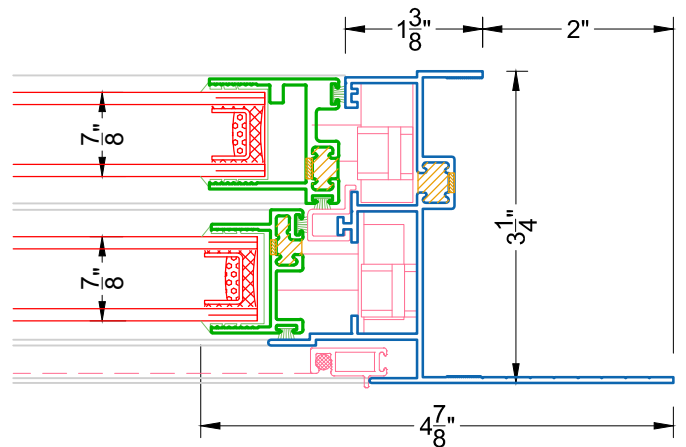
20 JAMB W/ 1 1/4" FLANGE
 DH 2000A



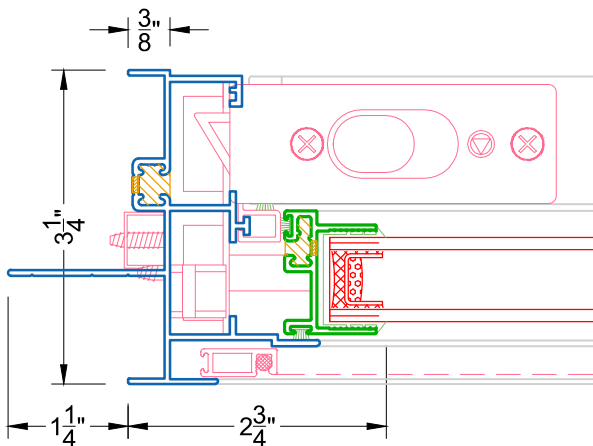
21 JAMB W/ 1 1/4" FLANGE
 DH 2000A



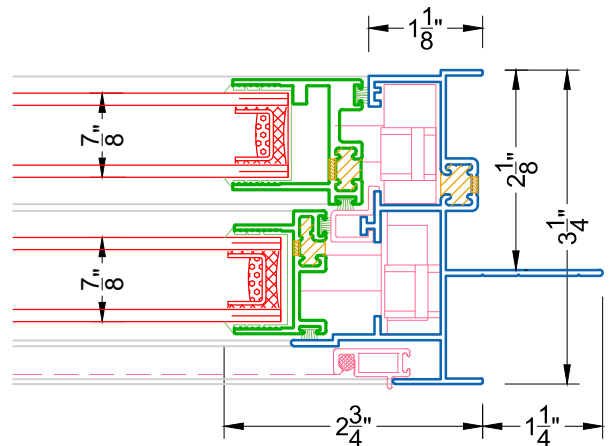
22 JAMB W/ 2" FLANGE
 DH 2000A



23 JAMB W/ 2" FLANGE
 DH 2000A



24 JAMB W/ NAILING FIN
 DH 2000A



25 JAMB W/ NAILING FIN
 DH 2000A



SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

SECTION 08 51 13 ALUMINUM WINDOWS

PART 1 - GENERAL

1.1 SCOPE OF WORK

- A. Furnish and install aluminum windows as shown in bid drawings and as per specifications stipulated in this section.
- B. Factory-installed glass & glazing

1.2 ITEMS FURNISHED BUT NOT INSTALLED *(Enter description and quantity of items such as extra sash, screens, glass units, hardware, etc. for attic stock)*

1.3 ITEMS INSTALLED BUT NOT FURNISHED *(Enter description and quantity of items such as air conditioners, louvers, duct work to be installed in locations as directed by Architect)*

1.4 RELATED SECTIONS

- A. Section 07 90 00 - Joint Protection.
- B. Section 08 41 00 - Entrances and Storefronts.
- C. Section 08 70 00 - Hardware.

1.5 REFERENCES

- A. AAMA - American Architectural Manufacturers Association:
 - 1. AAMA/WDMA/CSA 101/I.S.2/A440-08 "North American Fenestration Standard/Specification for Windows, Doors, and Skylights"
 - 2. AAMA/WDMA/CSA 101/I.S.2/A440-05 "Standard/Specification for Windows, Doors, and Unit Skylights"
 - 3. AAMA 502-08 - Voluntary Specification for Field Testing of Newly Installed Fenestration Products.
 - 4. AAMA 611-98 - Voluntary Specification for Anodized Architectural Aluminum
 - 5. AAMA 701/702-04 - Voluntary Specification for Pile Weatherstripping and Replaceable Fenestration Weatherseals.
 - 6. AAMA 800-07 - Voluntary Specifications and Test Methods for Sealants.
 - 7. AAMA 902-07 - Voluntary Specification for Sash Balances.
 - 8. AAMA 910-93 - Voluntary Life Cycle' Specifications and Test Methods for Architectural Grade Windows and Sliding Glass Doors.
 - 9. AAMA 1503-98 - Voluntary Test Method for Thermal Transmittance and Condensation Resistance of Windows, Doors, and Glazed Wall Sections.
 - 10. AAMA 2603-02 - Voluntary Specification, Performance Requirements and Test Procedures for Pigmented Organic Coatings on Aluminum Extrusions and Panels.
 - 11. AAMA 2604-05 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels.
 - 12. AAMA 2605-05 - Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.
- B. ASTM – American Society for Testing and Materials:
 - 1. ASTM E 283-04 - Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen.
 - 2. ASTM E 330-02 - Standard Test Method for Structural Performance of Exterior Windows,

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

3. Doors, Skylights, and Curtain Walls by Uniform Static Air Pressure Difference.
ASTM E 331-00 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.
 4. ASTM E 547-00 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Cyclic Static Air Pressure Differential..
 5. ASTM F 588; 1997 - Standard Test Methods for Measuring the Forced Entry Resistance of Window Assemblies, Excluding Glazing Impact
 6. ASTM E 2190-02 - Standard Specification for Insulating Glass Unit Performance and Evaluation.
- C. NFRC - National Fenestration Rating Council.
1. NFRC 100-04 - Procedure for Determining Fenestration Product U Factors.
 2. NFRC 102-04 - Procedure for Measuring the Steady-State Thermal Transmittance of Fenestration Systems.
 3. NFRC 500-04 - Procedure for Determining Fenestration Product Condensation Resistance Values.
- D. IGCC - Insulating Glass Certification Council.
- E. SGCC - Safety Glazing Certification Council.
1. Z97.1-04 American National Standard for Safety Glazing Materials used in Buildings - Safety Performance Specifications and Methods of Test.
 2. 16 CFR 1201 Consumer Product Safety Commission Safety Standard for Architectural Glazing Materials - codified at Title 16, Part 1201 of the Code of Federal Regulations.
- F. ANSI Z97.1 - American National Standard For Safety Glazing Materials Used in Buildings - Safety Performance Specifications and Methods of Test/Consumer Products Safety Commission CPSC 16 CFR 1201.
- G. LEED: The Leadership in Energy & Environmental Design; U.S. Green Building Council (USGBC).

1.6 SUBMITTALS

- A. Submit administrative requirements under provisions of Section 01 30 00.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
1. Preparation instructions and recommendations.
 2. Storage and handling requirements and recommendations.
 3. Installation methods.
- C. Shop Drawings:
1. Elevation for each style window specified indicating its size, glazing type, muntin type and design.
 2. Manufacturer's head, jamb and sill details and section views for each window type specified.
- D. Schedules:
1. Provide a window schedule indicating the type, size, color, and operation of each unit specified. Coordinate with window mark types found in the Contract Drawings.
- E. Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns.
- F. Verification Samples: For each finish product specified, samples may be subsequently installed on the project.

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- G. Test Reports: Submit certified independent testing agency reports indicating window units meet or exceed specified performance requirements.

1.7 SYSTEM DESCRIPTION

- A. Operation: DOUBLE HUNG with TILT-IN SASH for cleaning
- B. AAMA Rating: CW-PG50-H when tested according to AAMA/WDMA/CSA 101/I.S.2/A440-08 at the gateway size of 56" x 91"
- C. Construction: 3 1/4 inch frame depth. Wall thickness: 0.062"/0.078" frame/sill; 0.062" sash. Factory finished extruded aluminum frame and sash members with integral structural polyurethane thermal break.
- D. Glazing: 7/8 inch insulating glass; black reusable flexible PVC channel gasket;

1.8 HARDWARE:

A. Balances:

1. Balances shall provide a positive lifting force through the full range of sash travel. Sash travel shall be limited on oversize units.
2. When properly adjusted, balances shall hold the sash stationary at any open position.
3. Balances shall be factory calibrated of type Spiral (or Ultra-Lift balance or Block and Tackle)

- B. Meeting Rail Lock(s): White or Black painted zinc alloy sweep lock fastened at meeting rail with two self-tapping screws.

- C. Head Lock: Automatic aluminum spring-loaded head lock shall secure top sash in closed position.

- D. Tilt latches: Custodial-operated locking tamper-proof tilt latches

- E. Lift Handles: Integral continuous lift handles on bottom sash.

- F. Limit Stops: Jamb-mounted limit stops.

1.9 WEATHERSTRIPPING:

- A. Sash: High-density woven pile shall be used in combination with continuous polyethylene rigid seal to minimize air infiltration.

- B. Securely stake and join at corners. Provide drainage to exterior as necessary.

1.10 PERFORMANCE REQUIREMENTS

- A. Air, Water and Structural Performance Requirements:

When tested in accordance with cited test procedures, windows shall meet or exceed the following performance criteria, as well as those indicated in AAMA 101 and 101/I.S.2/A440-08 for performance grade of unit specified unless otherwise noted herein.

1. Air Test Performance Requirements:

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- a. Performance: Air infiltration maximum 0.30 cfm per square foot at 1.6 psf pressure differential when tested in accordance with ASTM E283 for sliding sealed products.
2. Water Test Performance Requirements:
 - a. No uncontrolled water leakage at 7.5 psf static pressure differential when tested in accordance with ASTM E331 and ASTM E547.
3. Structural Test Performance Requirements:
 - a. Uniform Load Deflection Test
 - 1) No deflection of any unsupported span L of test unit (framing rails, muntins, mullions, etc.) in excess of L/175 at both a positive and negative load of design test pressure when tested in accordance with ASTM E330.
 - 2) Structural reinforcing that is not standard on units being furnished is not allowed.
 - b. Uniform Load Structural Test:
 - 1) Unit to be tested at 1.5 x design test pressure, both positive and negative, acting normal to plane of wall in accordance with ASTM E330.
 - 2) No glass breakage; permanent damage to fasteners, hardware parts, or anchors; damage to make windows inoperable; or permanent deformation of any main frame or ventilator member in excess of 0.2% of its clear span.
- B. Forced Entry Resistance Test: ASTM F 588, Type and Grade as indicated for each Product.
- C. Thermal Performance Requirements
 1. Perform thermal computer simulation in accordance with the configuration specified in NFRC 100.
 2. Computed Thermal Transmittance (U-Value) shall not exceed 0.43 BTU/hr/sq.ft./°F for the whole window assembly.
 3. Computed Solar Heat Gain Coefficient (SHGC) shall not exceed 0.36 for the whole window assembly.

1.11 QUALITY ASSURANCE

- A. Manufacturer Qualifications: All windows specified in this section shall be supplied by a manufacturer which has been fabricating/manufacturing commercial grade aluminum windows of similar quality and performance for a minimum of ten (10) years.
- B. Installer Qualifications: All products listed in this section are to be installed by a single installer with a minimum of five (5) years demonstrated experience in installing windows of the same type and scope as specified, preferably AAMA certified installers.
- C. Provide test reports from AAMA accredited laboratory certifying that window units are found to be in compliance with AAMA/WDMA/CSA 101/I.S.2/A440-08 and performance standards listed above.
 1. Test reports shall be accompanied by the window manufacturer's letter of certification stating that the tested window meets or exceeds criteria for the appropriate AAMA/WDMA/CSA 101/I.S.2/A440 test.

1.12 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation in accordance with manufacturer's recommendations.
- B. Protect units against damage from the elements, construction activities and other hazards before, during, and after installation.

1.13 PROJECT CONDITIONS

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

1.14 WARRANTY

- A. Refer to *Crystal Window & Door Systems, Ltd. standard warranty.*
- B. *Optional Extended Warranty (contact your Crystal sales representative).*

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturer: **Crystal Window & Door Systems, Ltd.**, which is located at: 31-10 Whitestone Expressway, Flushing, NY 11354; Tel: 718. 961.7300; Tel: 800. 472.9988; Fax: 718.460.4594; Web: www.crystalwindows.com
- B. Requests for substitutions will be considered in accordance with provisions of Section 01 60 00.

2.2 Aluminum:

- A. Extruded aluminum prime billet 6063-T5 or 6063-T6 alloy for primary components; 6063-T5, 6063-T6, or 6061-T6 for structural components; all meeting the requirements of ASTM B221.
- B. Aluminum sheet alloy 5005 H 32 (for anodic finish), meeting the requirements of ASTM B209 or alloy 3003 H 14 (for painted or unfinished sheet).

2.3 Thermal Barrier:

- A. Structural Thermal Barrier:
 - 1. Structural thermal barrier shall consist of poured-in-place polyurethane polymer that shall transfer shear during bending and provide composite action between frame components.
- B. Non Structural Thermal Barriers:
 - 1. Non structural thermal barriers are used only in conjunction with structural thermal barriers. The purpose of non structural thermal barriers is to enhance thermal performance of the primary structural thermal barriers (polyamide struts) by inhibiting heat transfer through thermal radiation and convection. Non structural thermal barriers shall not be used as primary load carrying members.
 - 2. Rigid non structural thermal barriers shall be constructed of extruded polyvinylchloride (PVC).

2.4 GLASS

- A. Glazing Materials:
 - 1. Vertical Glazing: For glass surfaces sloped 15 degrees or less from vertical. Design glass to resist design wind pressure based on glass type factors for short-duration load.
 - 2. Thickness: Where glass thickness is indicated, it is a minimum. Provide glass lites in thicknesses as needed to comply with requirements indicated.
 - 3. Strength: Where float glass is indicated, provide annealed float glass. Where fully tempered glass is indicated, provide Kind FT heat-treated float glass.
 - 4. Thermal and Optical Performance Properties: Provide glass with performance properties specified, as indicated in manufacturer's published test data, based on procedures indicated.

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- a. U-Factors: Total-glazing values, according to NFRC 100 and based on LBL's WINDOW 5.2 computer program, expressed as BTU/sq.ft x h x deg F (W/sq. m x K).
 - b. Solar Heat-Gain Coefficient and Visible Transmittance: Center-of-glazing values, according to NFRC 200 and based on LBL's WINDOW 5.2 computer program.
 - c. Visible Reflectance: Center-of-glazing values, according to NFRC 300.
 5. Float Glass: ASTM C 1036, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated.
 6. Coated Glass: ASTM C 1376, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated, of kind and condition indicated.
 7. Laminated Glass: ASTM C 1172, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated, of kind and condition indicated.
- B. Insulating Glass Units:
1. Factory-assemble units consisting of sealed lites of glass separated by a PPG Intercept Spacer system consisting of a one-piece, metallic, U-channel design that creates an effective thermal barrier to help reduce conducted heat loss through the window.
 2. Insulating glass units shall be sealed with an integral dessicant matrix and a butyl sealant extruded around the entire perimeter of the spacer to achieve a seal. The sealant applied is to be Dual Seal Equivalent (DSE). Interspace to be filled with air or argon gas as required by thermal computer simulation.
 3. Insulating Glass Types: Low-E coated, insulating glass units.
 - a. Overall Unit Thickness: 7/8" (22mm)
 - b. Thickness of Each Glass Lite: 3/32", 1/8" or 1/4 inch
 - c. Outdoor Lite: Class 1 (Clear) float glass, or fully tempered float glass.
 - d. Interspace Content: Air or Argon Gas.
 - e. Indoor Lite: Class 1 (Clear) float glass, or fully tempered float glass.
 - f. Low-E Coating: Sputtered on second or third surface.
 - g. Glass Winter Night time U-Value: 0.26 maximum.
 - h. Solar Heat Gain Coefficient: 0.46 maximum.
 - i. Provide safety glazing labeling, if necessary.

2.5 WINDOW ACCESSORIES

Provide the following accessories as specified in the contract drawings. Finish to match window frames or as selected by the Architect:

- A. Wrap Around Panning
- B. Preset Panning
- C. Snap Trim/Clips
- D. Expanders
- E. Receptors
- F. Subsills and Subsill Anchors
- G. Mullions and Mullion Covers
- H. Exterior Sills
- I. Interior Stools
- J. Muntins

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

2.6 FINISHES

- A. Conforming to AAMA 2604-05 specification, finish on all extruded aluminum shall consist of zero or near-zero VOC, organic POWDER COAT with a baked on super-durable thermosetting polyester resin, electro-statically applied on five-stage pre-treated aluminum surface. Equivalent to 50% Kynar polyvinylidene fluoride liquid paint finishes. Powder coat material to be as manufactured by Sherwin Williams or PPG Powder Coatings.
- B. Color to be selected from Manufacturer's Standard Color Chart (or custom-matched as required by project Architect/Owner).

2.7 Insect Screens:

- A. Screen frames shall consist of tubular extruded aluminum profiles with finish to match window frames.
- B. Fiberglass mesh (18 X 16) with PVC spline.

2.8 Steel components including attachment fasteners shall be 300 series stainless steel except as noted.

2.9 Thermoplastic or thermo-set plastic caps, housings and other components shall be injection-molded nylon, extruded PVC, or other suitable compound.

2.10 Sealants:

- 1. Sealants shall comply with applicable provisions of AAMA 800 and/or Federal Specifications FS-TT-001 and 002 Series.
- 2. Frame joinery sealants shall be suitable for application specified and as tested and approved by window manufacturer.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.2 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

3.3 INSTALLATION

- A. Install in accordance with manufacturer's instructions.

3.4 ANCHORAGE

- A. Anchor window units and/or assemblies sufficiently to maintain permanent positions when subjected to normal thermal movement, specified building movement and specified wind loads.

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

3.5 PROTECTION

- A. Protect installed products until completion of project.
- B. Final operating adjustment shall be made after glazing work is complete. Operating sash and ventilator shall operate smoothly and shall be weathertight when in locked position
- C. Touch-up, repair or replace damaged products before Substantial Completion.

3.6 DISPOSAL OF DEBRIS

- A. Remove all garbage off site and legally dispose of existing windows and debris generated from the installation of the new windows.

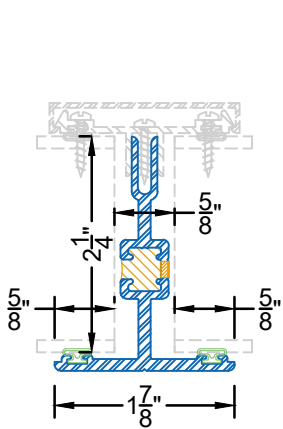
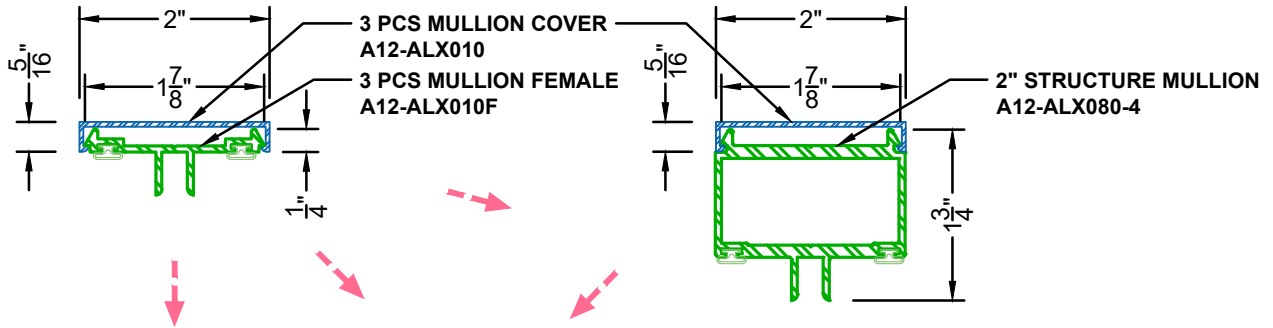
3.7 OPTIONAL FIELD TESTING

- A. At the discretion and expense of Owner or Owner's representative, perform on-site testing of installed units in conformance with AAMA 502 - Voluntary Specification for Field Testing of Windows and Sliding Glass Doors. Conduct air and water infiltration testing with the window manufacturer, contractor, and owner present.
- B. An AAMA accredited lab will be hired by the owner to perform the required testing.

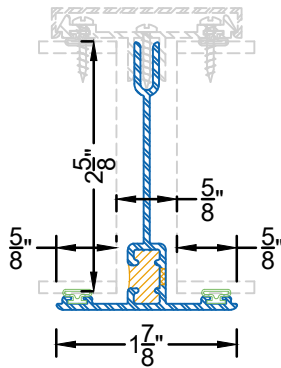
3.8 ADJUSTMENT AND CLEAN UP

- A. Adjust all products, sash, vents, and hardware after installation, as necessary to provide proper operation and a weather tight installation
- B. Remove any labels and dirt from the window.

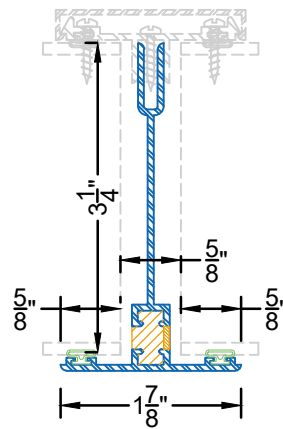
END OF SECTION



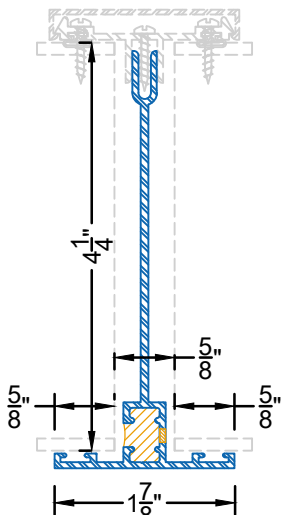
**2 1/4" 3 PCS MULLION MALE
 A12-ALX080-1**



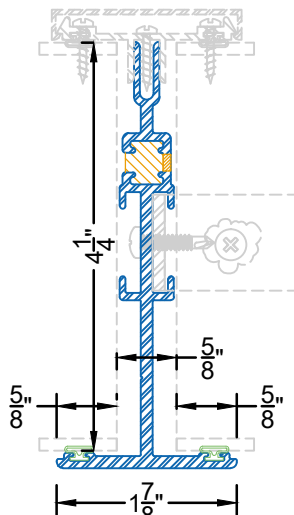
**2 5/8" 3 PCS MULLION MALE
 A12-ALX088**



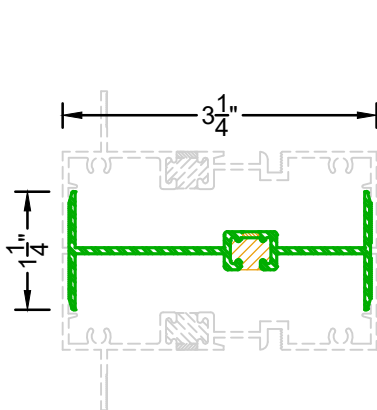
**3 1/4" 3 PCS MULLION MALE
 A12-ALX010M**



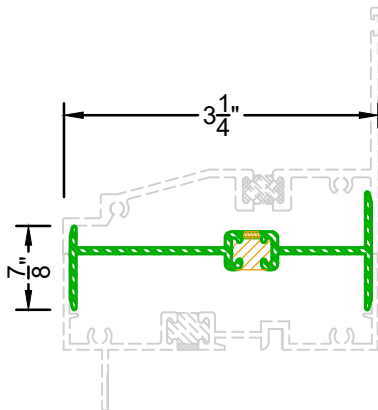
**4 1/4" 3 PCS MULLION MALE
 A12-ALX010M-1**



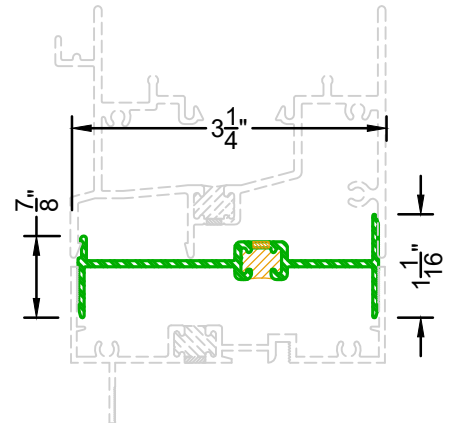
**4 1/4" 3 PCS EXTERIOR MULLION
 A12-ALX060-1**



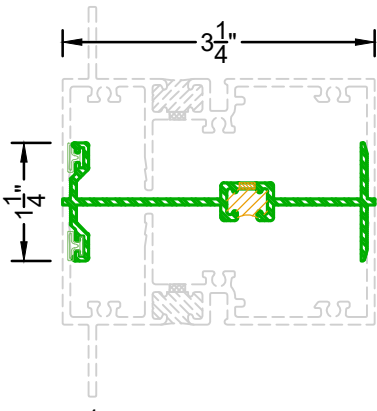
3/4" H-MULLION
A12-ALX001
 FOR LIGHT COMMERCIAL
 SERIES 2000, 3000, 4000



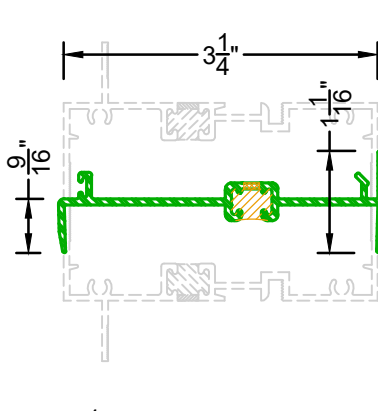
3/4" H-MULLION SHORT LEG
A12-ALX01X-B
 FOR MULLED UNIT WITH
 DOUBLE HUNG ON TOP



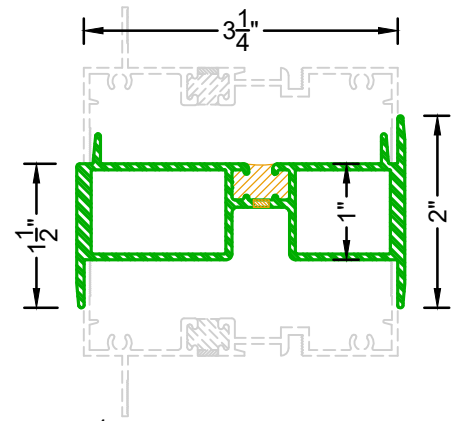
3/4" H-MULLION SHORT LEG
A12-ALX-22
 FOR SERIES 2300 SLIDER



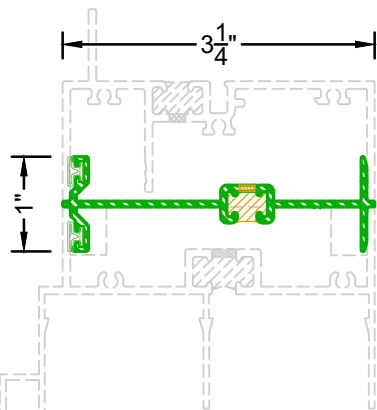
3/4" H-MULLION
THX-56-013
 FOR SERIES 5000, 5500



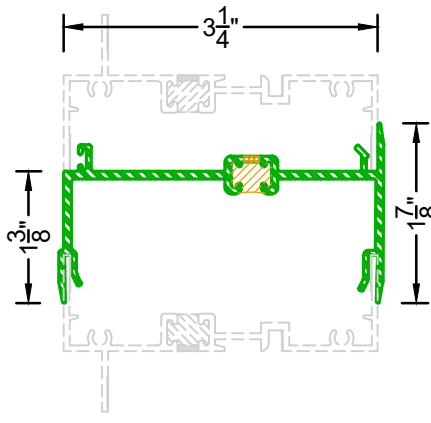
3/4" STACK MULLION
A12-ALX-ST-03
 FOR HORIZONTAL ONLY



3/4" STRUCTURAL STACK MULLION
A12-ALX-ST-01
 FOR HORIZONTAL ONLY



3/4" SHORT H-MULLION
THX-56-014
 FOR SERIES 5600



3/4" STACK MULLION TRICKLE VENT
MULL-VENT-325X188
 FOR HORIZONTAL ONLY



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-26-24

Permit No.: BBS24-000029

Applicant Name: Graham Post, Sixmo Architecture

Project Address: 16512 Detroit Ave.

Project Name: Cozumel Lakewood

Project: Applicant proposes renovation to the front of a building for outdoor dining and an addition for a rear storage unit.



LIBERTY
DEVELOPMENT COMPANY

28045 Ranney Parkway, Suite E
Westlake, OH 44145

p (440) 892-1800
f (440) 892-1801

liberty-development.com

March 18, 2024

Mr. Dave Baas, AICP
Assistant Director of Planning and Development
City of Lakewood
12650 Detroit Road
Lakewood, OH 44107

Re: PIBO, LLC Conditional Use Permit

Dear Mr. Baas,

As the managing member of D. Ethel Limited, which owns the property at 16512 Detroit Ave., Lakewood, Ohio 44107, please accept this letter as my permission for Mr. Vicente de la Paz, owner of PIBO, LLC who operates Cozumel, to pursue a conditional use permit to convert the outdoor space shown on the concept design dated February, 2024 into additional dining and storage.

Please don't hesitate to contact me at (440) 892-1800 with any questions.

Sincerely,
D. Ethel Limited

Tom Kuluris
Managing Member

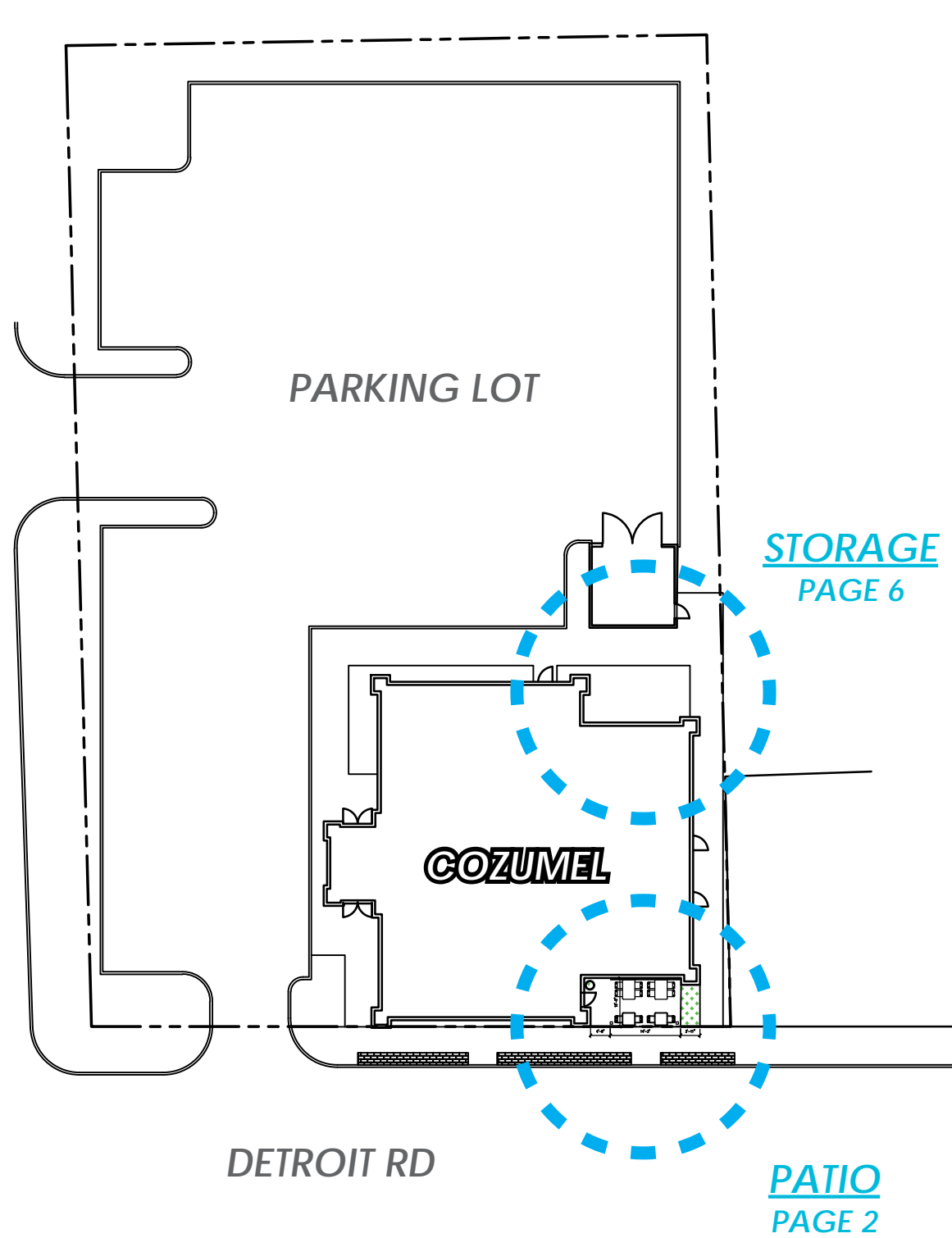
EXISTING CONDITION



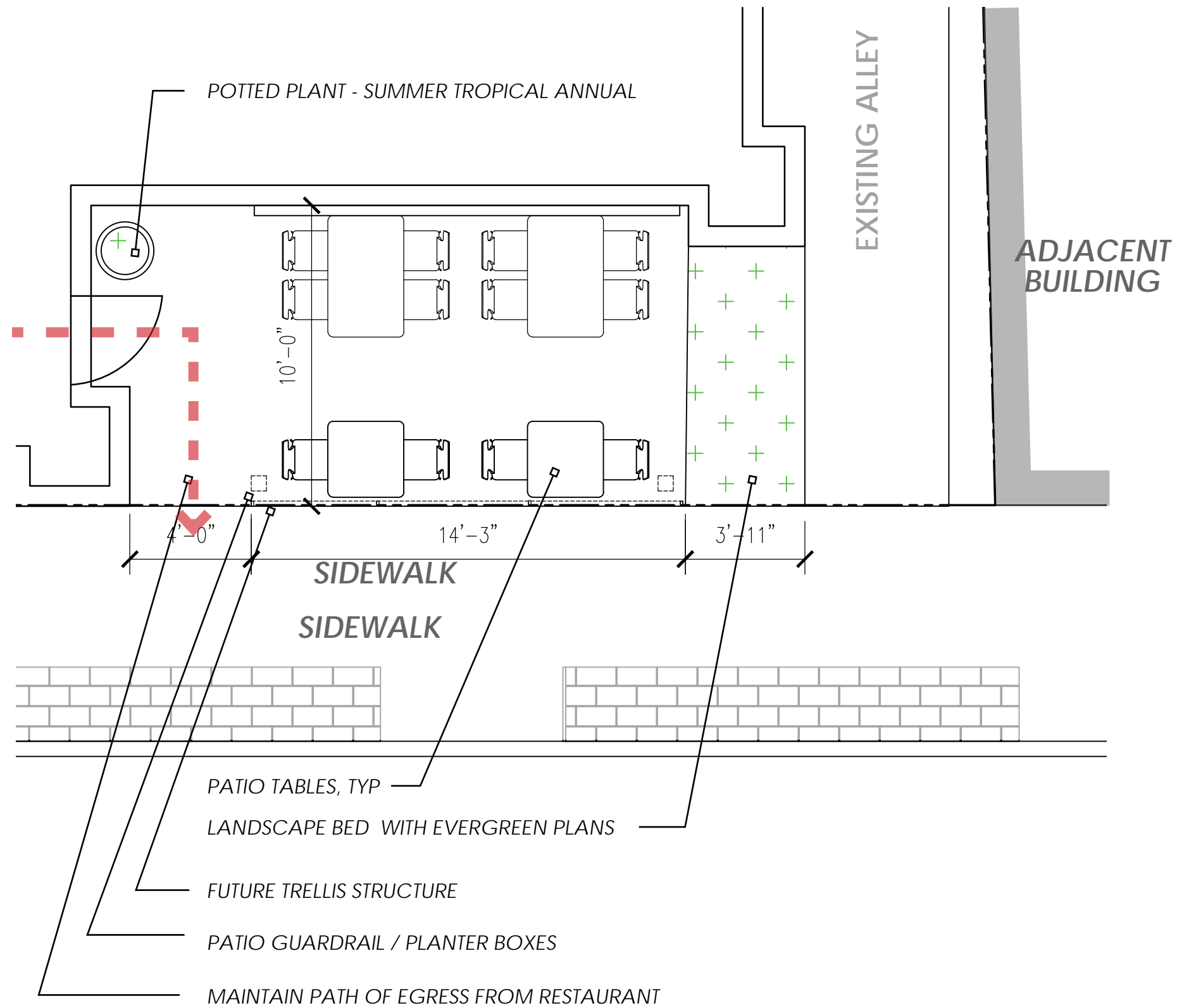
PROJECT DESCRIPTION

1. **PATIO:** INTENT IS TO ADD PATIO AT FRONT OF BUILDING ALONG SIDEWALK TO ACTIVATE STREETFRONT. FIRST PHASE WOULD BE TO ENCLOSE WITH GUARDRAIL, TABLES/CHAIRS, UMBRELLAS, AND HEATERS. PHASE 2 WOULD BE TO ADD PERGOLA ROOF STRUCTURE WITH ALL WEATHER ROLLDOWN TO EXTEND PATIO ACTIVITY THROUGHOUT THE SEASONS.

2. **STORAGE ADDITION:** INTENT IS TO BUILD A SMALL ENCLOSURE ON THE BACK OF THE BUILDING TO ACCOMODATE GROWING DRY STORAGE NEEDS.



SITEPLAN scale : 1/32" = 1'-0"



PATIO PLAN scale : 1/4" = 1'-0"



STRING LIGHTS SUSPENDED FROM PAINTED STEEL POLE

DECORATIVE METAL SCREEN WALL-
WHITE GLOSS FINISH

ALUMINUM RAILING

LANDSCAPING

PATIO - UMBRELLAS



STRING LIGHTS SUSPENDED FROM ROOF

METAL ROOF AND PERGOLA WITH CLEAR FINISHED WOOD RAFTERS, PREFINISHED GUTTER AND RAIN CHAIN

ALUMINUM RAILING

LANDSCAPING

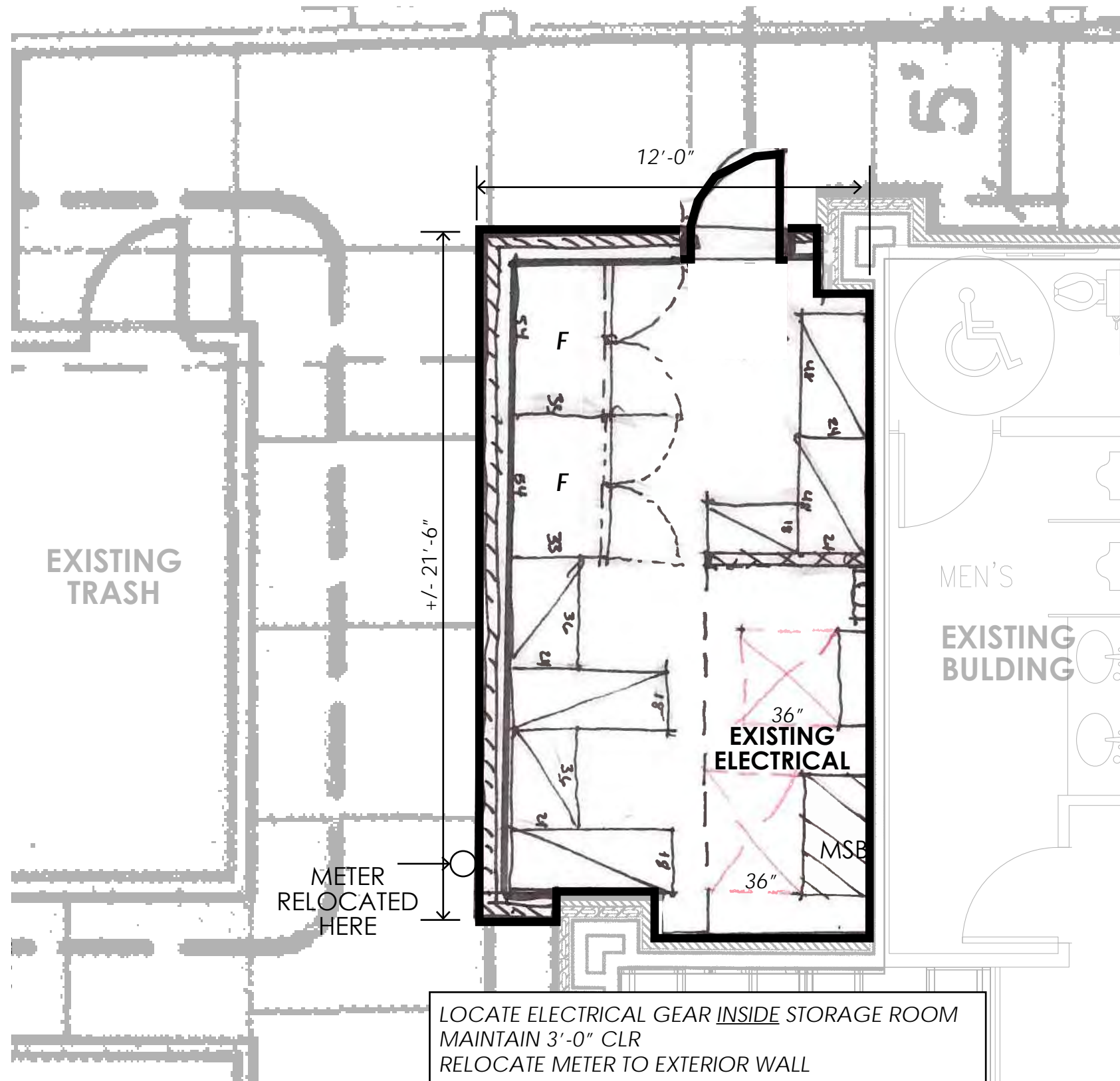
PATIO - ROOF



PATIO - ROOF W/ ROLLDOWNS

CUSTOM ROLL DOWN CLEAR VINYL WEATHER SCREENS- OPEN ON END FOR VENTING HEATERS

STORAGE ADDITION



STORAGE ADDITION

NEW EXTERIOR STORAGE WALL ENCLOSURE WITH METAL ROOF- PAINT TO MATCH EXISTING





STRING LIGHTS SUSPENDED FROM ROOF

METAL ROOF AND PERGOLA WITH CLEAR FINISHED WOOD RAFTERS, PREFINISHED GUTTER AND RAIN CHAIN

DECORATIVE METAL SCREEN

ALUMINUM RAILING

LANDSCAPING

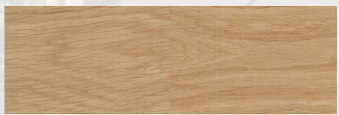
PATIO - ROOF



METAL ROOF HSB-36 ROOF DECK
PAINTED SW-TRICORN BLACK

SW 6258
Tricorn Black

CUSTOM METAL 4X12 TUBE FRAMING
PAINTED SW-TRICORN BLACK
GUTTER TO MATCH



2X6 DECORATIVE WOOD CEILING RAFTERS
WITH STAIN/SEALER

SW 6258
Tricorn Black

4X4 METAL POSTS
PAINTED SW-TRICORN BLACK

RAIN CHAIN, BLACK
TO LANDSCAPE BELOW

PATIO - ROOF MATERIALS



To:
Cozumel Lakewood
Agustin



Project:
Cozumel Lakewood - New Patio

From:
TriMark
Frank Brawner
4567 Willow Parkway
Cleveland, OH 44125-1041
(216) 271-7700
1-216-271-7700 (Contact)

Job Reference Number: 213301

Notwithstanding anything set forth in the Standard Terms and Conditions, TriMark will use commercially reasonable efforts to hold above prices for 30 days, however pricing may change due to manufacturer cost increases. TriMark reserves the right to make any corrections or adjustments due to cost increases, errors, market fluctuations, supply chain disruptions, tariffs, third party supplier changes in cost, or any other factors outside of TriMark's control. TriMark will provide reasonable written notice in the form of a final NSO quote to customer and/or the franchisee at the time of franchisee payment and signed quote. TriMark reserves the right to cancel or refuse any orders based on incorrect pricing or availability.

Item	Qty	Description	Sell	Sell Total
1	1 ea	TABLE TOP, LAMINATE, OUTDOOR Grosfillex Model No. UT330727 Indoor/Outdoor Table Top, 32" x 48", rectangular, fitted with rails, burn, stain, heat & scratch resistant, UV resistant, high pressure laminate, Compact Touch, gray slate, Made in France	\$321.88	\$321.88
	1 ea	2 year warranty		
	1 ea	UTX1D017 X-One Tilt Top Lateral Base 100, 35-1/2" x 35-1/2" base spread, folds for daily storage, (2) adjustable leg levelers, for use with 48" x 32" table tops, powder coated aluminum, black , Made in China	\$279.59	\$279.59
ITEM TOTAL:				\$601.47

Item	Qty	Description	Sell	Sell Total
2	1 ea	CHAIR Bum Commercial Furniture USA Model No. COSTA SIDE 40245 NARDI Costa Side Stacking Side Chair, outdoor/indoor, solid fiberglass and resin back and seat, drainage hole in seat, UV protected, tubular fiberglass and resin frame, non-slip replacement feet	\$85.49	\$85.49
				
	1 ea	Quick ship item		
	1 ea	02 ANTHRACITE (02) Anthracite		
			ITEM TOTAL:	\$85.49
3	1 ea	UMBRELLA Grosfillex Model No. 98948231 Market Umbrella, 7 ft, round top, 1-1/2" dia. wooden pole, Outdura fabric, terra cotta, Made in USA	\$312.48	\$312.48
				
	1 ea	US608402 Umbrella Base, 84 lbs., with wheels, cement filled with resin cover, built in handle, adjustable stem reducer for 1" to 2" umbrella poles, charcoal (for freestanding umbrellas only), Made in Germany	\$185.61	\$185.61
			ITEM TOTAL:	\$498.09
			Total	\$1,185.05

Standard Contract Terms & Conditions

All quotations are subject to approval by the company. The above listed prices shall be firm for 30 days. Prices shown in this quotation are for specific items, quantities, and lead times indicated.

Prices are subject to change if all of the items are not ordered, if quantities ordered differ, or if adequate lead-time is not allowed.

The prices shown in this quotation DO/DO NOT include freight charges which will be added to our invoice. This quotation does not include any fees for local permits or licenses that may be required by your municipality or state.

The prices shown in this quotation DO/DO NOT include applicable taxes, which will be added to our invoice unless a valid certificate of exemption is provided by you. Please be advised that, under state law, some items may still be taxable. In states where TriMark SS Kemp is not registered to collect Sales Tax, it is the buyer's responsibility to pay any applicable Use Tax due to the state.

Payment terms are 50% due at time of order, 45% due prior to delivery and 5% due based on customer terms. We impose a surcharge on credit cards that is not greater than our cost of acceptance. Please be advised that a 1.5% per month FINANCE CHARGE will begin to accrue upon expiration of the above payment terms. This will amount to 18% annually.

It is our understanding that you are requesting delivery of the items on this order during the week of {T.B.D.} If this date is not correct or is missing, please provide us with a scheduled delivery date

..... If an alternative date is not provided, the date specified above is considered confirmed. In the event that the delivery date is delayed by you, or any party other than TriMark SS Kemp, for more than two (2) weeks from the agreed upon date, you hereby agree that TriMark SS Kemp. will bill you for "stored materials".

You also agree that any payments originally due "upon delivery" will become immediately due and payable. For valuable consideration, receipt of which is hereby acknowledged, you hereby grant to TriMark SS Kemp a security interest in the equipment described herein and any and all additions and accessories thereto, to secure payment of the total debt and any and all other obligations to TriMark SS Kemp under this agreement. The security interest created hereby shall terminate when obligations have been paid in full.

You hereby authorize TriMark SS Kemp to file any UCC financing statement that it deems necessary to perfect its security interest.

On capital purchases, we require a perfected security interest in the goods until they have been paid for in full. TriMark SS Kemp. will handle all of the necessary U.C.C. filings and pay for any costs associated with these filings. Upon failure of you to promptly pay or perform any of the obligations or any covenants contained or referred to herein, TriMark SS Kemp may, at its option, declare all of the obligations immediately due and payable and then shall have all of the remedies of a secured party under the Uniform Commercial Code of the state where the equipment is located. Such remedies shall include, but are not limited to, the right to take possession of the equipment. Expenses related to repossessing, holding, repairing, or reselling the equipment, including any collection costs, reasonable attorney's fees and legal expenses, shall be the responsibility of the buyer.

No warranty of merchantability or fitness for a particular purpose, or other warranty, express, implied or statutory, nor any affirmation of fact or promise is made by Seller with respect to the goods which are sold pursuant hereto.

TRIMARK SS KEMP SHALL NOT BE LIABLE FOR INCIDENTAL OR CONSEQUENTIAL LOSSES, DAMAGES OR EXPENSES, DIRECTLY OR INDIRECTLY ARISING FROM THE SALE, HANDLING OR USE OF THE GOODS, OR FROM ANY OTHER CAUSE RELATING THERETO. TriMark SS Kemp's liability hereunder and Buyer's exclusive remedy hereunder is expressly limited to the replacement (in the form originally shipped) of goods not complying with this Agreement or, at TriMark SS Kemp's election, to credit Buyer with an amount equal to the purchase price of such goods, whether claims are for breach of warranty, negligence or otherwise.

If you are in agreement with the aforementioned terms, prices, specifications and conditions, please sign a copy of this contract and return it to the undersigned at our offices, accompanied by any required advance payment.

Thank you for the opportunity to offer our quotation. We look forward to receiving your valued order.

Frank Brawner
TriMark SS Kemp

Acceptance _____ Date _____

Print Name _____

Company Name _____

Acceptance: _____ Date: _____

Printed Name: _____



48" x 32" HPL Compact Top



Length: 48"
Width: 32"
Weight: 29.53 lbs
Thickness: 10 mm

Product Specifications

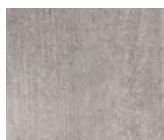
Product Description	Reference Number	Color	UPC Code 014306	Weight Each (lbs.)	Master Pack	Master Pack Volume (cu. ft)
48" x 32" HPL Compact Top	UT330038	Granite	936550	34.95	1	1.53
	US48H790	Kandia Gr. Marble	934495	34.95	1	1.53
	US48H722	Walnut	934532	34.95	1	1.53
	UT330727	Gray Slate	936567	34.95	1	1.53
	UT330245	Drifted Pine	936574	34.95	1	1.53

Features & Benefits

Warranty: 2 Yrs.

- Durable and impact resistant
- Water resistant – even when chipped!
- Easy to clean with soap and water – ideal for the foodservice environment
- Strong – the density of HPL is similar to the density of concrete
- 8 pre-installed rails to easily attach to base

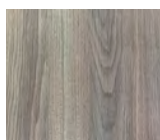
Grosfillex HPL Compact tabletops are perfect for fine dining, indoors or out! They provide the ultimate in strength and beauty along with their easy-to-clean finishes. They are available in attractive decors that feature a realistic "touch" effect. They are fitted with rails for easy installation on our bases, and pair beautifully with our X-One tilting table bases.



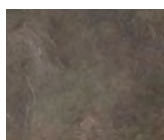
Granite



Kandia Gray
Marble



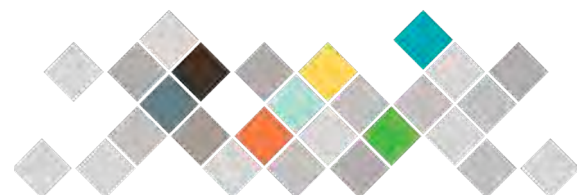
Walnut



Gray Slate



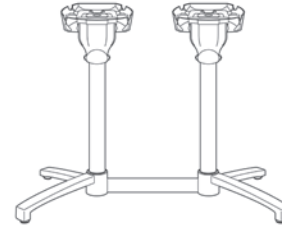
Drifted Pine



No Spare Parts



X-One Lateral Tilting Base



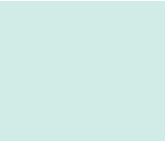
Length: 20.25"
Width: 35.5"
Height: 28"

Product Specifications

Product Description	Reference Number	Color	UPC Code 014306	Weight Each (lbs.)	Master Pack	Master Pack Volume (cu. ft)
X-One Lateral Tilting Base	USX1D009	Silver Gray	924120	22.00	1	2.03
	USX1D017	Black	924113	22.00	1	2.03

Features & Benefits Warranty: 2 Yrs.

- Patented folding system
- Fiberglass reinforced!
- Easy-to-operate large lever is designed to open/close smoothly and will withstand wear & tear
- Interior handhold for easy moving when folded
- Leg components are powder coated aluminum
- All four legs have levelers to optimize stability
- Legs are weighted to provide counterbalance when folded
- Legs nest together when folded for easy storage



Silver Gray



Black



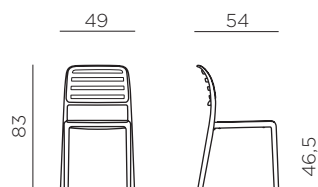
NARDI

YOUR OUTDOOR LIVING

COSTA BISTROT

design Raffaello Galiotto

Ref. 245



3,9

peso prodotto in kg / weight of product in kg

24
1,438 m³imballo con film - pz e volume in m³
shrink-wrapped packing - pcs and volume in cbm

24 pz

pz su pallet / pcs on pallet



impilabile / stackable



IT Sedia monoblocco senza braccioli. Polipropilene fiberglass trattato anti-UV e colorato in massa. Impilabile. Finitura opaca. Dotata di piedini antiscivolo.

EN Monobloc chair without armrest. Uniformly colored fiberglass polypropylene resins with UV additives. Stackable. Matt finish. With non-slip feet.

FR Chaise monobloc sans accoudoirs. Polypropylène fiberglass traité anti-UV et coloré dans la masse. Empilable. Effet mat. Avec patins anti-dérapants.

DE Monoblock Stuhl ohne Armlehne. UV-beständigem fiberglass-Polypropylen, voll durchgefärbt. Stapelbar. Matt-Effekt. Mit rutschfesten Fußkapfen.

ES Silla monoblocco sin brazos. Polipropileno fiberglass tratado anti-UV y teñido en masa. Apilable. Con tapones antideslizantes. Efecto mate

PT Cadeira monoblocco sem braços. Polipropileno fiberglass com tratamento anti-UV colorido na totalidade. Empilhável. Acabamento fosco. Com pés antideslizantes.



BIANCO
40245.00.000



ANTRACITE
40245.02.000



CAFFÈ
40245.05.000



ROSSO
40245.07.000



TORTORA
40245.10.000



CELESTE
40245.39.000

NARDI s.p.a.

36072 Chiampo (Vi) Italia - Via delle Stangà, 14 - Tel. +39 0444 422 100
www.nardioutdoor.com - info@nardioutdoor.com

made in italy



7' Round Market Umbrella with 1 1/2" Wooden Pole



Canopy: 7' Round
Height: 76.5"

Product Specifications

Product Description	Reference Number	Color	UPC Code 014306	Weight Each (lbs.)	Master Pack	Master Pack Volume (cu. ft)
7 Ft. Round Market Umbrella with 1 1/2" Wooden Pole	98942031	Forest Green	138015	22.00	1	1.32
	98949731	Pacific Blue	138008	22.00	1	1.32
	98942731	Burgundy	137995	22.00	1	1.32
	98948231	Terra Cotta	141084	22.00	1	1.32
	98940331	Khaki	142500	22.00	1	1.32
	98944931	Pesto	909882	22.00	1	1.32
	98944831	Sand	909875	22.00	1	1.32
	98940431	White	142531	22.00	1	1.32
	98943131	Turquoise	912912	22.00	1	1.32
	98948131	Taupe	912868	22.00	1	1.32
	98945031	Spa Blue	912813	22.00	1	1.32

Features & Benefits

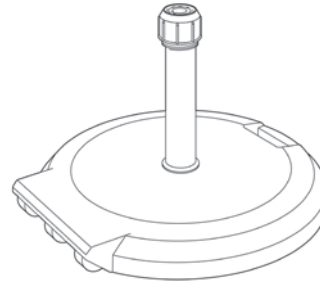
Warranty: 5 Yrs. on Grade C Fabric/1 Yr. on Poles

- 7 ft. wooden market umbrella with eight ribs and vent. 95% sunscreen.
- Two piece 1 1/2" hard kempas wood pole for structural strength with brass connector for easy transportation and shipping. Can be shipped via UPS.
- All brass hardware to resist corrosion.
- Will fit all Grosfillex pedestal tables.
- A selection of Outdura® solution-dyed acrylic traditional fabric colors - Grade C.
- Fully tested to 1000 hours for fade resistance in laboratory tests to meet ASTM G53-96 performance standards for commercial outdoor furniture fabric. Fabric complies with ACFFA requirements.
- Pulley facilitates easy opening and closing.
- Fade, stain and mildew resistant.
- Umbrella is 8" higher when used with optional bar height bottom pole.





84 lb. Free Standing Umbrella Base with wheels



Stem Height: 16"
Diameter: 24"

Product Specifications

Product Description	Reference Number	Color	UPC Code 014306	Weight Each (lbs.)	Master Pack	Master Pack Volume (cu. ft)
84 lb. Free Standing Umbrella Base with wheels	US608404	White	913445	88.00	1	1.34
	US608466	Sand	913452	88.00	1	1.34
	US608437	Bronze	913469	88.00	1	1.34
	US608402	Charcoal	920597	88.00	1	1.34

Features & Benefits Warranty: 2 Yrs.

- Cement filled base with a resin cover and wheels.
- Wide and heavy for extra stability.
- Heavy duty rollers for ease of movement.
- Adjustable stem reducer for 1" to 2" umbrella poles.
- Optional RTA (ready to assemble) glides to clear the base from the deck surface and facilitates its cleaning.
- Will not rust or mark your deck.
- Built in handle for convenient portability.
- U.V. resistant and easy to clean with soap and water.

Our umbrella bases are available in a variety of sizes and materials to fit your needs. Be sure to measure where you will be using your base to ensure fit. Your Grosfillex representative can assist you in determining the best base for your needs.

WARNING: Cancer - www.P65Warnings.ca.gov.

AVERTISSEMENT: Cancer - www.P65Warnings.ca.gov.

ADVERTENCIA: Cáncer - www.P65Warnings.ca.gov.



COASTAL
ELEMENTS™
collection



SILO

EXTRA SMALL FLUSH MOUNT

13592BK-LL

The perfect addition to Modern Coastal, Silo's compact design blends simple and long-lasting practicality. Built to stand up to harsh climates and available in three rust and corrosion-resistant finishes, Silo is available in a downlight-only option to meet dark sky compliance, an up and downlight for additional wall washing, and a small flush mount.

FINISH: Black

GLASS: Etched Lens

WIDTH: 5"

HEIGHT: 7"

DEPTH: 0

LIGHT SOURCE: Socketed

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com



Features:

- 50,000 BTU adjustable-flame burner
- #304 heavy-duty stainless steel construction
- 5-piece 33" reflector
- 3" diameter one-piece post
- Base compartment conceals 20 or 30-lb LPG tank (not included)
- Easy-exchange components
- Electronic igniter provides ignition at a touch
- Tip-over protection system
- Lifetime defective parts replacement warranty
- Convenient wheel assembly
- Weighted base
- Uses standard 20 or 30 lb. LPG tank (not included)
- Consumption rate (20 lb. tank) approx. 10 hrs.
- CSA approved



21' Medium Base Suspended Commercial String Light Kit includes 10 clear medium base LED light bulbs with 9 LEDs in each bulb.

Great for lighting festive interiors and exteriors including building outlines, patio lighting, gazebos, porches, tents, streets and many other applications.

Heavy-duty factory-molded sockets on 18-gauge wire is suitable for commercial applications. Formulated PVC socket forms a tight weatherproof seal around the bulb.

Please note: These cords can be plugged end to end, but please do not exceed the recommend Amperage of the cord.

To calculate amperage of the cord, please use the following formula:

$\text{Total Number of Bulbs} \times \text{Bulb Wattage} \times 1.05 / 120 = \text{Total AMPS}$



These are the measurements for how far down your suspended commercial light strand will hang.

Commercial Grade Light String

Installation instructions for Candelabra, Intermediate, Medium light string product for permanent installation

WARNING: *These products may represent a possible shock or fire hazard if improperly installed or attached in any way. Products should be installed in accordance with these instructions; and current electrical codes and/or the current National Electric Code (NEC).*

CAUTION – To reduce the risk of fire, electric shock or injury to persons:

1. Commercial Grade Light String is intended for installation by trained, qualified electrical contractors.
2. Light string can be supported by [steel guide cables, with zip ties and eyebolts](#). Proper diameter cabling must be used for the maximum span distance between supports according to local building codes. See chart on for maximum span distances between supports.
3. Suspend strings properly by attaching suspension cable (not provided) to solid support structures, such as joists, beams or wall studs.
4. Light sockets must be suspended so that bulbs are facing down ONLY.
5. Keep combustible material clear of bulbs with a minimum of 3" space from the nearest object.
6. Do not cluster the bulbs.
7. Not intended for installation in ceilings, soffits, cabinets or other enclosed spaces.
8. Do NOT secure light string using nails, staples or other sharp, conducting materials.
9. Periodically inspect wire and sockets for degradation due to weather, UV light or other damage.
Promptly replace worn out light string.
10. **DO NOT MOUNT THE LIGHT STRINGS WITH SOCKETS FACING UPWARD**
11. **DO NOT OVERLOAD ANY SOCKET'S MAXIMUM WATTAGE RATING**
12. **DO NOT OVERLOAD MAXIMUM WATTAGE CAPACITY IN ANY RUN (see wattage chart)**
13. **DO NOT HANG FROM MOULDED END CAPS.**

WARNING – RISK OF ELECTRIC SHOCK

Disconnect power at source prior to wiring, re-lamping or servicing in any way.

LIGHT STRING SETS WITH POLARIZED PLUG

1. Do not connect the light string to any other string.
2. The plug-in light string sets are supplied with an attached polarized plug that will only fit into a polarized outlet. If it does not fit, reverse the plug. If it still does not fit, contact a qualified electrician. Do not alter the plug.
3. **DO NOT EXCEED THE MAXIMUM WATTAGE FOR LIGHT STRING SETS WITH ATTACHED PLUG:**

600 WATTS MAXIMUM FOR 48 FOOT PLUG-IN LIGHT STRING SETS
1250 WATTS MAXIMUM FOR 100 FOOT PLUG-IN LIGHT STRING SETS

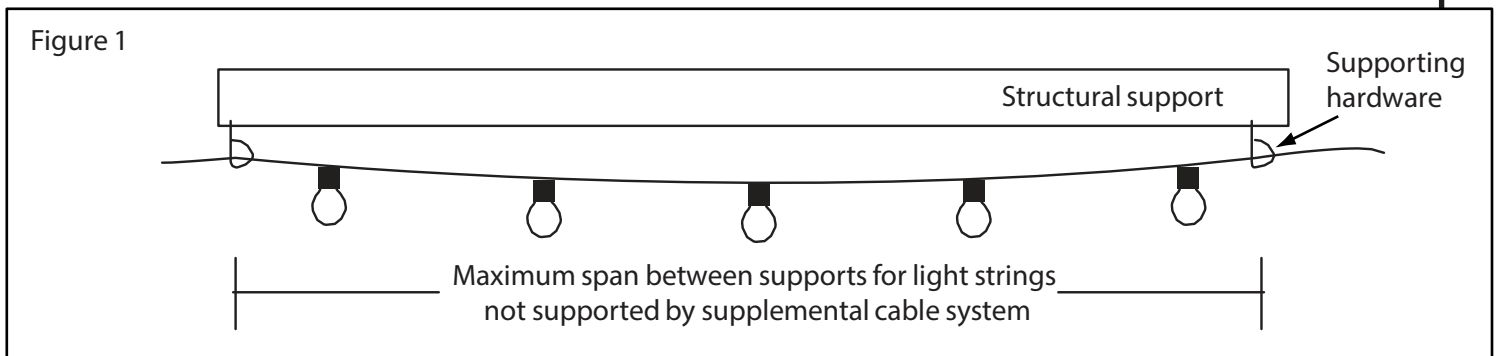
Installation instructions for Candelabra, Intermediate, **M**edium socket light strings for permanent installation

SUSPENDING LIGHT STRINGS

1. Light string must be securely attached to a support structure at each end of each span. See chart below for maximum span distances:

MODEL #	Max. span between supports
Medium socket 24" spacing between sockets	10 sockets or 20'
Intermediate socket with 15" spacing between	15 sockets or 19'
Candelabra with 12" spacing between bulbs	20 sockets or 20'

2. Secure light string to supporting hardware ([eyebolts, brackets, etc., not provided](#)) using cable ties (not included). See Figure 1.



3. For spans exceeding the above, use properly rated [cable support system and cable ties](#) (both not provided) and follow local codes for suspended structures and loads.

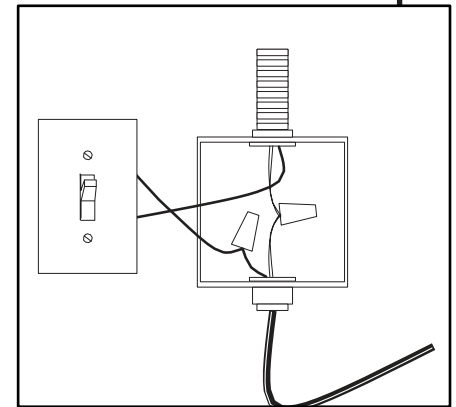
CONNECTING LIGHT STRINGS TO A POWER SOURCE

WARNING – RISK OF ELECTRIC SHOCK - Disconnect power at source prior to wiring and follow any required lock-out/tag-out procedures. These wiring instructions are intended for use by qualified and licensed electrical contractor.

1. Located power source in properly rated junction box (not supplied) for indoor or outdoor application. See Figure 2.
2. Thread light string end through strain relief fitting (indoor installations) or water tight strain relief fitting (outdoor installations) and into junction box.
3. Connect light string to power source: On the **flat style** corded light string the smooth wire (hot) goes to black (hot) wire in electrical box; ribbed edge wire (neutral) goes to white (neutral) wire in electrical box.

On the **round jacketed style** corded light string the black wire (hot) goes to black (hot) wire in electrical box; the white wire (neutral) goes to white (neutral) wire in electrical box.

4. Ensure that no bare wires are exposed outside the electrical connections.
5. Power source may be switched with properly rated switch or dimmer control (not provided). For maximum run distances, see Table 1 on following page.



Commercial Grade Light String

Lamp and Re-Lamp instructions for Candelabra, Intermediate, Medium light string product for permanent installation

RE-LAMPING LIGHT STRINGS

WARNING – RISK OF ELECTRIC SHOCK - Disconnect power at source prior to re-lamping light strings. For outdoor light strings, do NOT re-lamp light strings during rain or other inclement weather conditions.

1. Re-lamp light strings only during dry and calm weather conditions.
2. Unscrew existing lamps by lightly holding the socket in one hand and twisting the lamp counter-clockwise. Lamps may be tight in the sockets. This is normal to prevent moisture from getting into the socket.
3. Replace with proper wattage and type lamps according to the following chart.

MODEL #	Maximum Load in Watts (per socket type)	Maximum Load in Watts	
		Plug-in (48'/100')	Hardwire
M	25 (medium base)	600/1250*	1800**
I	10 (intermediate base)	N/A	1200**
C	10 (candelabra base)	N/A	1200**

*Maximum run for 48 foot plug-in sets is 600 watts, based on 24 sockets at 25 watts each maximum
Maximum run for 100 foot plug-in sets is 1250 watts, based on 50 sockets at 25 watts each maximum.

**Use 14AWG for hardwire connection to 120V power source. Check local electrical codes for variations before installing or lamping light string.

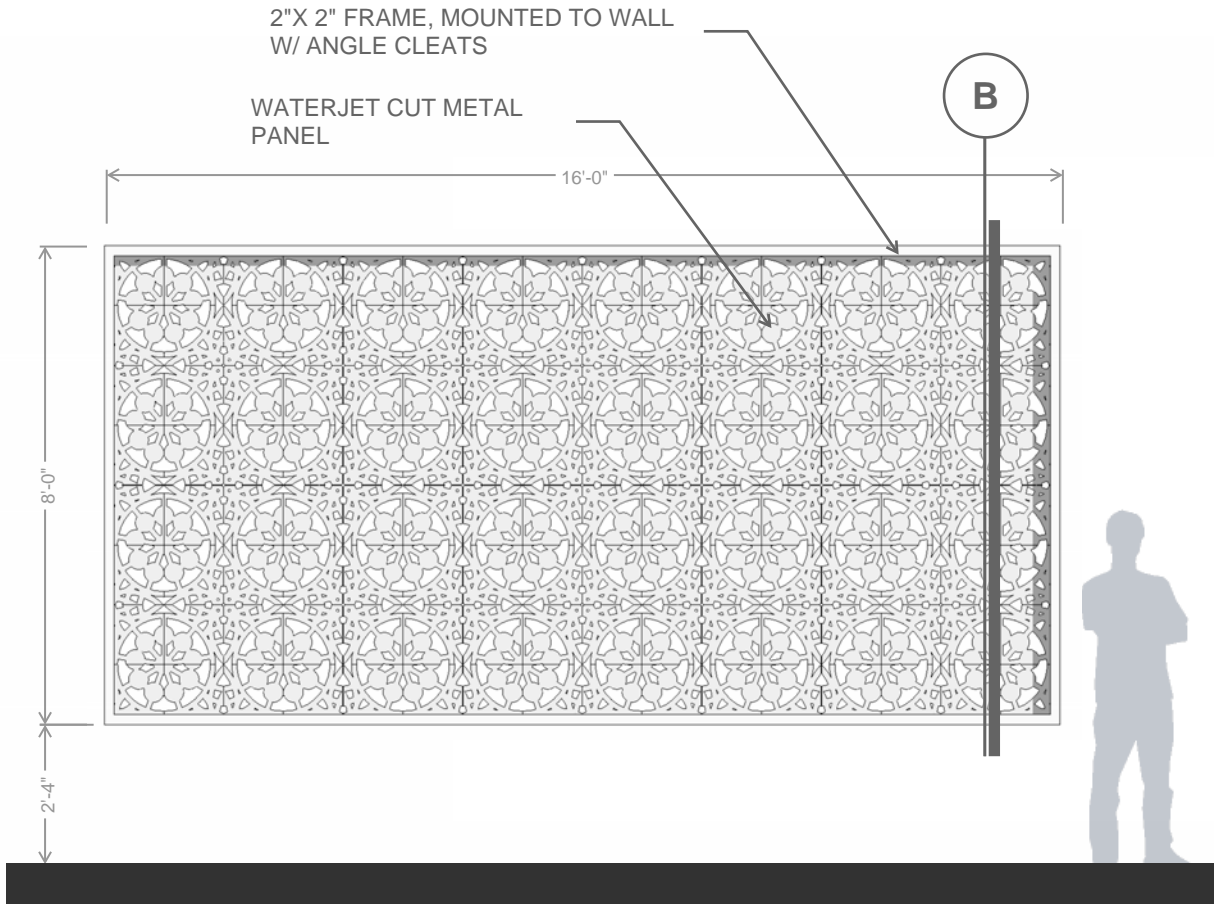
COMMERCIAL GRADE LIGHT STRINGS SPECIFICATIONS

Specifications	LS-C Series	LS-I Series	LS-M Series	LS-MS Series
Socket Type	Candelabra Base	Intermediate Base	Medium Base	Medium Base
Max Bulb Wattage	10 watts	10 watts	25 watts	25 watts
Max Amperage Load	10 Amps	10 Amps	15 Amps	15 Amps
Socket Spacing	12 inches	15 inches	24 inches	24 inches
Maximum Run	1200 watts [†]	1200 watts [†]	1800 watts [†]	1800 watts [†]

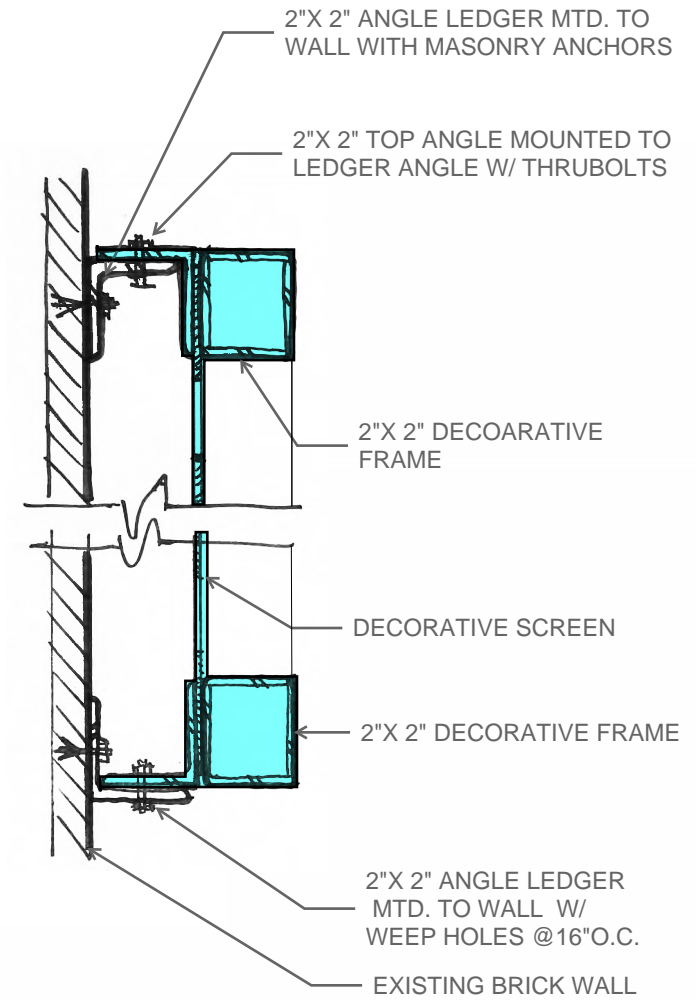
[†]Maximum run for **Candelabra** and **Intermediate** base bulk reels is 1200 watts, based on 10 amps allowed for 16AWG wire;

Maximum run for **Medium** base bulk reels is 1800 watts, based on 15 amps allowed on 14AWG wire.

CUSTOM METAL DECORATIVE SCREEN
 PAINTED GLOSS WHITE



A ELEVATION
 AT DECORATIVE SCREEN



NOTE: DECORATIVE SCREEN, FRAME AND
 MOUNTING ANGLES TO BE PAINTED GLOSS WHITE

 SHOP FABRICATED
 DECORATIVE SCREEN

B SECTION
 AT DECORATIVE SCREEN



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-27-24

Permit No.: BBS24-000021

Applicant Name: Tony M. Bazo, Bazo Construction

Project Address: 14236 Madison Ave.

Project Name: Marathon Station

Project: Applicant proposes rebranding signage from Valero gas station to Marathon.

Owner consent for Sign Installation and Permits

I Claude Al Fahel, being the owner, manager of the business/property
(individual's Name)
known as Claude Enterprise LLC and located at 14235 Madison Ave do
(name of business) (street address)

hereby certify that I am allowing Bazo Construction (and / or their sub-contractor) to obtain permits and install signage at the below mentioned address.

Bazo Construction further agrees that all work will be done in compliance with all applicable laws, codes and ordinance, and any stipulations or restrictions listed on the permits.

Site address:

14235 Madison Ave

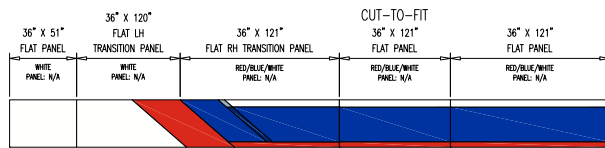
Lakewood, OH

44107

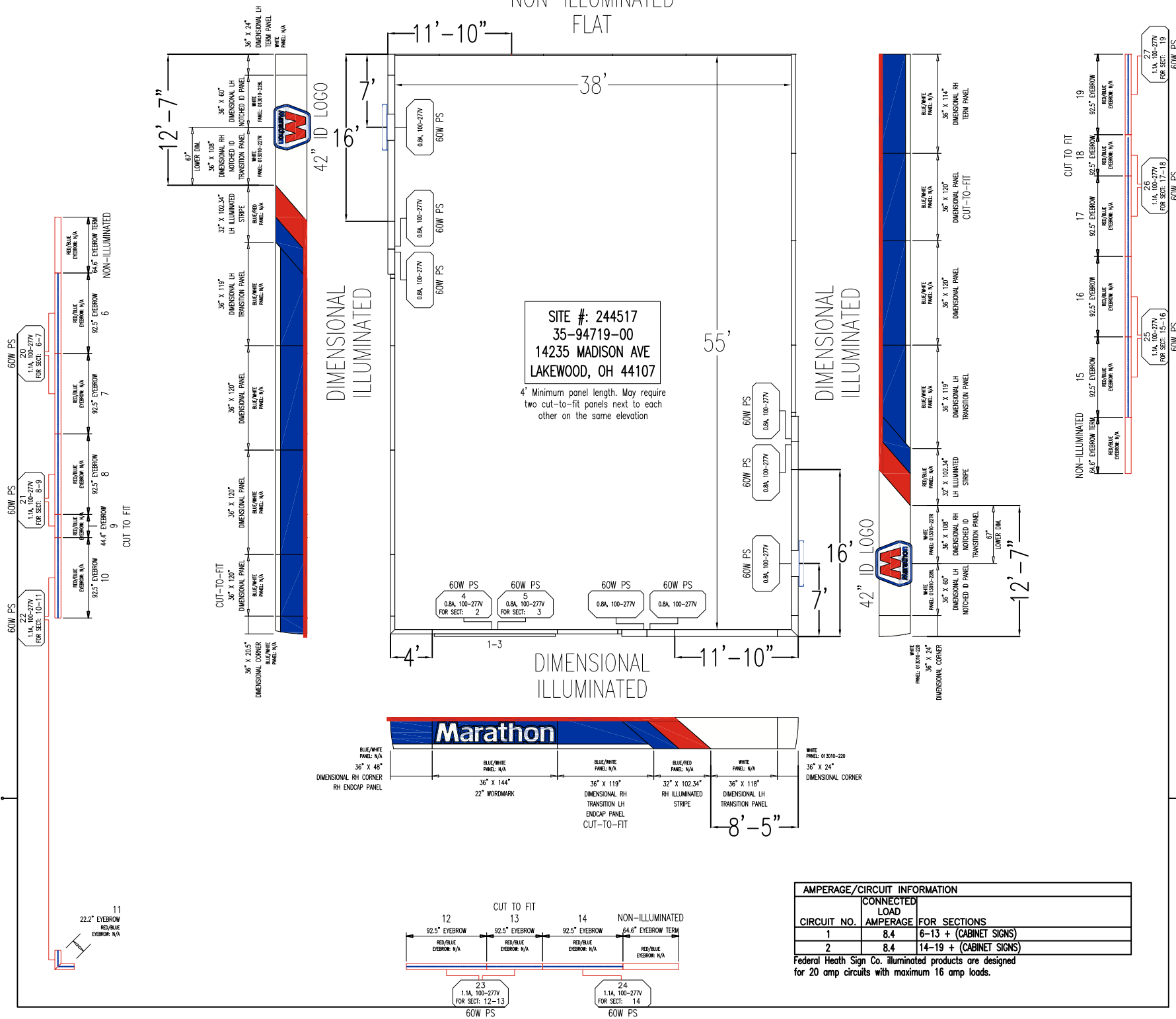
Signature Claude Al Fahel

Name Claude Al. Fahel

Date 21 26 / 24.



NON-ILLUMINATED
FLAT



EACH CIRCUIT REQUIRES A DISCONNECT SWITCH. SWITCHES ARE NOT PROVIDED ON POWER SUPPLY.

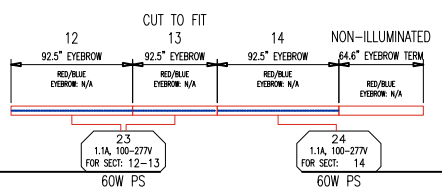
CIRCUIT: 1
8.4 AMPS

EACH CIRCUIT REQUIRES A DISCONNECT SWITCH. SWITCHES ARE NOT PROVIDED ON POWER SUPPLY.

CIRCUIT: 2
8.4 AMPS

AMPERAGE/CIRCUIT INFORMATION		
CIRCUIT NO.	CONNECTED LOAD AMPERAGE	FOR SECTIONS
1	8.4	6-13 + (CABINET SIGNS)
2	8.4	14-19 + (CABINET SIGNS)

Federal Heath Sign Co. illuminated products are designed for 20 amp circuits with maximum 16 amp loads.



This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the permission of Federal Heath Sign Company LLC or its authorized agent. ©

Underwriters Laboratories Inc. ELECTRICAL TO USE U.L. -48 LISTED COMPONENTS AND MEET ALL N.E.C. STANDARDS

NO.	REVISION	DATE	BY
1		XX/XX/XX	-
2		XX/XX/XX	-
3		XX/XX/XX	-
4		XX/XX/XX	-
5		XX/XX/XX	-
6		XX/XX/XX	-
7		XX/XX/XX	-
8		XX/XX/XX	-
9		XX/XX/XX	-
10		XX/XX/XX	-

MARATHON
CANOPY SYSTEM CIRCUIT LAYOUT

36" FASCIA 5.5" STRIPE 42" ID 22" LETTER -" DIESEL

JOB NO: 35-94719-00
DRAWN BY: JEREMY DICKASON
DATE: 01/23/2024
DRAWING NO: 35-94719-MA

SHEET NO: 1
OF: 1



Marathon

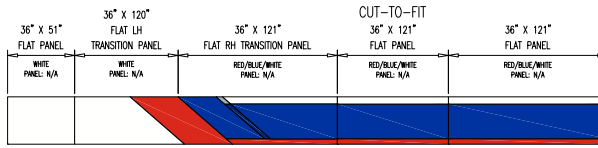
Image Brand Book

Requestor:

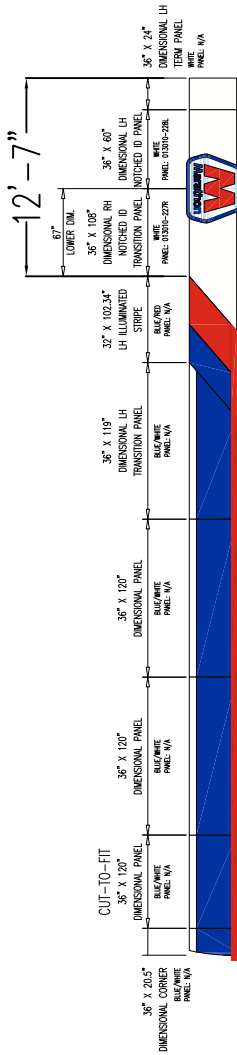
Jobber:

Dealer:

Site Address:

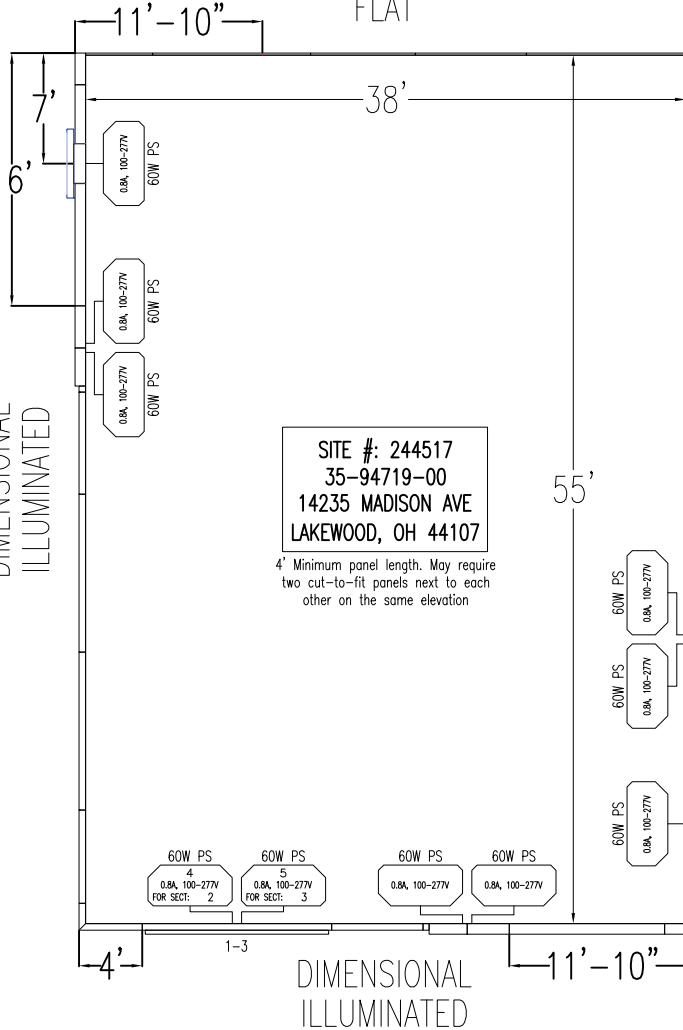


NON-ILLUMINATED
FLAT



42" ID LOGO

DIMENSIONAL
ILLUMINATED

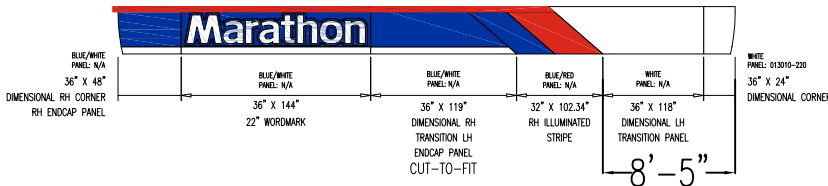
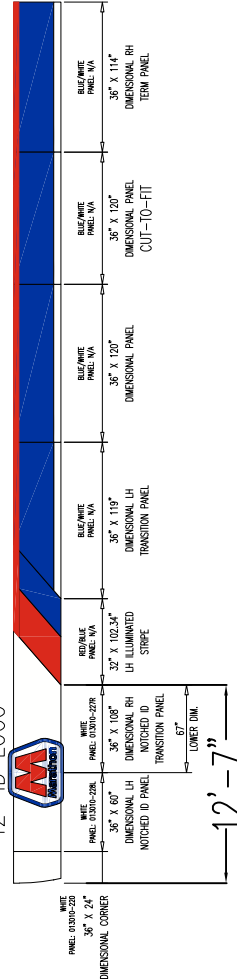


SITE #: 244517
35-94719-00
14235 MADISON AVE
LAKEWOOD, OH 44107

4' Minimum panel length. May require two cut-to-fit panels next to each other on the same elevation

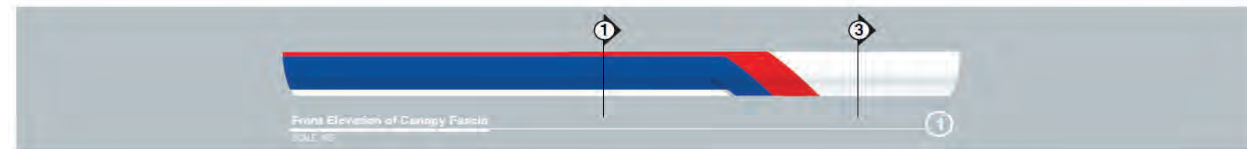
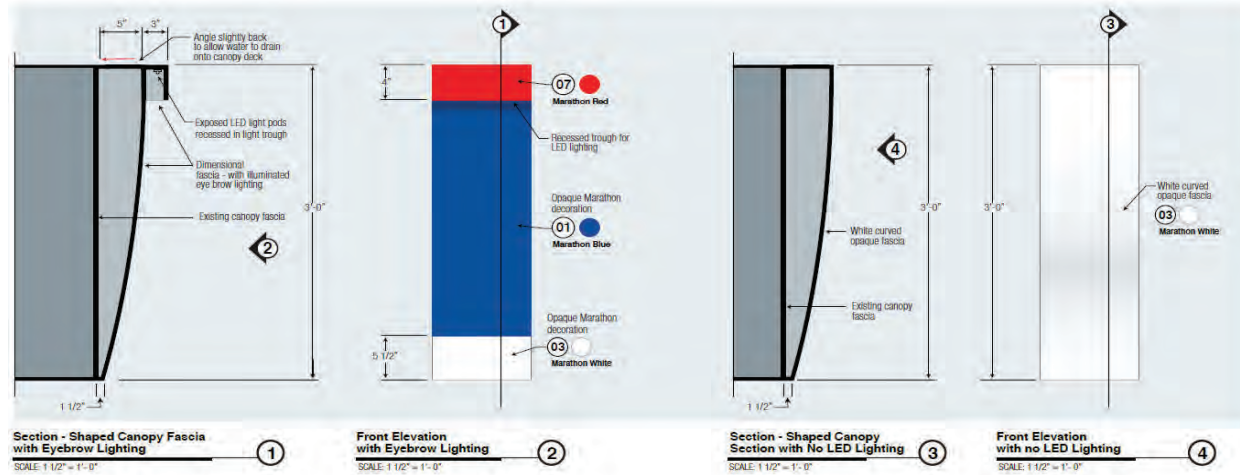
DIMENSIONAL
ILLUMINATED

42" ID LOGO

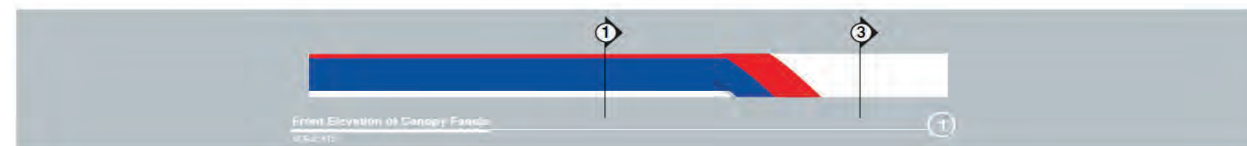
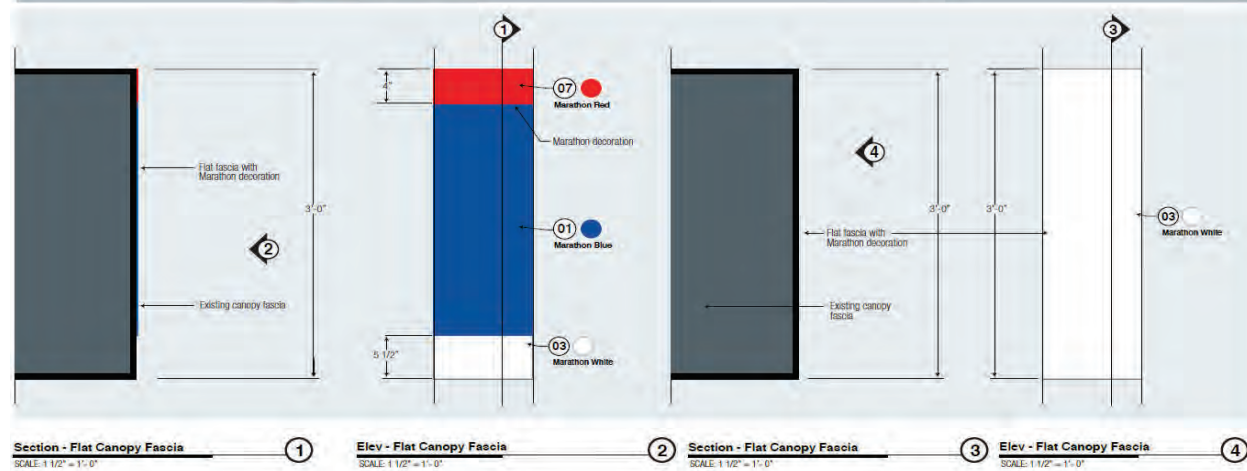


Canopy Details

DIMENSIONAL



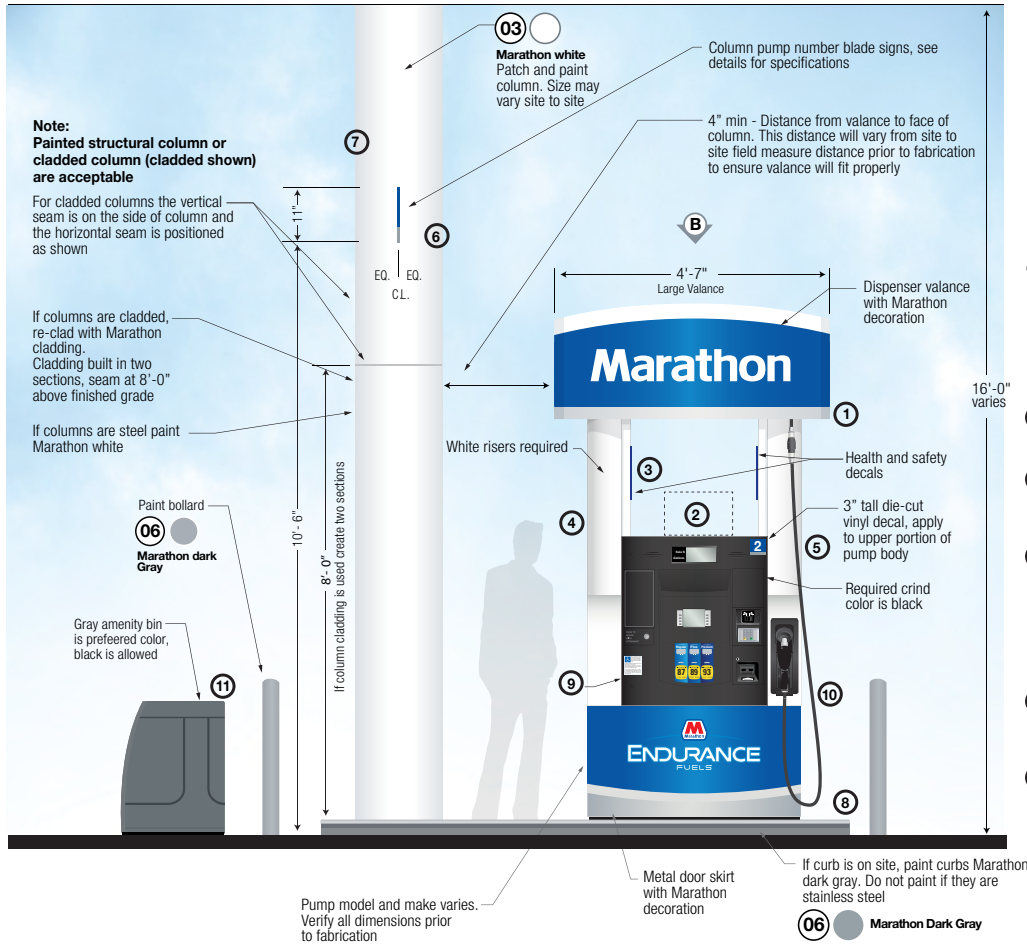
FLAT



Dispenser Layout



Fuel Islands



Typical Pump Island Elevation

SCALE: 1/2" = 1'-0"

A

Dispenser Notes:

- Dispensers should be cleaned regularly and have an uncluttered appearance. Discretionary dispenser signage should be limited, and all must be professionally produced by approved suppliers.
- Help maximize the impact of the Marathon image project by having contractor remove all old decals and clean the entire dispenser before applying the new image. Replace damaged risers, facings on dispenser.

Fuel Island Legend:

1 Valance

Marathon aluminum proprietary shape decorated valance. Verify distance between dispenser riser and column prior to fabrication to ensure the valance will fit properly. Follow visual graphic standards. Use only approved Marathon suppliers. Verify all site conditions prior to fabrication.

2 valance options: Bent metal valance and internally illuminated valance.

2 Pump Topper

Use approved pump toppers. See Marathon reimage team for standard.

3 Safety Decal

Comply with all safety warning information that is required on dispenser. If damaged these decals should be replaced.

4 Dispensers

See image standard dispenser drawings. Add new polycarb to the bezel area of dispensers if these areas are damaged. Reapply safety decals as needed.

Note:
Required riser colors: White
Required crind color: Black

5 Pump Number Decals

Pump number decal to be installed on dispenser as shown in dispenser section. Verify all numbers before fabrication.

6 Fuel Blade Sign

Blade signs should be visible for both the consumer and C-Store. See details and guidelines in this section for blade signs.

7 Canopy columns

Clean, repair, prime and paint columns Marathon white. Columns that are unpainted brick or natural stone will be excused from the Marathon column color decoration. All other canopy column materials will be imaged to Marathon color scheme or must be approved through the exception process with the Marathon reimage team.

There are 2 column options:

- Painted structural steel columns are acceptable if they are in good condition.
- Cladged columns are an acceptable option.

8 Curbs, Island Forms & Bollards

All bollards in the fueling area will be painted Marathon Dark Gray. Do not paint bollards if they are stainless steel. Island forms are painted Marathon Dark Gray.

Stainless steel and concrete curbs are acceptable substitutes to painting Marathon dark gray.

Horizontal surface of the island must be natural concrete (preferred) or painted Marathon dark gray or can be natural stone.

9 ADA Decal

ADA decal location, apply to designated dispenser (only required on one pump on forecourt).

10 Grade Labels, Safety decals and other Dispenser Decals

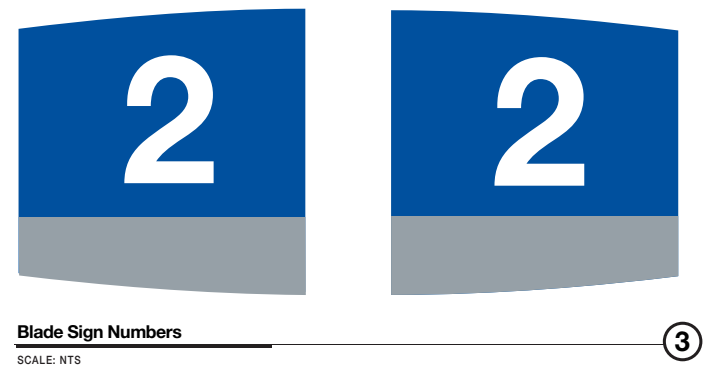
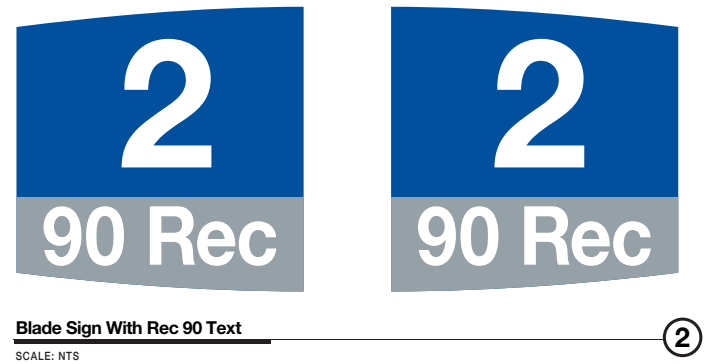
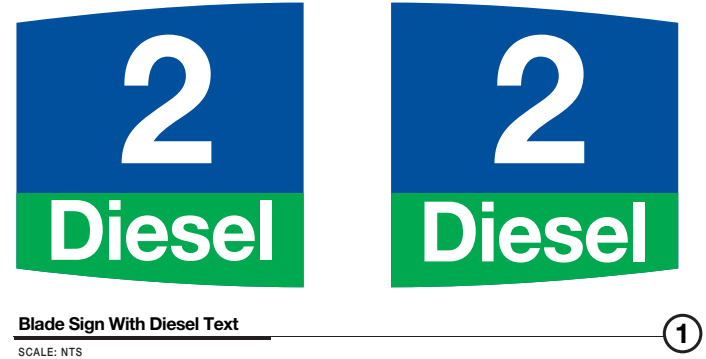
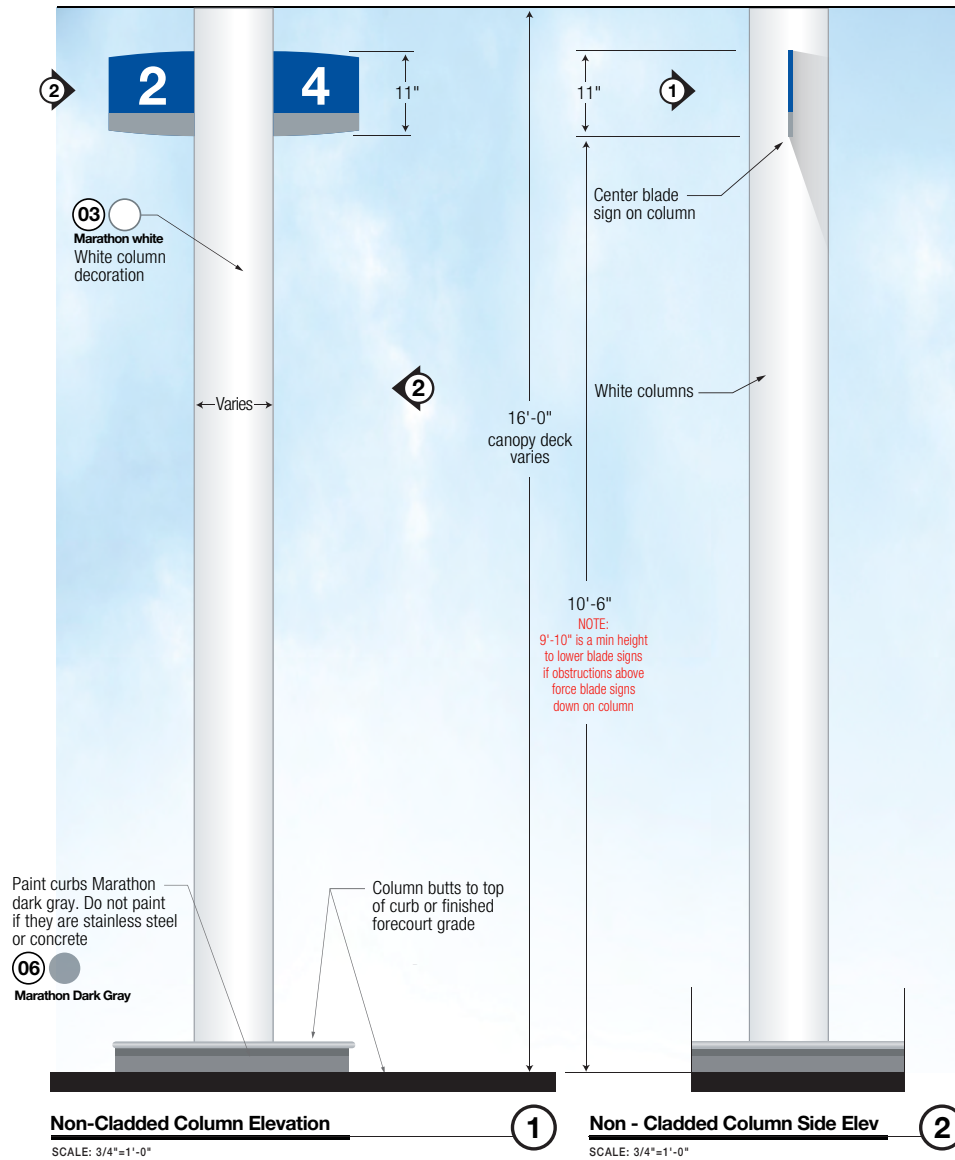
Use approved grade and safety decals.

11 Amenity Units

Use approved amenity units. Amenity unit should be located near each dispenser. Gray is the required color.

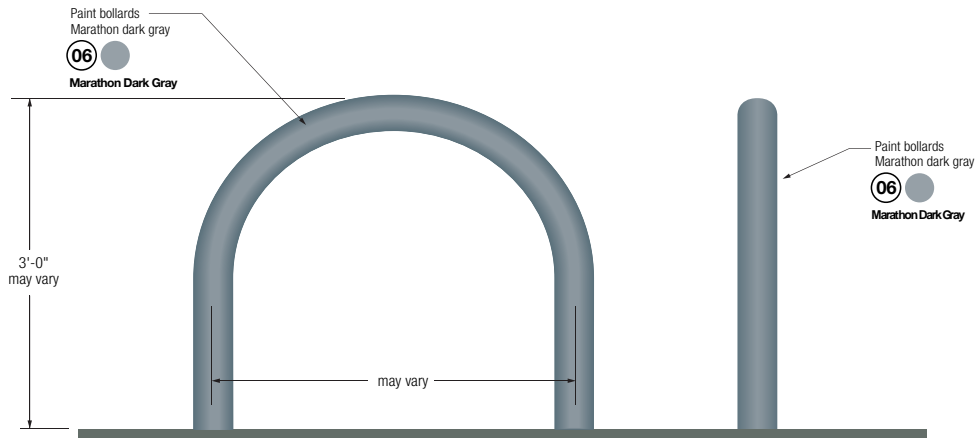
Canopy Columns

Blade Signs



Island Bollards

Light Poles



Bollards under the canopy in the fueling area should be painted in one color (Marathon dark gray), unless the finish is stainless steel.

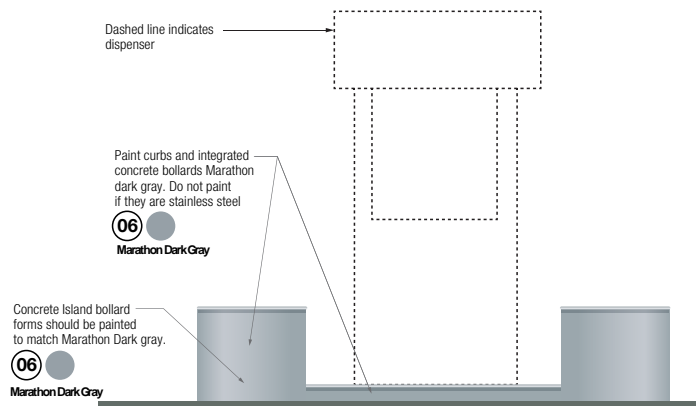
Fuel Island bollard - front elevation - typical arch shape (E)

SCALE: 1" = 1'- 0"

Side elevation - typical arch shape (F)

SCALE: 1" = 1'- 0"

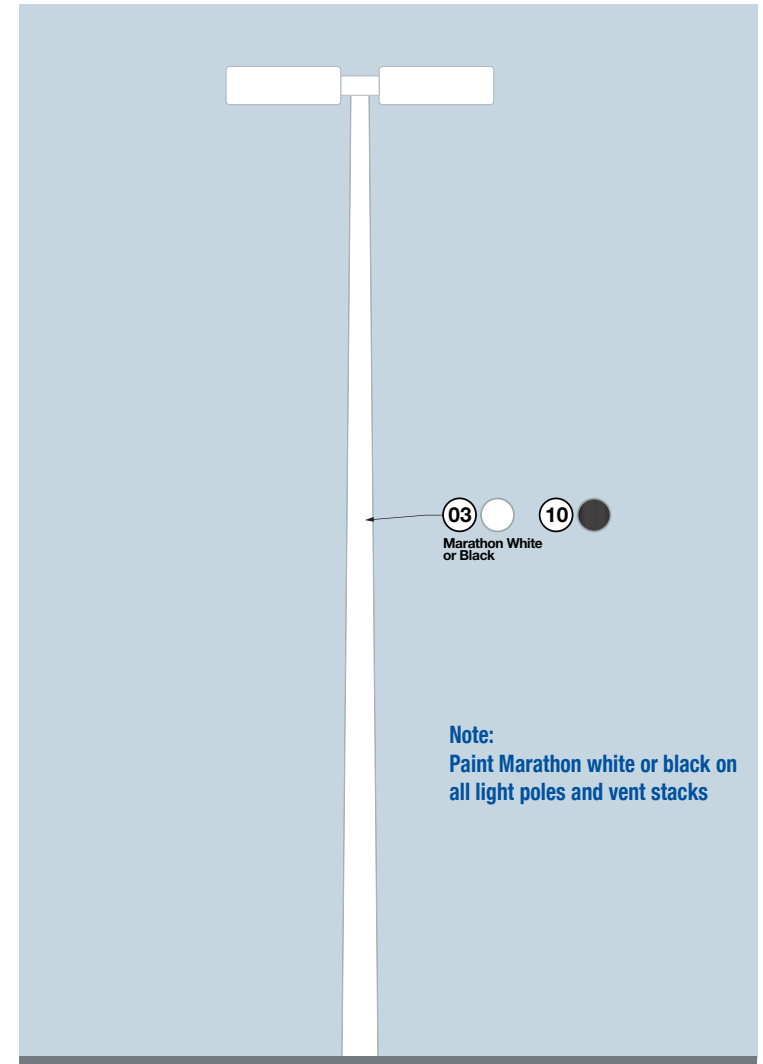
NOTE: Patch and repair damaged on bollard.



Note:
Stainless steel and concrete curbs are acceptable substitutes to painting Marathon dark gray.

Fuel Island concrete bollard - front elevation (G)

SCALE: 1" = 1'- 0"





Note:
Paint Marathon white or black on all light poles and vent stacks



Typical light pole elevation (A)



SCALE: NTS



Color Specs

	01	
Marathon Blue		Paint Spec
Material / Color Match Pantone 286 C Match 3M Film - 3630-157 ACM - Special Match Color		Sherwin Williams RAL5002
		Color Usage on Site Canopy Fascia, Dispenser, Blade Sign, MID Panels, Store Fascia

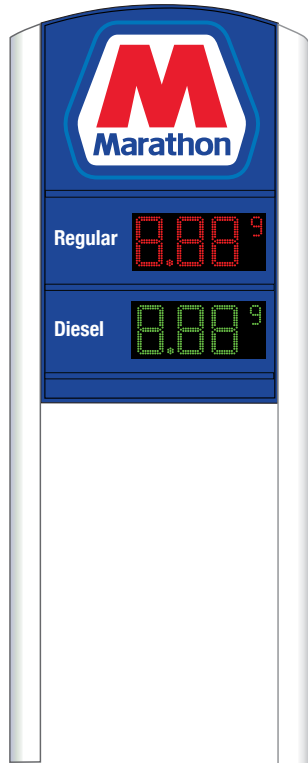
	03	
Marathon White		Paint Spec
Material / Color Match Pantone 11-0601 TCX Bright White		Sherwin Williams SW7006 Extra White Satin Finish
		Color Usage on Site Canopy Columns, Site Poles, Dispenser, MID, Store Walls, Vinyl on Blade Signs, Store Sign Graphics

	03A	
Marathon Canopy Deck White		Paint Spec
Material / Color Match Pantone 11-0601 TCX Bright White		Sherwin Williams SW7005 Pure White Satin Finish
		Color Usage on Site Under Canopy Deck

	06	
Marathon Dark Gray		Paint Spec
Material / Color Match Pantone Cool Gray 10 C		Sherwin Williams SW7068 Grizzle Gray Satin Finish
		Color Usage on Site Canopy Island Curbs, Bollards

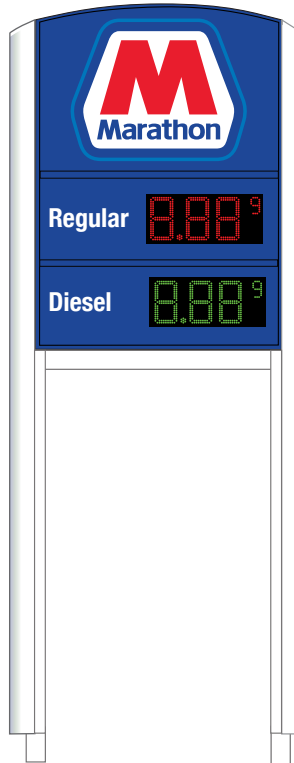
	10	
Marathon Black		Paint Spec
Material / Color Match Black 6 C Match		Sherwin Williams SW6258 Tricorn Black Satin Finish
		Color Usage on Site Diesel Columns, Diesel Canopy Deck

MID Signs



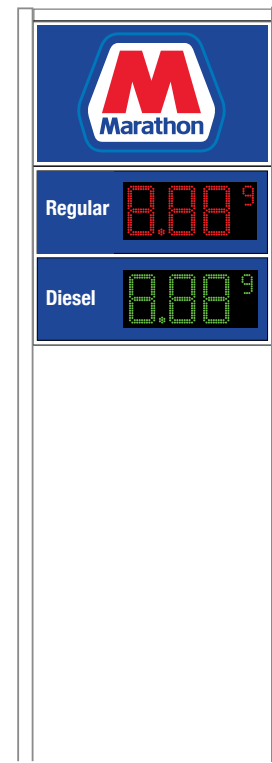
V10

SCALE: NTS



V17

SCALE: NTS



V08

SCALE: NTS



HI-RISE

SCALE: NTS

Please contact Everbrite for price sign quotes.

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Approved Vendors



Canopy fascia, channel letters, column cladding, lane identifiers, dispenser valance, risers, bezel, lower door, and island equipment

MarathonQuotes@federalheath.com

Blair Boyd

Email: bboyd@federalheath.com

Phone: 903-589-2163

Danielle Sanders

Email: dsanders@federalheath.com

Phone: 903-589-3089

Jalyn Stone

Email: jstone@federalheath.com

Phone: 903-589-3090

Renee Smith

Email: rsmith@federalheath.com

Phone: 903-589-2156



Price signs, high rise signs, and electronic message centers

MarathonBrands@Everbrite.com

Josh Scott

Email: jscott@everbrite.com

Phone: 414-529-7274

Brianna Snell

Email: bsnell@everbrite.com

Phone: 414-529-7214

Adam Mikels

Email: amikels@everbrite.com

Phone: 414-529-7287

Keisa Stewart

Email: kstewart@everbrite.com

Phone: 414-529-7177

Ricardo Gibbs

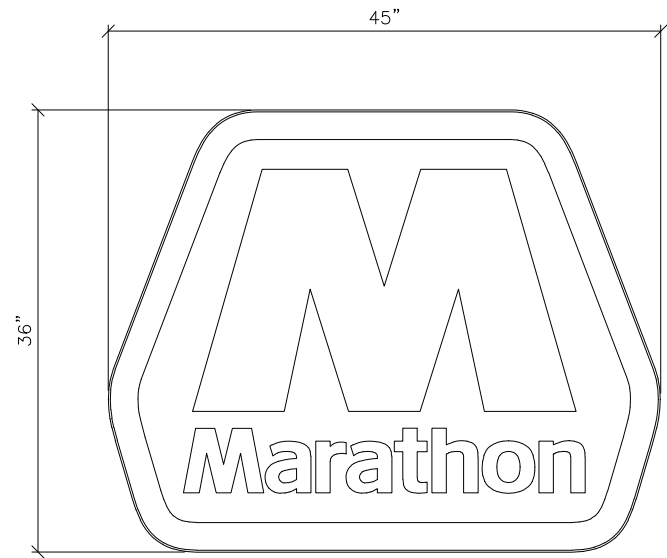
Email: rgibbs@everbrite.com

Phone: 414-427-2606

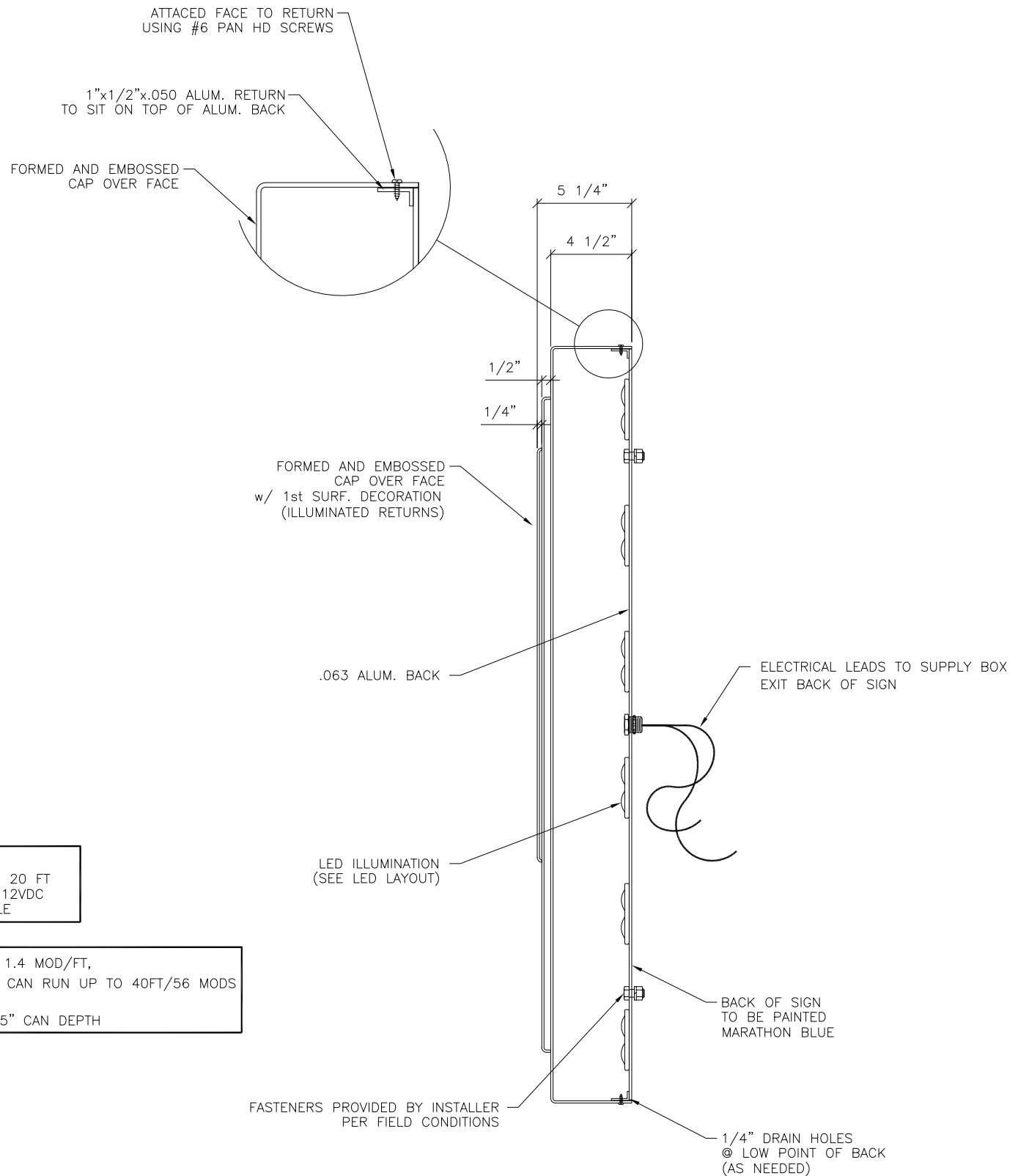
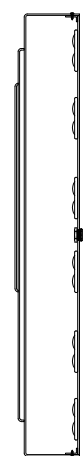
Steve Lowe

Email: slowe@everbrite.com

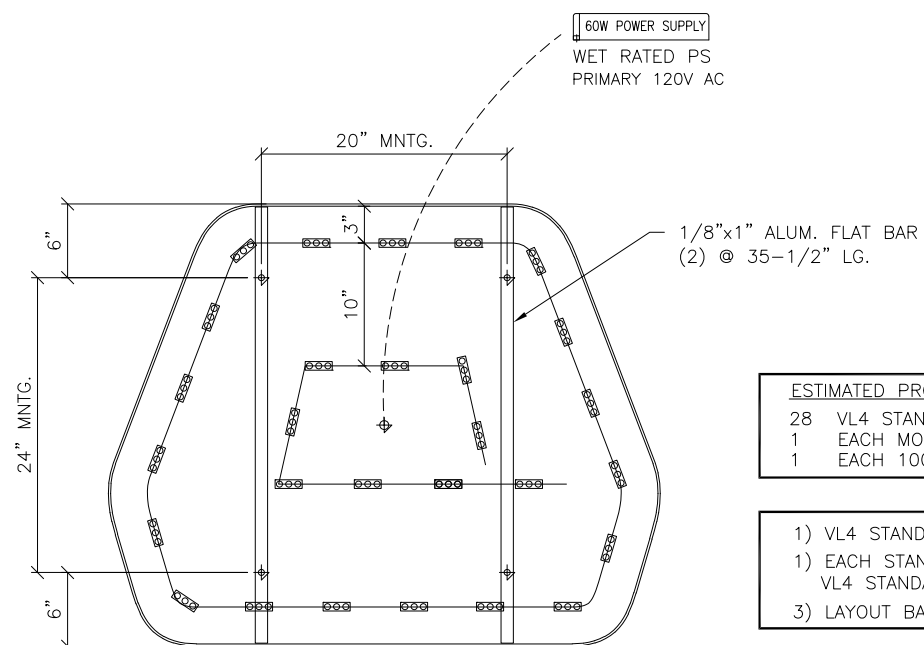
Phone: 414-529-7652



FORMED CANOPY CS SIGN ELEVATION VIEW
SCALE: 1"=1'-0"



CTS LOGO DETAIL VIEW
SCALE: N.T.S.



ELECTRICAL / LED LAYOUT DETAIL VIEW
SCALE: 1"=1'-0"

ESTIMATED PRODUCT B.O.M. PER SIGN:
28 VL4 STANDARD (7200K) MODULES - 20 FT
1 EACH MODULAR 60 POWER SUPPLY 12VDC
1 EACH 100' ROLL OF JACKETED CABLE

- 1) VL4 STANDARD (7200K) LAID OUT AT 1.4 MOD/FT,
- 1) EACH STANDARD 60W POWER SUPPLY CAN RUN UP TO 40FT/56 MODS VL4 STANDARD (7200K) MODULES
- 3) LAYOUT BASED ON A S/F CABINET 4.5" CAN DEPTH

SIGN SPECIFICATIONS:

SIGN SIZE:
AREA ... CLOSED RECTANGLE 11.2500 SQ. FT.
ACTUAL SIZE ... 36" x 45"
APPROXIMATE WEIGHT ... TBD
DESIGNED WINDLOAD ... 110 MPH (3 SEC. GUST EXPOSURE C)
COMPLIANT w/ NATIONAL BUILDING CODES & STANDARDS
(IBC, UBC, BOCA, AISC, ASCE7, ACI, & ALUM. DSGN. MANUAL)

ELECTRICAL:
AMPS ... 1.2 AMPS
CIRCUITS ... (1) 20
VOLTS ... 120

COLORS:
REFER TO COLOR RENDERING
FOR COLOR AND GRAPHIC SPECS

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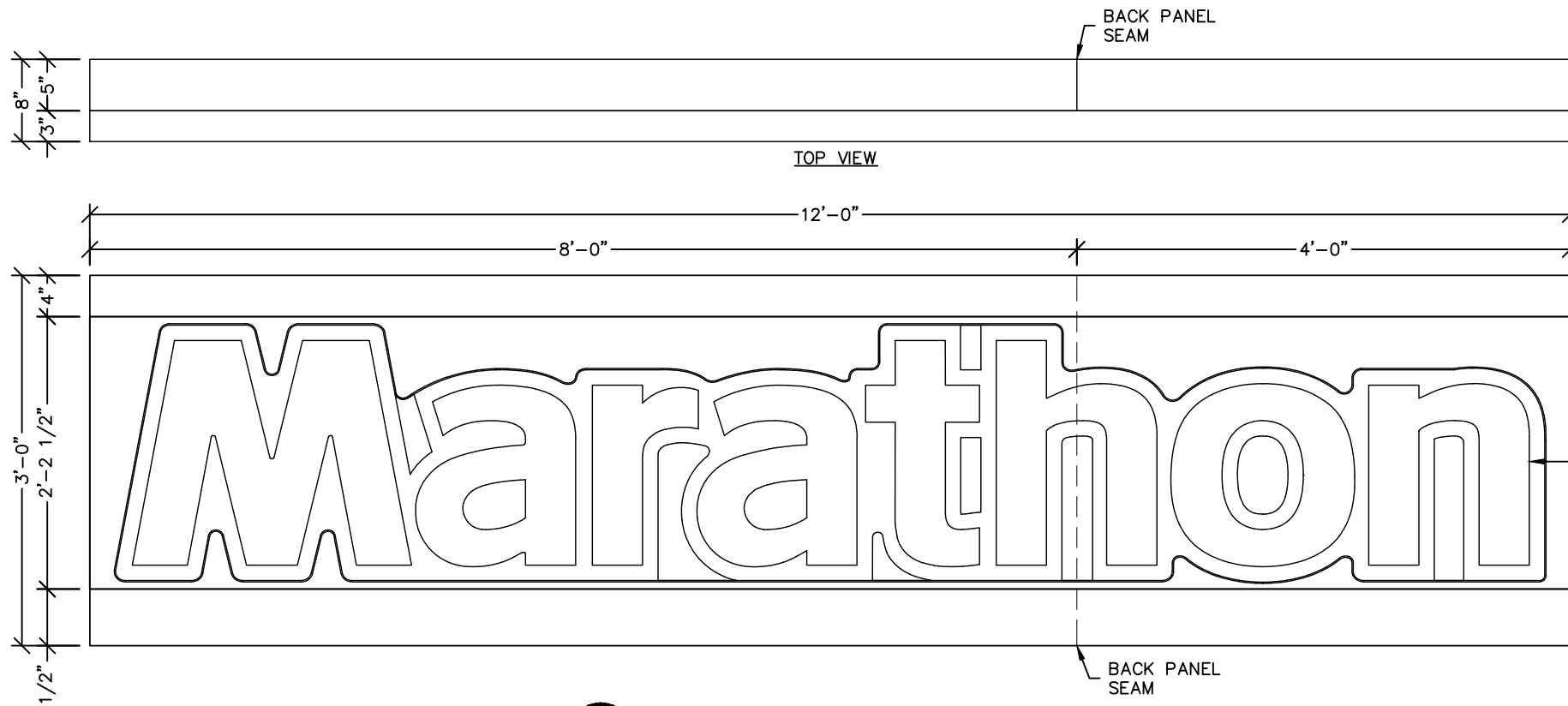
NO.	REVISIONS	DATE	BY

36" MARATHON CANOPY LOGO SGN
CANOPY - VACUUM FORMED

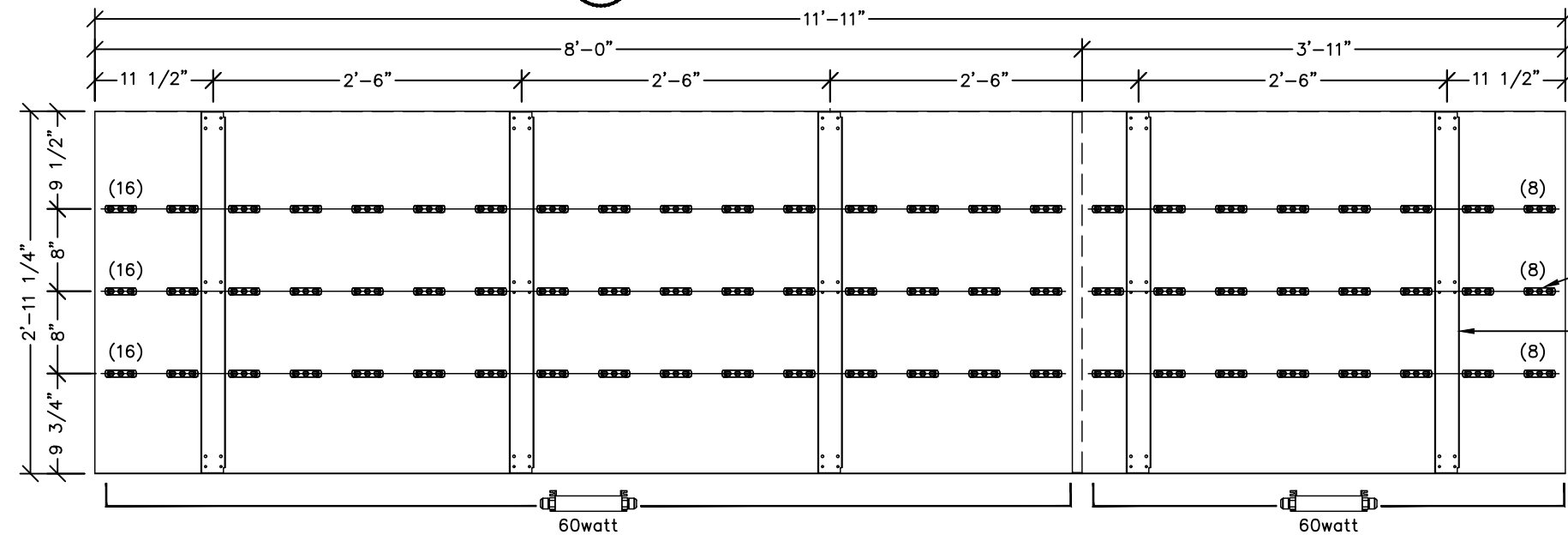
LED ILLUMINATION

JOB NO: 224061	A_Williams
DRAWN BY: R_RIOS	06.30.22
DRAWING NO: Ma_36_LG_12V	

SHEET NO: 1
OF: 1



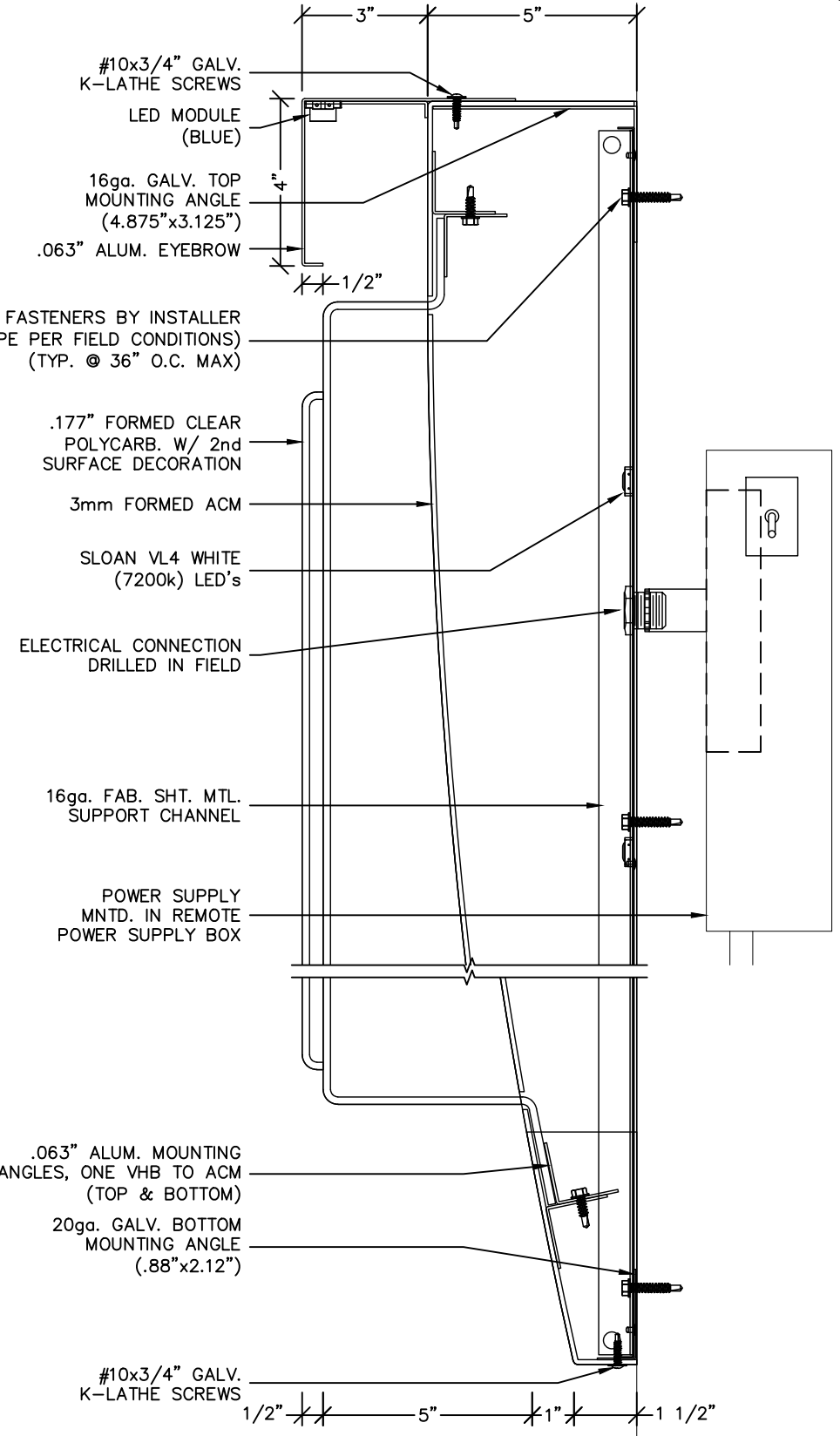
1 36" CANOPY W/ EYEBROW ELEVATION
SCALE: 3/4" = 1'-0"



2 BACK VIEW / LED LAYOUT
SCALE: 3/4" = 1'-0"

ESTIMATED PRODUCT B.O.M. PER SIGN.
72 SLOAN VL4 STANDARD (7200k) MODULES - 48 FT.
2 EACH MODULAR 60w POWER SUPPLY 12vdc.
1 EACH 100' ROLL OF JACKETED CABLE.

1. SLOAN VL4 STANDARD (7200k) LAID OUT AT 2.5 MOD/FT.
2. EACH STANDARD 60w POWER SUPPLY CAN RUN UP TO 40FT/56 MODS.
3. LAYOUT BASED ON A S/F CABINET AT 5" DEEP.



3 SECTION DETAIL
SCALE: 3/4" = 1'-0"



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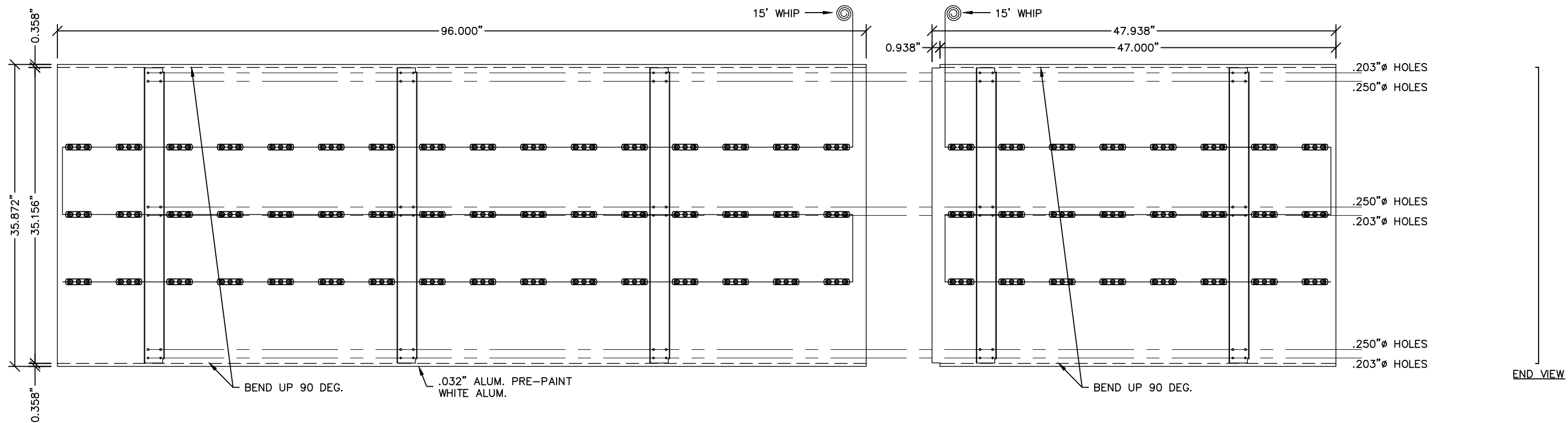
UL Underwriters Laboratories Inc. **nfc** ELECTRICAL TO USE U.L.-48 LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

NO.	REVISIONS	DATE	BY
1	ADDED LED SPACING	5/20/22	DD
2	DESIGN REVISIONS	10/11/22	DD
3	REDUCED 48" PART BY .0625"	11/11/22	DD
4			
5			
6			



DESIGN NO: 36" CANOPY C	PROJECT MGR.: C. TUOHY
DRAWN BY: D. DUPREE	DATE: MAY 3, 2022
JOB NO: 35-75041-00	

SHEET NO: S-1
OF: 2



1 36" CANOPY W/ EYEBROW BACK LAYOUT
SCALE: 1" = 1'-0"



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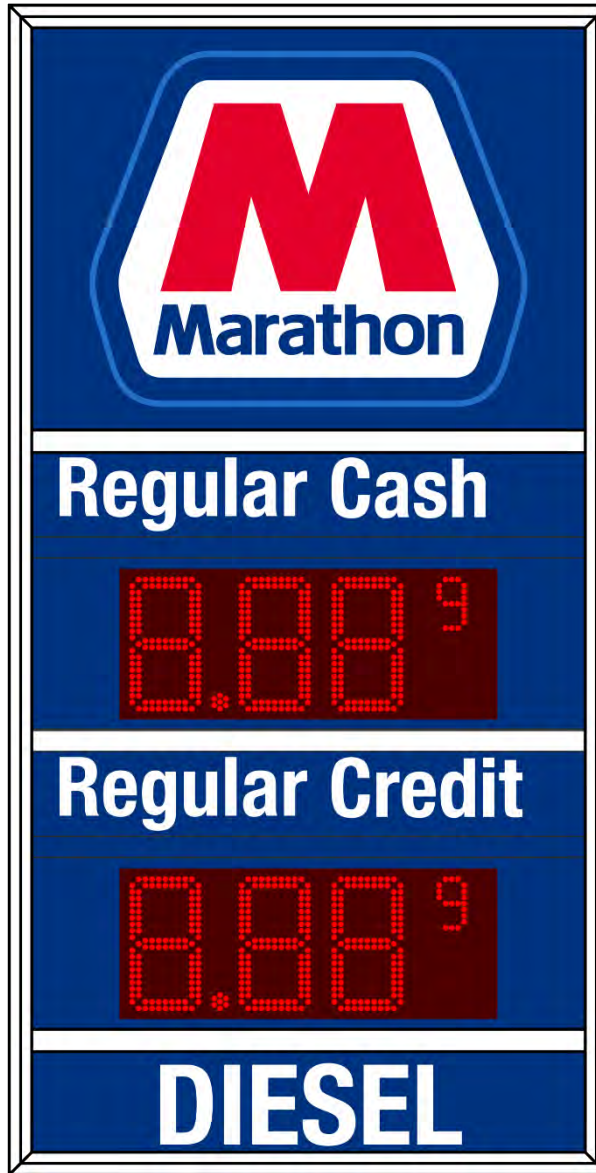
Underwriters Laboratories Inc.
ELECTRICAL TO USE U.L.-48 LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

NO.	REVISIONS	DATE	BY
1	ADDED LED SPACING	5/20/22	DD
2	DESIGN REVISIONS	10/11/22	DD
3	REDUCED 48" PART BY .0625"	11/11/22	DD
4	-	-	-
5	-	-	-
6	-	-	-
7	-	-	-



DESIGN NO: 36" CANOPY C	PROJECT MGR.: C. TUOHY
DRAWN BY: D. DUPREE	DATE: MAY 3, 2022
JOB NO: 35-75041-00	

SHEET NO: P-1
OF: 2



Detailed Information

Standard Windload
 Retainer Quantity: 2
 Retainer Size: 104.625"H X 53.625"W
 Retainer Type: Hinged
 Existing Cab: 105"H X 54"W
 Area: 38.96 SQ FT
 Retainer Color: Sky White

Detail 1: Logo
 VO: 36"H X 49.625"W
 Marathon Endurance Logo Flat Emboss Face

Detail 2: Priceline
 VO: 51.625"H X 49.625"W
 Digit Type: Lumidigit 4 (Flat Faces)
 Priceline 1: Red 12", Stacked
 Priceline 2: Red 12", Stacked

Detail 3: Text
 VO: 9"H X 49.625"W
 Marathon Endurance Flat Imprint Face
 Text Line 1: DIESEL

1 - 20 Amp Circuit(s) Required
 LEDs Total Draw: 2 Amps

Est. Crated Weight: 417 pounds
 Crate HxLxW: 67x112x21"
 Freight Class: 175

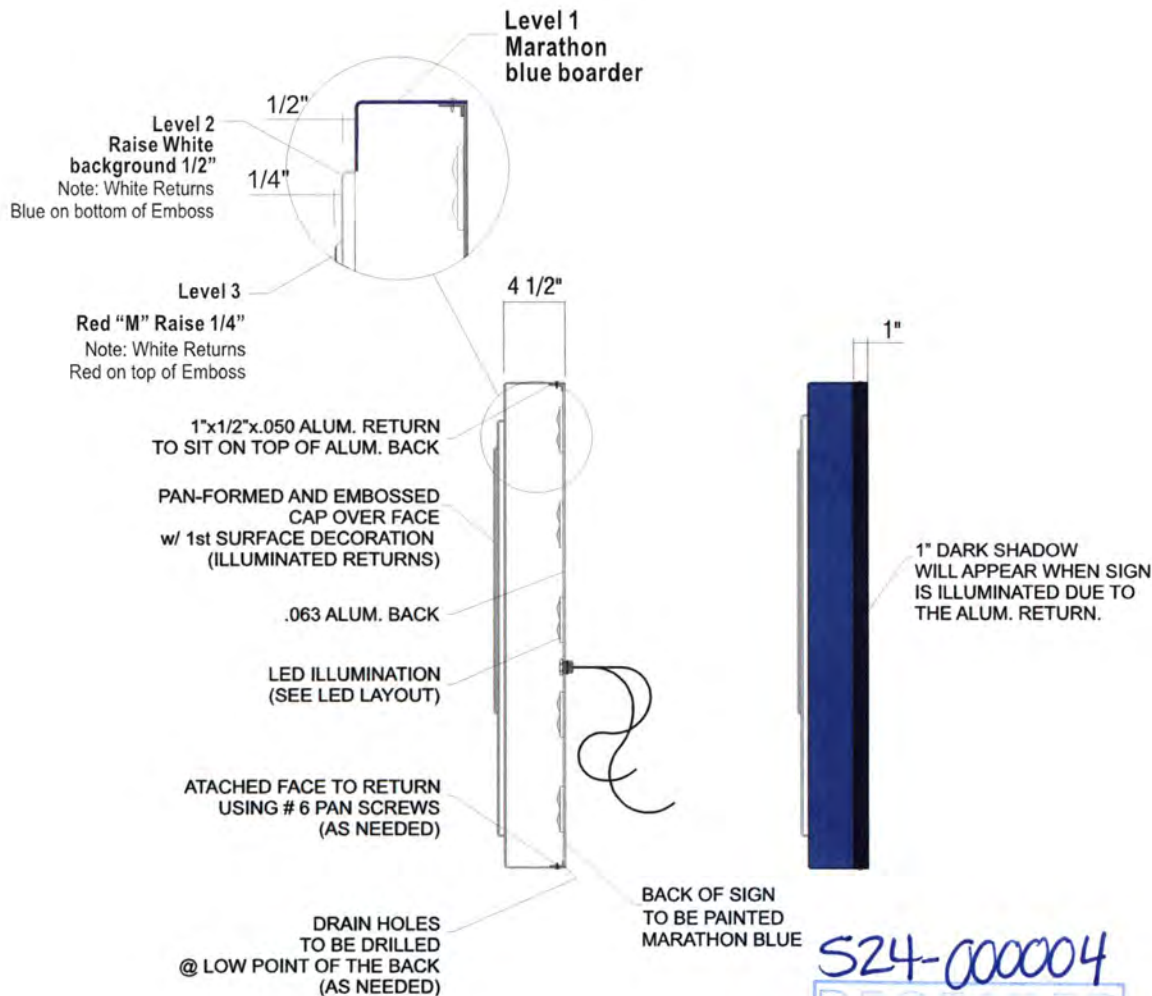
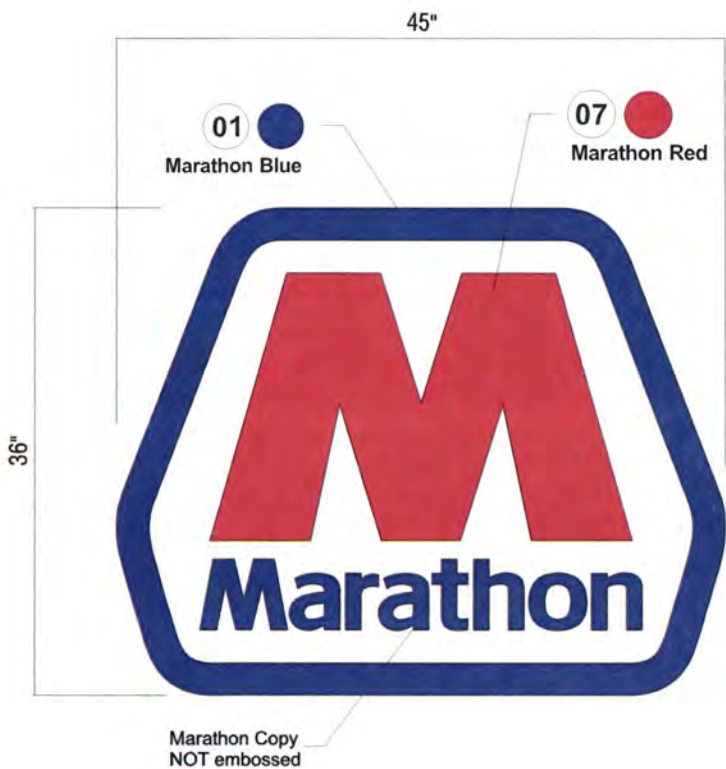


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Customer: Marathon Endurance		Description:	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer. Please read carefully, check appropriate box and fax back to Everbrite: <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New Sketch Required
Project No: PP497636A	Scale: N/A		
Date: 01/19/2024	Drawn By: RG		
Location & Site No: , 14235 Madison Ave, Lakewood, OH, 44107-4527		Version:1	SIGNATURE _____ DATE _____

MARATHON 36" LOGO SIGN

Pan Formed & Embossed Illuminated Logo
 Cap Over Face to extend beyond canopy fascia.
 .177 White Polycarbonate w/ 1st Surface Decoration



Color specifications and usage

	01		07
Marathon Blue		Marathon Red	

NOTE: FACES TO HAVE UV CLEAR COAT #L8-5168

524-000004
 FEB 12 2024
 By Mail

* Face
Change
Only. *



Detailed Information

Standard Windload
Retainer Quantity: 2
Retainer Size: 104.625"H X 53.625"W
Retainer Type: Hinged
Existing Cab: 105"H X 54"W
Area: 38.96 SQ FT
Retainer Color: Sky White

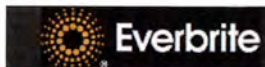
Detail 1: Logo
VO: 36"H X 49.625"W
Marathon Endurance Logo Flat Emboss Face

Detail 2: Priceline
VO: 51.625"H X 49.625"W
Digit Type: Lumidigit 4 (Flat Faces)
Priceline 1: Red 12", Stacked
Priceline 2: Red 12", Stacked

Detail 3: Text
VO: 9"H X 49.625"W
Marathon Endurance Flat Imprint Face
Text Line 1: DIESEL

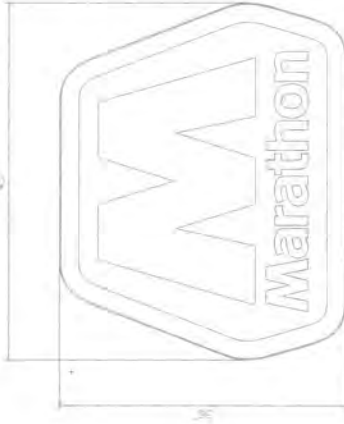
1 - 20 Amp Circuit(s) Required
LEDs Total Draw: 2 Amps

Est. Crated Weight: 417 pounds
Crate HxLxW: 67x112x21"
Freight Class: 175

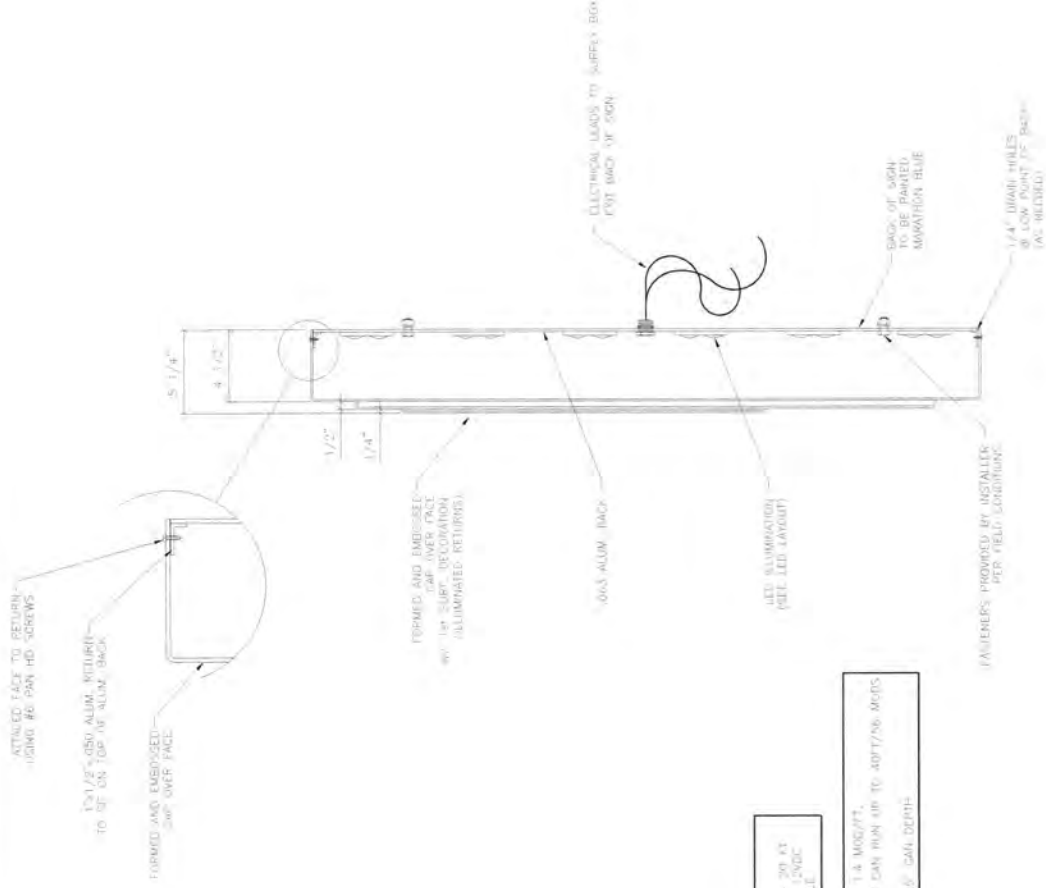


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Customer: Marathon Endurance		Description:	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer. Please read carefully, check appropriate box and fax back to Everbrite: <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New Sketch Required
Project No: PP497636A	Scale: N/A		
Date: 01/19/2024	Drawn By: RG		
Location & Site No: , 14235 Madison Ave, Lakewood, OH, 44107-4527		Version:1	SIGNATURE _____ DATE _____

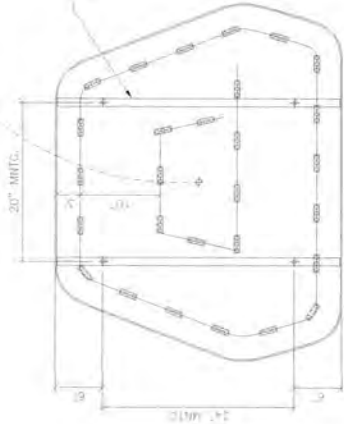


FORMED CANOPY CS SIGN ILLUMINATION VIEW
SCALE: 1"=1'-0"



CS LOGO DETAIL VIEW
SCALE: N.T.S.

NEW POWER SUPPLY
WET RATED PS
PRIMARY: 120V AC



ELECTRICAL / LED LAYOUT DETAIL VIEW
SCALE: 1"=1'-0"

SIGN SPECIFICATIONS:

SIGN SIZE: CLOSED RECTANGLE
 AREA: 11,2500 SQ. FT.
 ACTUAL SIZE: 45" X 36"
 APPROXIMATE WEIGHT: TBD
 DESIRED WINDLOAD: 171.66PSF (1 SEC. QWT EXPOSURE 1)
 (REC. 303; BUCKINGHAM ASSELT. 24.8 ALUM. DESIGN MANUAL)

ELECTRICAL:
 WIRING: 12-2 AMP;
 CIRCUITS: (1) 20
 VOLTS: ... 120

SOURCES: COLOR RENDERING
 FOR COLOR AND GRAPHIC SPLICES

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UL Underwriters Laboratories Inc. **npf** ELECTRICAL TO USE UL-49 LISTED COMPONENTS AND MEET ALL P.E.C. STANDARDS

FEDERAL HEALTH COMMUNICATIONS

1500 N. BOLTON, JACKSONVILLE, TX 75766
 (303) 589-2100

ESTIMATED PRODUCT B.O.M. PER SIGN:
 78 1/4" STANDARD (7200K) MODULES - 20 KT
 1 EACH MODULAR 60 POWER SUPPLY (2VDC)
 1 EACH 100' ROLL OF JACKETED CABLE

- 1) 1/4" STANDARD (7200K) LAMP OUT AT 1.4 MOU/FT.
- 1) EACH STANDARD 60W POWER SUPPLY CAN RUN UP TO 40FT/756 MOUS
- 1/4" STANDARD (7200K) MODULES
- 2) LAYOUT BASED IN A 5'X CABINET 4.5' BAR DEPTH

JOB NO.	224061	DRAWN BY	R_RIOS	DRAWING NO.	Ma_36_LG_12V
DESIGNED BY	A_Williams	CHECKED BY		DATE	06.30.22
SHEET NO.	1	TOTAL SHEETS	1		

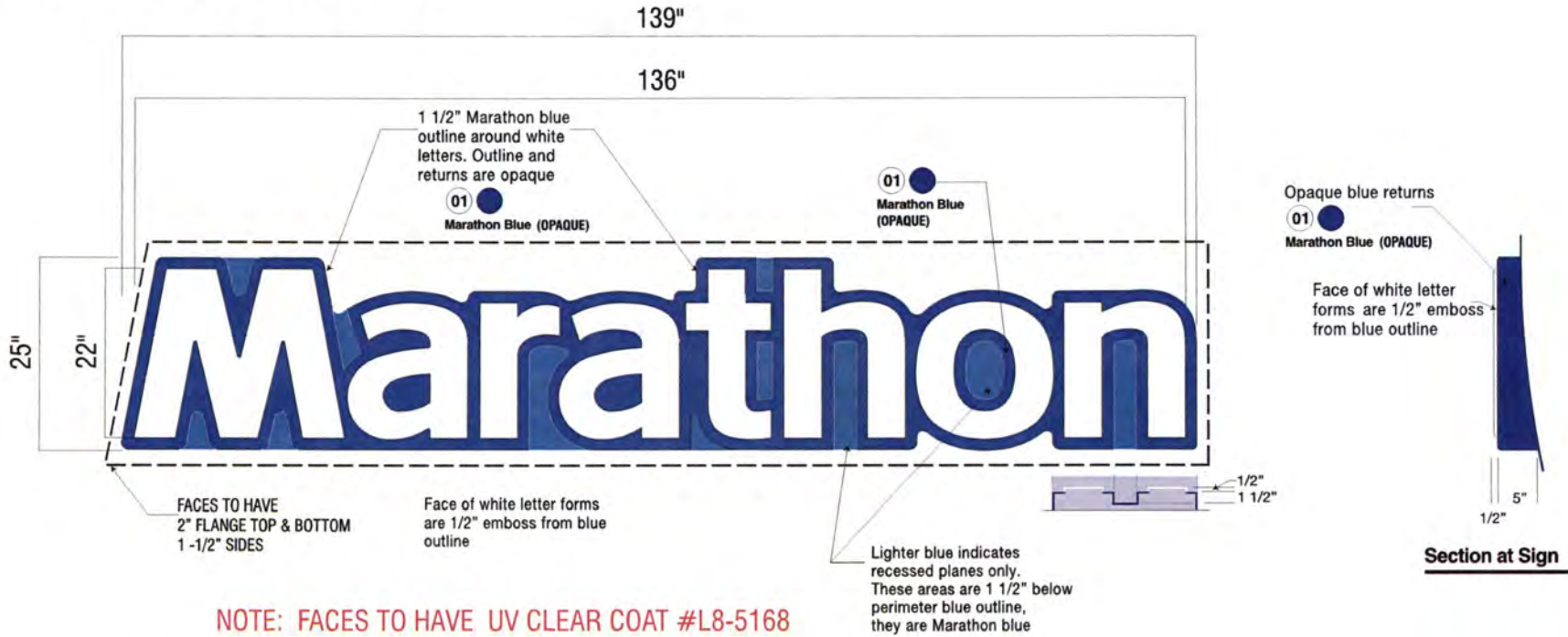
36" MARATHON CANOPY LOGO SIGN
 CANOPY - VACUUM FORMED
 LED ILLUMINATION

NO.	REVISIONS	DATE	BY

MARATHON 25" Cloud Word Mark Sign

PAN FORMED CAP OVER FACE w/ EMBOSSED COPY

.177 WHITE POLY w/ 1st SURF. DECORATION



Color specifications and usage

01

Marathon Blue
(OPAQUE) #1955 Hidding Gray



VISUAL COMMUNICATIONS
www.FederalHeath.com

1500 North Bolton Jacksonville, Tx75766
3) 589-2100 (800) 888-1327 Fax (903) 589-2101

Rev:1 Revise faces to be white poly w/1st surf. Decoration RRR 06.27.22
Rev:2 Added debossments to letter "M" RRR 07.01.22

THIS DRAWING IS YOUR FINAL PROOF: IT SUPERSEDES ALL VERBAL AND WRITTEN COMMUNICATION BY SIGNING BELOW YOU ARE AUTHORIZING US TO MANUFACTURE TO THE ABOVE SPECIFICATION

Client Approval/Date: _____
Colors Depicted in This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Account Rep: _____
Project Manager: - A. Williams

Drawn By: Rrios

Underwriters Laboratories Inc. (UL) nfc ELECTRICAL TO USE LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.S. BRAND ARTICLES AND OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location: _____

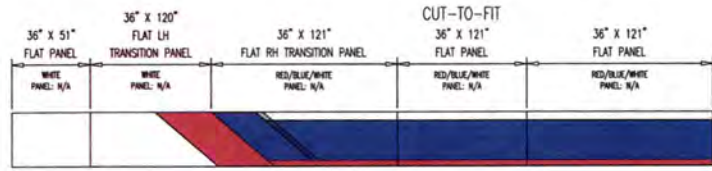
Date: 04.21.22

Sheet Number: 1 of 1

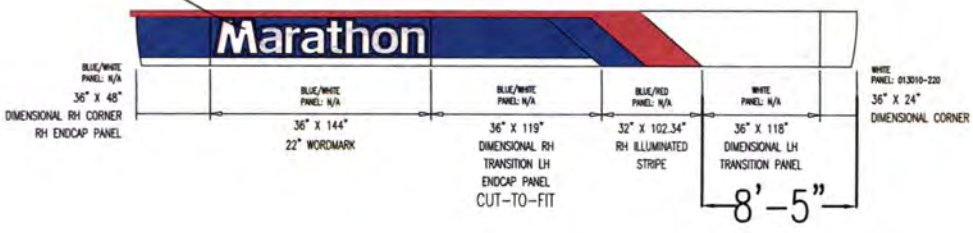
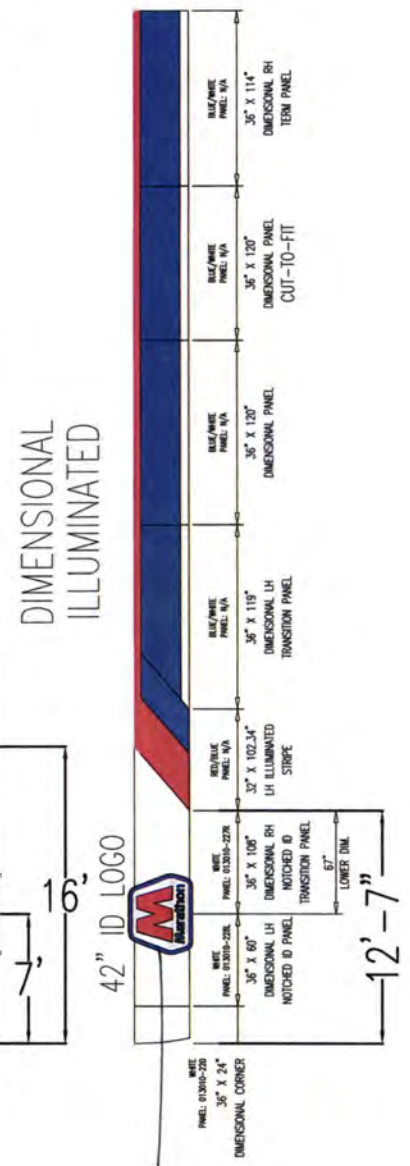
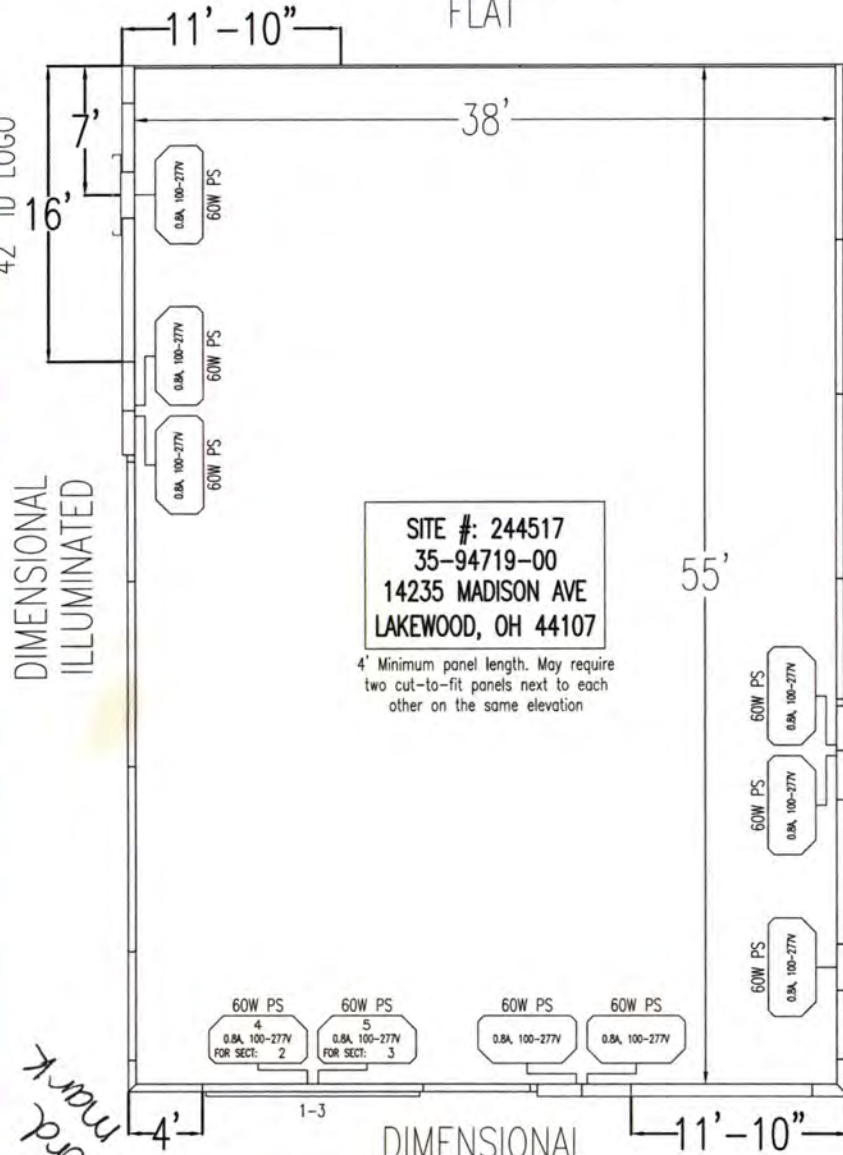
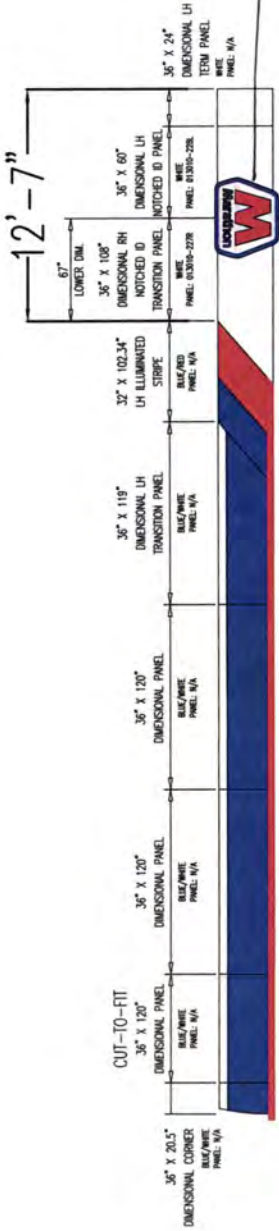
Design Number: _____

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Logo



NON-ILLUMINATED
FLAT



Logo

Valero



Valero

REGULAR
CASH

2.59 ⁹/₁₀

REGULAR
CREDIT/DEBIT

2.59 ⁹/₁₀

DIESEL

OPEN

- Beer
- Wine
- CBD



ATM

THAT'S THE WAY TO LIVE

BUD LIGHT

Valero



Valero

REGULAR
CASH

2.59 ⁹/₁₀

REGULAR
CREDIT/DEBIT

2.59 ⁹/₁₀

DIESEL

OPEN

- Beer
- Wine
- CBD





Valero

REGULAR
CASH

2.59⁹/₁₀

REGULAR
CREDIT/DEBIT

2.59⁹/₁₀

DIESEL



Valero

Valero logo and price display showing 2.599 and 2.539.

SERVICES CTR.



Fernside

Valero
Clothes & Shoes





Valero

REGULAR
CASH

2.59⁹/₁₀

REGULAR
CREDIT/DEBIT

2.59⁹/₁₀

DIESEL

Ferndale

Thank You!

THANK YOU!

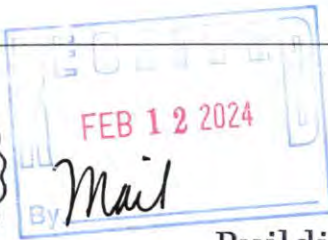
Valero



OPEN

- Beer
- Wine
- CBD





Case #: 524-000004

Building Permit Application

City of Lakewood Division of Housing and Building

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

building.permits@lakewoodoh.net

PROJECT ADDRESS: 14235 Madison Ave, Lakewood OH Suite/Unit #

or **PERMANENT PARCEL NUMBER:** 31422004

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

Who is performing the work? Homeowner OR Contractor

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical * (complete reverse side)

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool/Hot Tub Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm Storm Sewer Refrigeration
 Demolition Paving __Drain__ No Drain Fence __New or __Existing
 Other (Please specify): _____

***VALUATION: (cost of the work) \$** 5000 ***PROJECT SIZE: (in square feet)**

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)

DRAIN IN WORKSPACE (NEW REPLACEMENT EXISTING)

Proposing to rebrand existing Valero fueling station to Marathon inced station by installing new Marathon signs on gas canopy & pole sign by swapping out inserts. See renderings for your reference. We are not touching anything structurally.

PROPERTY OWNER NAME: Claude Al Fahel ***Phone:** 216-374-7529

Business Name (if applicable) Claude Enterprise LLC ***Email:** C.enterprise25@gmail.com

Mailing Address: 14235 Madison Ave City: Lakewood State: OH Zip: 44107

CONTRACTOR CO. NAME: Bazo Construction ***Phone:** 313-584-8842

CONTRACTOR NAME: ***Email:** Bazoconstruction1@gmail.com

Mailing Address: 12645 Delta St City: Taylor State: MI Zip: 48180

ARCHITECT/ENGINEER: n/a Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

12/24/23

DATE

Anticipated Completion Date: TBD

ELECTRICAL PERMIT

Items	Qty	Cost per	Extended cost
Base Fee		\$30.00	\$30.00
Each 120-volt receptacle		3.00	
Each fixture outlet		3.00	
Each outlet or receptacle in excess of 120 volts		12.00	
Motors (each unit): 1/4 HP or less		10.00	
1/3 hp to and including 3/4 HP		15.00	
7/8 HP to and including 5 HP		20.00	
Over 5 HP		25.00	
X-ray machines or equipment		50.00	
Corrections or Alterations		20.00	
Panel, services, related equipment, and disconnects		50.00	
Low voltage smoke and/or fire alarm systems		50.00	
Residential State Fee add 1% - Commercial State Fee add 3%	1%	3%	
Subcontractor Name:		Total	\$

PLUMBING PERMIT

Items	Qty	Cost per	Extended cost
Base Fee		\$30.00	\$30.00
Lavatories, sinks, laundry trays, bathtubs, showers, standpipes, combination fixtures, urinals, water closets, floor drains, area drains, yard drains, refrigerator drains, dishwashers, sterilizers, dental chairs, water filters, ejector, sump pumps, garbage grinders, grease interceptor, and each three feet or fraction thereof of gang shower length, per each unit		3.00	
Gas Piping: For each outlet		5.00	
Each indoor sprinkler head		5.00	
Each outdoor sprinkler head		2.00	
Each inside leader		3.00	
Each air admittance valve		10.00	
Hot water storage tanks: Up to and including 150-gallon capacity		5.00	
151 gallon and up to and including 300-gallon capacity		8.00	
301 gallon and more		10.00	
Each drain or sewer per 100 feet of aggregate length or part thereof according to diameter:			
Up to and including 6 inches in diameter		10.00	
8-inch diameter		15.00	
10-inch diameter		20.00	
12-inch diameter		25.00	
Potable water piping per 100 feet of aggregate length or part thereof (excluding service line governed by Water Dept.)		10.00	
Residential State Fee add 1% - Commercial State Fee add 3%	1%	3%	
Subcontractor Name:		Total	\$

HVAC PERMIT

Unit	Qty	Make	Model	BTU's/Tons of Cooling	Type of Fuel	New or Replacement
Warm Air Furnace						<input type="checkbox"/> New <input type="checkbox"/> Replacement
Boiler						<input type="checkbox"/> New <input type="checkbox"/> Replacement
Unit Heater						<input type="checkbox"/> New <input type="checkbox"/> Replacement
Heat Pump						<input type="checkbox"/> New <input type="checkbox"/> Replacement
Air Conditioner						<input type="checkbox"/> New <input type="checkbox"/> Replacement
*Will the A/C be placed in the side yard? YES or NO *If YES, please attach A/C side yard placement worksheet.						
Solar						<input type="checkbox"/> New <input type="checkbox"/> Replacement
Other						<input type="checkbox"/> New <input type="checkbox"/> Replacement
If new whole house A/C, cost is: \$ _____ Increase in heating BTU's: _____						
Add \$40.00 Base Fee						\$40.00
Residential State Fee add 1% - Commercial State Fee add 3%						1% 3% \$
Subcontractor Name:					Total	\$



RECEIVED

By Kelly McCafferty at 11:08 am, Mar 04, 2024

MAIN (216) 529-6270

FAX (216) 529-5930

building.permits@lakewoodoh.net

www.lakewoodoh.gov

DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107

APPLICATION FOR COMMERCIAL PLAN APPROVAL

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

ALL INFORMATION MUST BE PROVIDED AND LEGIBLE

Project Location [OBC 107.2-2]:
Applicant Information [OBC 107.2-5]
Project Information [OBC 107.2-1]:
Registered Design Professional [OBC 106.2.1]
Certification [OBC 107.2.5]
Fire Protection Systems [OBC 106.1.1.1]
Required Construction Documents [OBC Section 106]



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 04-28-24

Permit No.: BBS24-000024

Applicant Name: Megan Robinson

Project Address: 14538 Detroit Ave.

Project Name: Blossom Cleveland

Project: Applicant proposes more than the allowable window square foot coverage by use of vinyl cut graphics.

F.C.C., LTD.
14518 Detroit Ave.
Lakewood, OH 44107
216.227.2914

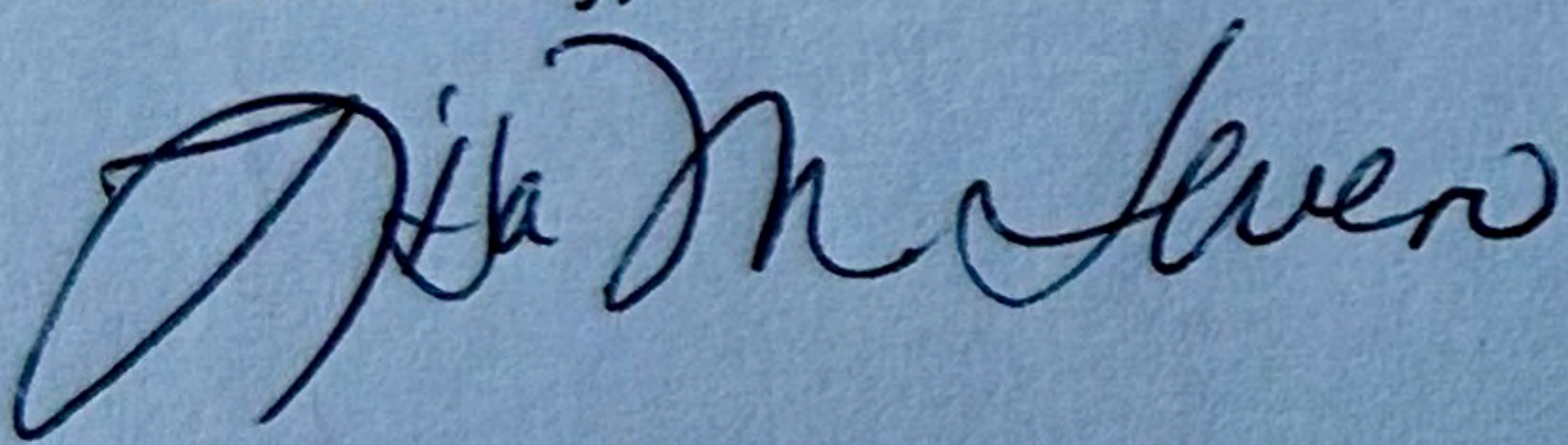
March 8, 2024

To Whom It May Concern:

I, Lisa Severo, agent for F.C.C., LTD. hereby give my consent to Blossom Flower Bar for the sign they want to put in their windows located at 14526 Detroit Ave, Lakewood, Ohio.

Please let me know if you have any questions or need any additional information. I can be reached at lisa@aladdins.com. Thank you.

Sincerely,

A handwritten signature in black ink that reads "Lisa M. Severo". The signature is written in a cursive style with a large initial "L" and "S".

Lisa M. Severo

F.C.C., LTD.



QUOTE

ORDER FROM

Blossom Flower Bar - Lakewood

Wendy Hanna

Date: **11/9/2023**

DESIGNED ITEMS AND/OR ORDERED

Clear Window Clings with White Mask

Qty: (10) window illustrations Material: 8 mil clear window clings

Color: White Ink / White Mask, Inside Mounting | Ground Ship | Install: 1 day (3-4 hours)

Window 1 - 56" wide x 69" tall

Window 2 - 56" wide x 69" tall

Window 3 - 56" wide x 69" tall

Window 4 - 56" wide x 69" tall

Door Window 1 - 28" wide x 36" tall

Window 5 - 56" wide x 69" tall

Window 6 - 56" wide x 69" tall

Window 7 - 56" wide x 69" tall

Window 8 - 44.5" wide x 69" tall

Door Window 2 - 28" wide x 36" tall

ELLE
ER SHOP

CONNECTED
PHYSICAL THERAPY & WELLNESS

BLOSSOM

Norris



NO
PARKING
ANY
TIME





BLOSSOM
DESIGN STUDIO
PLEASE USE
OTHER DOOR
216-512-0700
blossomflowerbar.com

BLOSSOM
FLOWERS
Tues-Sat 11-7
Sunday 11-3
216-512-0700
blossomflowerbar.com

FLOWERS
BUILD YOUR
OWN
BOUQUET

CLIENT: Blossom Flower Bar

Left Side

Window 1

56" x 69"

Window 2

51" x 69"

Door 1

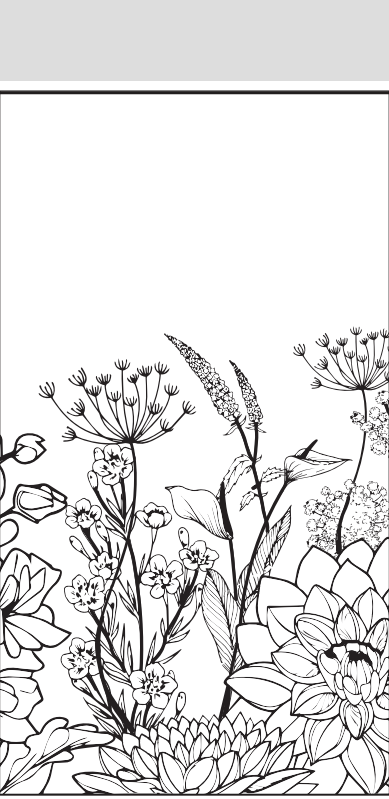
28" x 33"

Window 3

51" x 69"

Window 4

56" x 69"



Created / Designed by:



QWICK CREATIVE LLC
Keith Haynik | 216-408-9547 | keith.haynik@gmail.com
All Rights Reserved. 2023.

NOTE: These designs do not represent true color, size or representation in respects to sun glare, reflections, cloud cover, or window tinting, etc. with regards to changing the look of the graphics. Qwick Creative LLC owns all creative property rights of the images displayed. Unauthorized use or infringement will be pursued legally, and we will take all necessary measures to safeguard our creative assets.

CLIENT: Blossom Flower Bar

Right Side

Window 5

Window 6

ENTRANCE

Window 7

Window 8

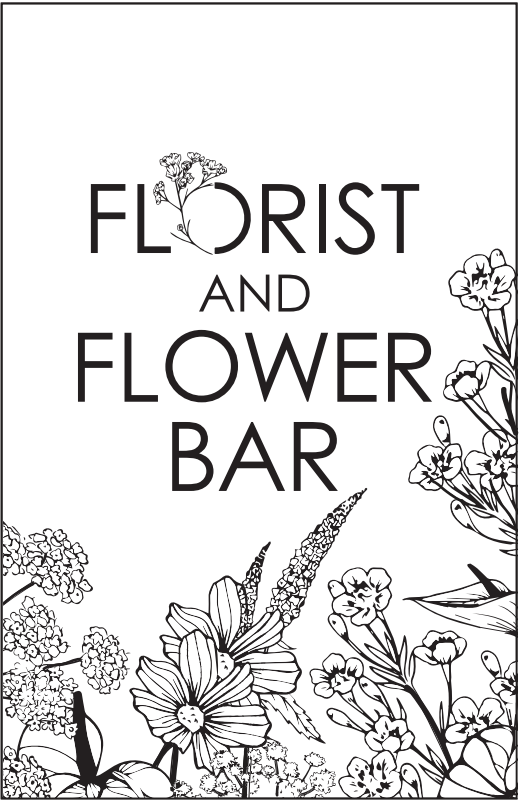
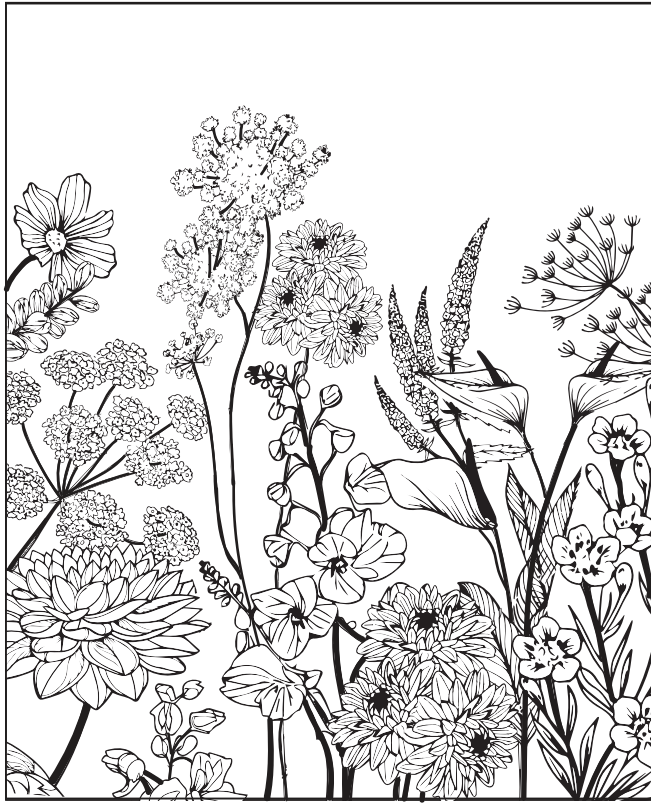
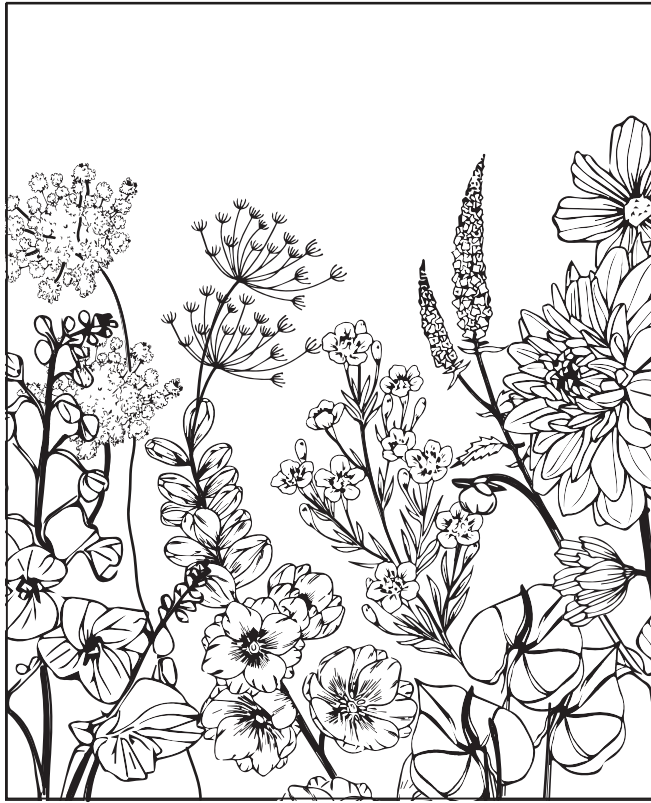
56" x 69"

51" x 69"

28" x 33"

51" x 69"

44.5" x 20"



Created / Designed by:



QWICK CREATIVE LLC
Keith Haynik | 216-408-9547 | keith.haynik@gmail.com
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Application Cover Page

Docket No.: 04-29-24

Permit No.: BBS24-000025

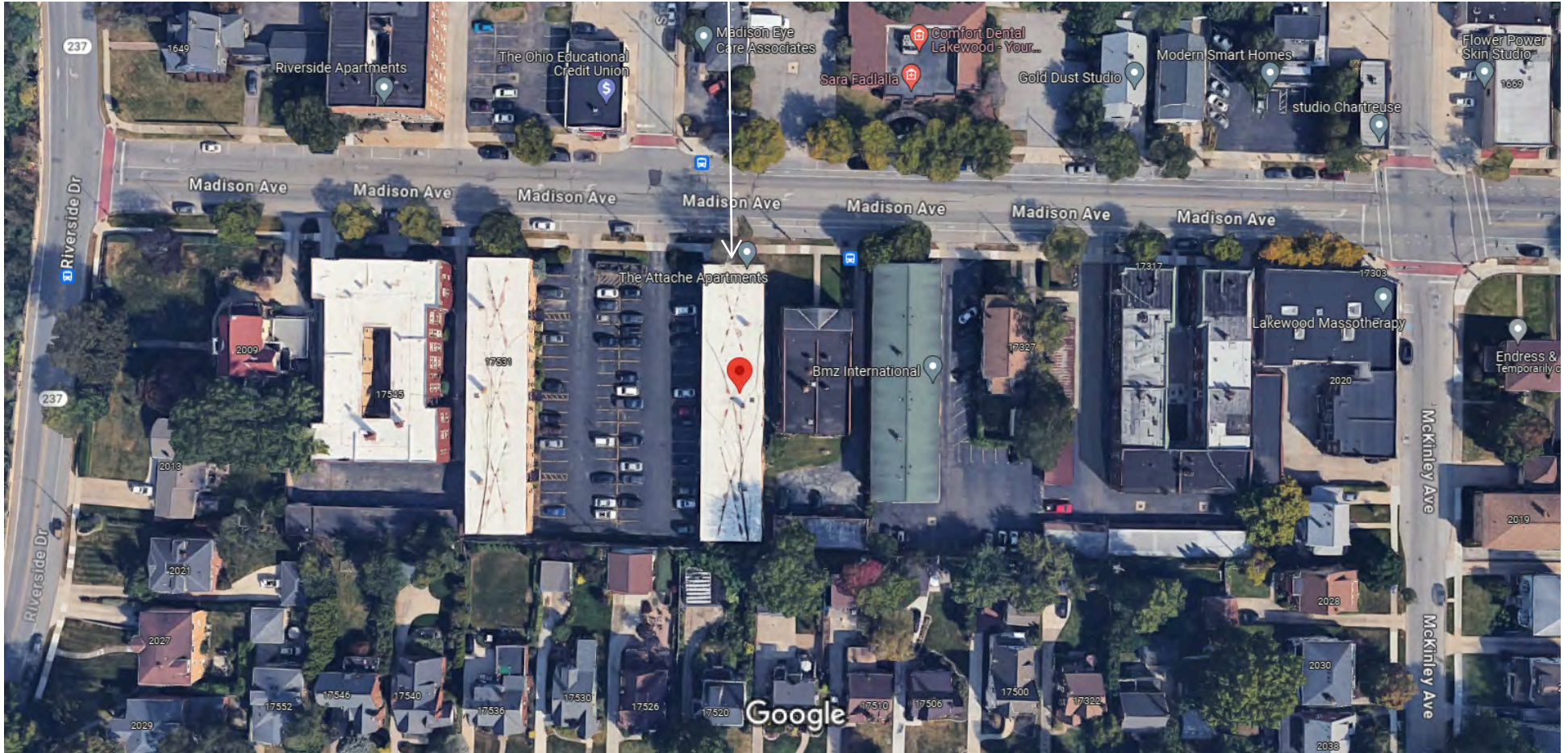
Applicant Name: James Briola, North Coast Sign and Lighting Services Inc.

Project Address: 17525 Madison Ave.

Project Name: The Attaché Apartments

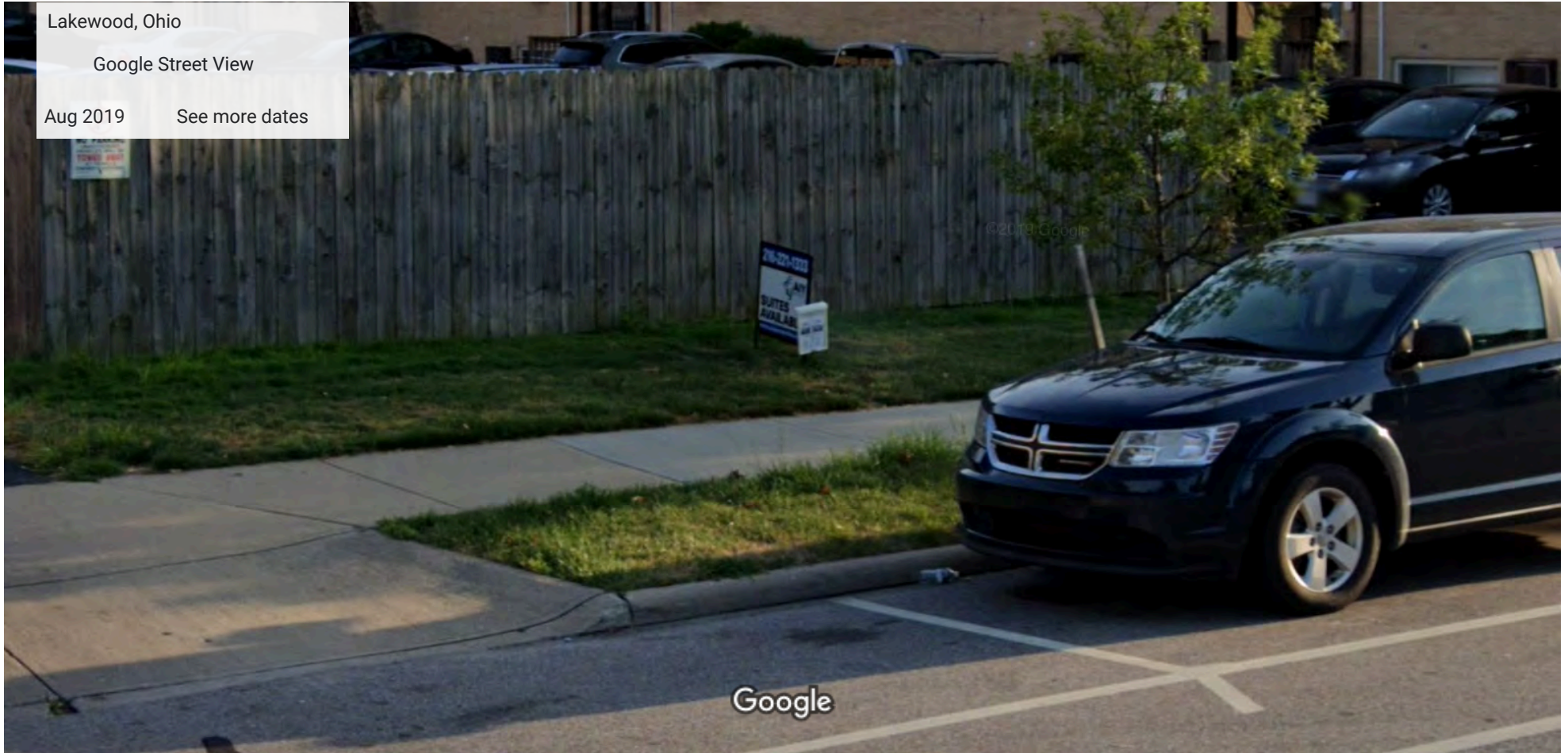
Project: Applicant proposes a non-illuminated monument sign.

Sign



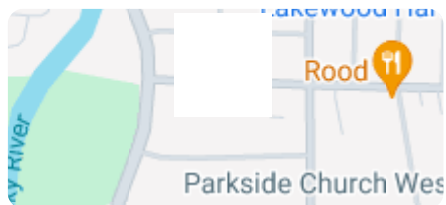
Imagery ©2024 Google, Imagery ©2024 CNES / Airbus, Maxar Technologies, Map data ©2024 Google 50 ft

The Attache' Apartments
17525-17535 Madison Ave.
Lakewood, OH 44107



Lakewood, Ohio
Google Street View
Aug 2019 See more dates

Image capture: Aug 2019 © 2024 Google



The Attache' Apartments
17525-17535 Madison Ave.
Lakewood, OH 44107

PHONE:
330.723.2376
FAX:
330 722.2843
NICK OR JIM
@SIGNANDLIGHT.COM



**NORTH
COAST**
SIGN & LIGHTING
SERVICE INC.

48" SQ. .080 ALUMINUM FACES
LORD EPOXIED TO FRONT AND BACK



4x4 ALUMINUM POSTS 7' LONG

2x2 ALUMINUM
WELDED FRAME 48" SQ.

PAINTED WITH EITHER WHITE VINYL OR ROUTED WHITE PVC

JOB: ATTACHÉ APARTMENTS
ADDRESS: 17525 MADISON LAKEWOOD
CONTACT: TONY DICILLO
PHONE: 440.862.4631
EMAIL: TDICILLO@AIYPROPERTIES.COM
DATE: 4 MARCH 2024 REV3

NOTES: - NEW CABINET SIGN

ALL DRAWINGS ARE THE PROPERTY OF
NORTH COAST SIGN & LIGHTING
SERVICES INC. AND ARE TO BE USED
FOR CONCEPTUAL PURPOSES ONLY
UNTIL SIGNED AND DATED BY PROJECT
MANAGER AND CUSTOMER. ANY OTHER
USE IS PROHIBITED.

APPROVED DESIGNS MUST BE SIGNED & RETURNED BEFORE PRODUCTION CAN BEGIN
THE COST OF ANY CHANGES AFTER PRODUCTION IS THE RESPONSIBILITY OF THE CUSTOMER (INC. ADDITIONAL TRIPS)

CUSTOMER APPROVAL SIGNATURE: _____

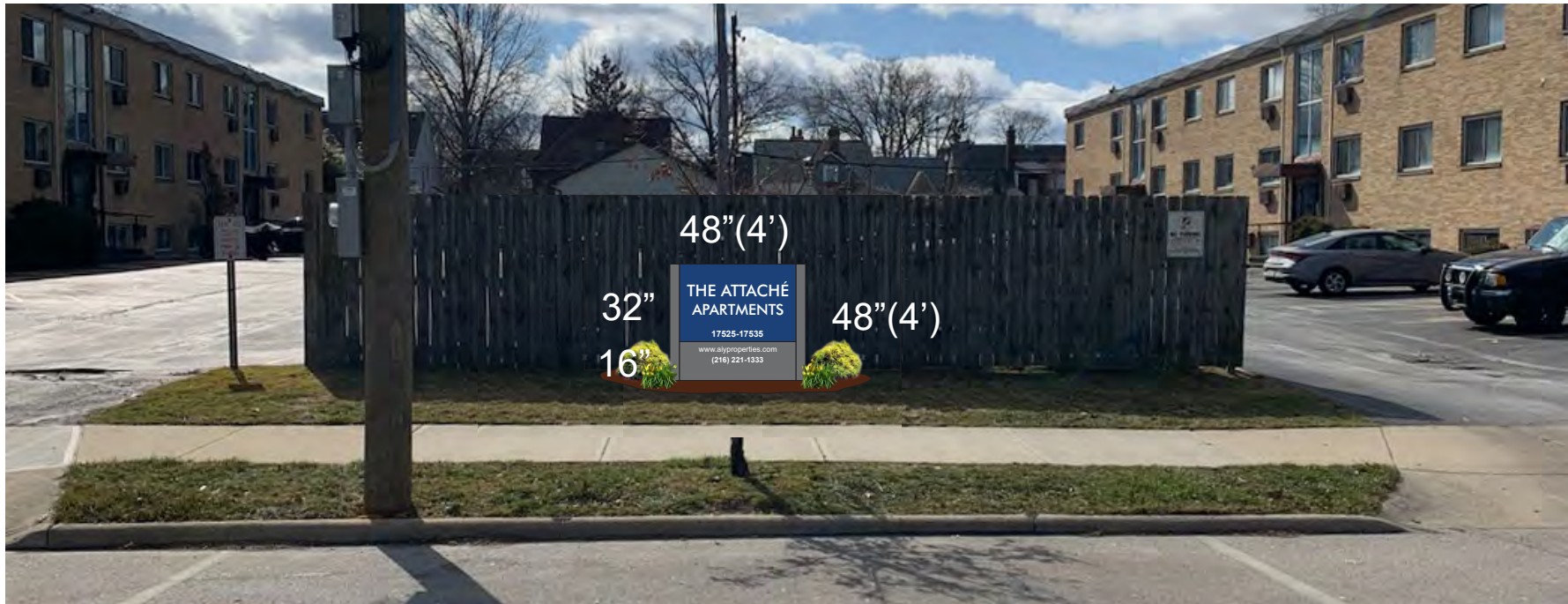
LANDLORD APPROVAL SIGNATURE: _____

PHONE:
330.723.2376
FAX:
330 722.2843
NICK OR JIM
@SIGNANDLIGHT.COM



**NORTH
COAST**
SIGN & LIGHTING
SERVICE INC.

48x32" FACE=10.67'SQ.



JOB: ATTACHÉ APARTMENTS
ADDRESS: 17525 MADISON LAKEWOOD
CONTACT: TONY DICILLO
PHONE: 440.862.4631
EMAIL: TDICILLO@AIYPROPERTIES.COM
DATE: 7 MARCH 2024 REV4

NOTES: - NEW CABINET SIGN

ALL DRAWINGS ARE THE PROPERTY OF
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THE COST OF ANY CHANGES AFTER PRODUCTION IS THE RESPONSIBILITY OF THE CUSTOMER (INC. ADDITIONAL TRIPS)

CUSTOMER APPROVAL SIGNATURE: _____

LANDLORD APPROVAL SIGNATURE: _____

PHONE:
330.723.2376
FAX:
330 722.2843
NICK OR JIM
@SIGNANDLIGHT.COM



**NORTH
COAST**
SIGN & LIGHTING
SERVICE INC.

48x32" FACE=10.67'SQ.




JOB: ATTACHÉ APARTMENTS
ADDRESS: 17525 MADISON LAKEWOOD
CONTACT: TONY DICILLO
PHONE: 440.862.4631
EMAIL: TDICILLO@AIYPROPERTIES.COM
DATE: 7 MARCH 2024 REV4

NOTES: - NEW CABINET SIGN

ALL DRAWINGS ARE THE PROPERTY OF
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SERVICES INC. AND ARE TO BE USED
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MANAGER AND CUSTOMER. ANY OTHER
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APPROVED DESIGNS MUST BE SIGNED & RETURNED BEFORE PRODUCTION CAN BEGIN
THE COST OF ANY CHANGES AFTER PRODUCTION IS THE RESPONSIBILITY OF THE CUSTOMER (INC. ADDITIONAL TRIPS)

CUSTOMER APPROVAL SIGNATURE:


3/7/2024

LANDLORD APPROVAL SIGNATURE:


3/7/2024



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 04-30-24

Permit No.: BBS24-000027

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 13741 Madison Ave.

Project Name: La Mocha

Project: Applicant proposes vinyl window graphics and a double-sided replacement blade sign in an existing frame.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, stylized "S" and "F".

Steve Foster

The Sign & Graphics Firm

(216) 390-0198



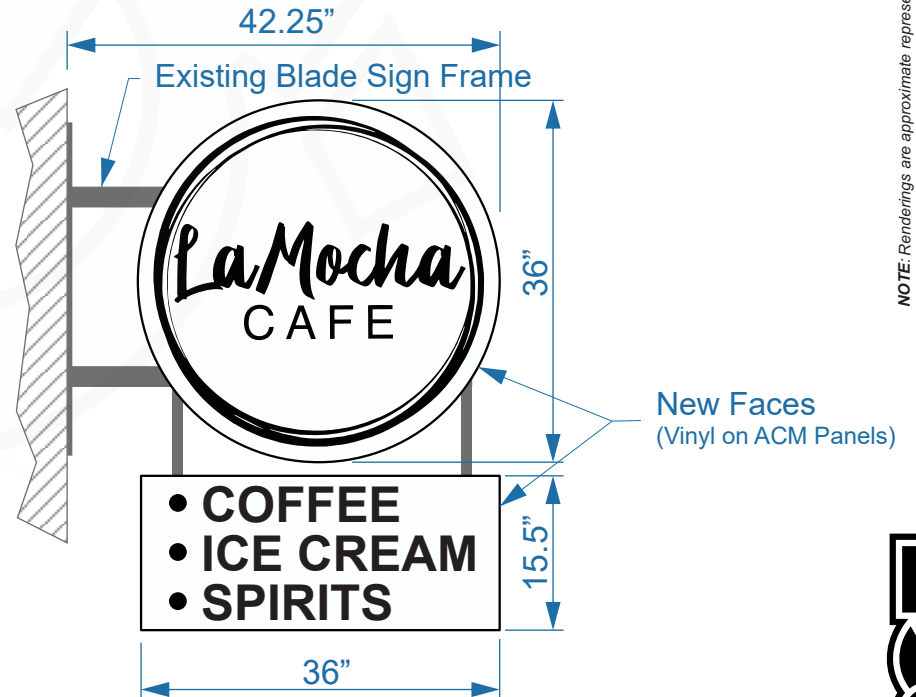
Before



Front Windows



Proposed



PROPOSED DOUBLE-SIDED SIGNAGE
NEW ACM PANELS WITH VINYL DECALS

3-27-24: Added dimensions for window vinyl

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

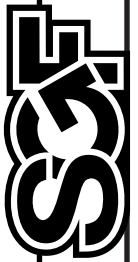
NOTE: Renderings are approximate representations of final production.

THE SIGN & GRAPHICS FIRM
Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
La Mocha Café

ADDRESS:
13743 Madison Ave.
Lakewood, OH 44107

1
3-27-24





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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Communication Cover Page

Docket No.: 04-31-24

Permit No.: BBS24-000030

Project: Communication regarding proposed Residential Architectural Design Standards for Architectural Board of Review proposals.



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.gov

April 11, 2024

Board of Building Standards/Architectural Board of Review/Sign Review
Lakewood City Hall
12650 Detroit Avenue
Lakewood, Ohio 44107

COMMUNICATION

**Re: Docket No. 04-31-24
Residential Design Guidelines**

Dear Members of the Board of Building Standards/Architectural Board of Review/Sign Review:

The Department of Planning and Development staff will present a communication regarding proposed Residential Design Guidelines for Architectural Board of Review proposals. The goal of these guidelines is to assist applicants in understanding the goals of the Board. In addition, it will assist the Board in exemplifying how a proposal can be deemed “consistent, complimentary, and harmonious” in context with existing surrounding conditions.

We look forward to discussion from the Board about the proposed guidelines. After discussion at ABR, the guidelines will be presented to the Planning Commission for approval.

Sincerely,

Amanda Cramer, AICP, Board Secretary
City Planner, Planning and Development



City of Lakewood, Ohio

RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS

March 2024



CITY OF LAKEWOOD
12650 Detroit Avenue
Lakewood, Ohio 44107
www.lakewoodoh.gov

Purpose

These Design Standards offer examples to clarify and explain the architectural design standards pertaining to residential buildings as found in Chapter 1325 of the Codified Ordinances of the City of Lakewood (Codified Ordinances). It serves to describe the design standards and is used as a reference tool in order to better illustrate the application of the standards. The purpose of the standards are to:

1. Provide guidance to property owners, developers, architects, and contractors to aid in the preparation of appropriate plans for submittal. Following these standards creates “the best opportunity for success in an efficient manner.
2. Improve the quality, compatibility of construction, and permanence in design found in Lakewood.
3. Encourage a harmonious development pattern where new construction, additions, and alterations respect and respond to the existing built and natural environments; and
4. Align proposals with the goals outlined in Lakewood’s Community Vision.

Applicability

The Design Standards referenced in this manual are applicable to all residential buildings in the city. The standards listed in this document are generally appropriate for all residential structures, but applicants should understand there are nuances for larger and more complex developments such as townhomes and multi-family developments. Generally, this does not include mixed use buildings that are commercially zoned. These Design Standards are required in addition to any other standards set forth in the Codified Ordinances, generally found in Chapters 1325, 1121, 1123, 1125, 1127, 1141, and 1153 (Codified Ordinances: https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood_oh/0-0-0-72460). The implementation of these standards ensures that the goals and values of the community are reflected in each residential building.

Review Authority

A Design Review application must be submitted for review and approval by the Architectural Board of Review (ABR) whenever the following residential alterations are proposed:

1. Demolition of a residential building;
2. Construction of new residential buildings or additions that are visible from the public right-of-way;
3. Construction and alterations to an accessory dwelling unit;
4. Alterations and renovations to existing residential buildings that are visible from the public right-of-way and are not consistent with these Architectural Standards, as determined by the Building Commissioner and ABR Chairperson or their designees; and/ or
5. Any painting or staining of previously unaltered masonry or covering thereof by other methods in whole or in part. See the requirements of Appendix A: Standards for Painting or Covering of Masonry Surfaces.

Properties located in a Historic District Overlay or individually designated as a Historic Property as set forth in Chapter 1134 of the Codified Ordinances are subject to separate standards. Property owners

and applicants considering alterations to a historic designated property must contact the City for additional information at (216) 529-6630 or planning@lakewoodoh.net.

The following items are not typically subject to review by the Architectural Board of Review unless referred by the Building Commissioner for standalone projects:

1. Solar/wind energy facilities;
2. Wireless telecommunications;
3. Rubbish structures/screening;
4. Fences;
5. Outdoor lighting plan;
6. Landscaping; and
7. Pools.

*Administrative review may be considered for certain applications that offer minimal effect on the exterior of the property. The Secretary of the Architectural Board of Review and the Chairperson will determine if the alteration meets administrative review criteria. In the event it does not, the application will be forwarded for review by the Architectural Board of Review.

Design Standards

SITE DESIGN.

1. Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and neighborhood.
2. New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
3. Building placement and orientation is integral to the site design and the overall interaction with surrounding properties.
 - a. Buildings must be oriented with the primary façade and entry facing parallel to the principal street frontage, unless an alternative orientation is consistent with the majority of homes along the same block face.
 - b. For buildings located on corner lots, the secondary street frontage must be addressed with a compatible appearance of the principal street frontage but of less prominence.
4. Ground and wall-mounted equipment, including utility panels and meters, must not be located on a street-facing elevation.
5. Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.
6. All elements to be included in the design must be submitted: lighting components, parking lot design, landscaping elements, etc.

ARCHITECTURAL DESIGN COMPATIBILITY.

1. All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area and should not be so different in character that it is visually incompatible with existing structures.

2. The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.

OVERALL FORM, MASSING, AND SCALE.

1. New residential buildings, additions, and alterations must be compatible in predominant form, mass, lot coverage, general character and in proportion and scale to other surrounding structures in the immediate area; however, some differentiation from adjacent homes is allowable.
2. For larger massed residential buildings, techniques such as stepping back upper stories, off-setting secondary masses, dividing facades into smaller components, or varying materials must be considered to reduce the perceived mass of the structure.
3. For visual variety, building massing for residential buildings should be varied by employing techniques such as but not limited to: bay windows, dormers, and varying planes or roof lines.
4. The combination of lots to create larger homes is discouraged unless the resulting residential building can meet these Design Standards and any other applicable regulation.
5. Any addition or alteration must be complementary to the principal structure.

STYLES AND FACADES.

1. Building design is not limited to any specific architectural style, however a residential building – including modern designs - must have a unified architectural style or unifying architectural elements that are complementary and compatible with the surrounding neighborhood.
2. Where appropriate, include bay windows and other architectural elements to provide relief to the façade of the building and to match the context of the surrounding area.
3. For new construction, alterations, and additions on a corner lot or where frontage is on multiple streets, façade details should extend to all frontage streets.
4. If the front façade of a residential development includes brick, stone, or simulated brick or stone material that extends to the edge of the front façade, these elements shall be extended around the corner to the side façade to provide an appropriate transition to the adjacent material.
5. Attempts should be made to limit use of surface mounted conduit. Where unavoidable, efforts should be made to conceal and locate on elevations not facing the street and paint to match surroundings.

ROOF DESIGN.

1. A roof's form, style, and material must be compatible with the chosen architectural style. For existing structures, the roof's form, style and material shall be harmonious and consistent with the neighborhood context.
2. Roofline variations may be used to demarcate primary building entrances, to break up larger massed front facades, and provide visual variety to the front façade of the home.
3. Metal roofing is encouraged to be used only on an accent element. Metal roofing profiles must be of a residential scale.
4. Overhangs must be present.

FRONT PORCH AND ENTRY.

Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.

1. Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
2. Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
3. The permanent enclosure of a front porch, including a second story front porch, is not appropriate and will not be supported.
4. Compliance with Appendix B Front Porch Guidelines is required.
5. Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.

WINDOWS AND DOORS.

1. Windows and doors must be proportional in scale to the size of the building and to each other.
2. Vertical orientation is required unless an alternative orientation is necessary due to the architectural style or element.
3. Window and door placement and patterns should be consistent and fit with the overall architectural style of the building and the surrounding community.
4. Wherever possible, the first and second floor windows should be vertically and horizontally aligned with each other, particularly on the front elevation.
5. Blank walls on residential buildings that void of windows and doors are not appropriate.
6. Windows and doors should be used as architectural elements that add relief to the façade and wall surface.
7. When appropriate to the architectural style of the home, all front facing windows and doors must have consistent spacing and symmetry and a unifying architectural element or pattern, including but not limited to: sills, ledges, mullions, frames, trims, or spacing in relation to column patterns.
8. Appropriate trim around windows and doors is required.
9. The front door must face the street.
10. Excessive window glazing or reflective window glass is prohibited.
11. When utilized, shutters must be equal to the height of the window and half of its width. Shutters must be installed so the bottom of the shutter aligns with the top of the window sill and bottom of the window lintel.

EXTERIOR MATERIALS AND DECORATIVE DETAILS.

1. The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
2. Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.

3. Pressure treated wood, stucco, and EIFS are prohibited exterior materials.
4. Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
5. Wood trim should be painted and strictly staining is discouraged.
6. Columns must have appropriate trim at the base and capital.
7. Masonry is required on all chimneys.

GARAGES AND ACCESSORY STRUCTURES.

1. Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be simple in design and complementary to the primary structure.
2. Detached or side or rear-oriented attached garages are preferred.
3. Street facing garages that are attached to the primary structure are discouraged and shall only be considered when no other alternative exists for the location and orientation of the garage. When permitted the garage shall comprise less than 50% of the ground floor building frontage. The garage shall not be permitted to be closer to the adjacent street than the ground floor building frontage.
4. Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.
5. Finish materials and colors must match or complement principal structure.

DEMOLITION.

Demolitions of residential buildings are regulated by Section 1133.09 of the Codified Ordinances. This section can be found at the following link.

https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood_oh/0-0-0-73399.

Property owners and applicants considering a demolition property must contact the City for additional information at (216) 529-6630 or planning@lakewoodoh.net.