



City of Lakewood  
Board of Building Standards • Architectural Board of  
Review • Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
EAST CONFERENCE ROOM  
JUNE 5, 2025  
4:00 P.M.

REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JUNE 12, 2025  
5:30 P.M.

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MAY 8, 2025 MEETING
3. OPENING REMARKS

OLD BUSINESS

SIGN REVIEW

- |                        |  |
|------------------------|--|
| 4. Docket No. 05-36-25 | 13200 Madison Ave.<br>FP Madison LLC     |
| ( ) Approve            | Joseph Pavlick                           |
| ( ) Deny               | 1665 LLC                                 |
| ( ) Defer              | 13200 Madison Ave.<br>Lakewood, OH 44107 |

Applicant proposes vinyl signage on multiple windows and doors. (Page 5)

**NEW BUSINESS**

**SIGN REVIEW**

5. Docket No. 06-44-25

**13535 Detroit Ave.  
Feels Good Yoga**

- Approve
- Deny
- Defer

Michelle Sileo  
Feels Good Yoga  
13535 Detroit Ave  
Lakewood, OH 44107

Applicant proposes signage on a monument sign. (Page 14)

6. Docket No. 06-45-25

**18001 Detroit Ave.  
St. Peter's Episcopal Church**

- Approve
- Deny
- Defer

David Tabar  
c/o St. Peter's Episcopal Church  
18001 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes a new monument sign. (Page 18)

7. Docket No. 06-46-25

**17128 Detroit Ave.  
GV Art**

- Approve
- Deny
- Defer

Shawn Warren  
Erie deSign Co. Inc.  
16504 Detroit Ave  
Lakewood, OH 44107

Applicant proposes non-illuminated signage in the sign band area and a blade sign. (Page 31)

**ARCHITECTURAL BOARD OF REVIEW**

8. Docket No. 06-47-25

**1655 Roosevelt Ave.**

- Approve
- Deny
- Defer

Christopher Walling  
1655 Roosevelt Ave.  
Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 37)

9. Docket No. 06-48-25

**(C)**

**13345 Madison Ave.**

**Commercial Building**

- Approve
- Deny
- Defer

Daniel Rothstein  
Northlake Ridgewood LLC  
P.O. Box 773  
Hudson, OH 44236

Applicant proposes a mural on the west side of the building. (Page 44)

**10. Docket No. 06-49-25 (C) 16024 Madison Ave.  
Neighborhood Pediatrics LLC**

- Approve
- Deny
- Defer

Michael Daso  
Daso Properties  
17436 Edgewater Dr.  
Lakewood, OH 44107

Applicant proposes exterior renovations. (Page 47)

**11. Docket No. 06-50-25 (R) 2106 Mars Ave.**

- Approve
- Deny
- Defer

Steve Mazzone  
Godfather Garages LLC  
3601 Clark Ave.  
Cleveland, OH 44109

Applicant proposes the construction of a new garage on a corner lot. (Page 51)

**12. Docket No. 06-51-25 (R) 1070 Rosalie Ave.**

- Approve
- Deny
- Defer

Lee Pozek  
Architect  
5222 Coldbrook Dr.  
Mantua, OH 44255

Applicant proposes construction of an addition and attached garage on the north side of an existing residence. (Page 61)

**13. Docket No. 06-52-25 (R) 1010 Parkside Dr.**

- Approve
- Deny
- Defer

Brandon Young  
Young Design Studio  
15614 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes a kitchen addition on the south side and a one-story addition to the attached garage on the north side of an existing residence. (Page 72)

## ADJOURN

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.gov](mailto:michelle.nochta@lakewoodoh.gov)."*



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 05-36-25

Permit No.: BBS25-000032

Applicant Name: Joseph Pavlick, 1665 LLC

Project Address: 13200 Madison Ave.

Project Name: FP Madison LLC

Project: Applicant proposes vinyl signage on multiple windows and doors.

# FP Mahalls LLC

(FP Madison LLC and FP Family LLC)  
13200 Madison Avenue, Lakewood, OH 44107

April 9, 2025

City of Lakewood  
12650 Detroit Avenue  
Lakewood, OH 44107

RE: 31509025 - Address: 13200 Madison Avenue, Lakewood, OH

Gentlemen:

- This letter will give consent to Dennis Tvrdik to interact with the City of Lakewood/Building Department and the Board of Review with regard to the application, review, pre-review meeting and Public Meeting requirements for our proposed window signage (at 13200 Madison Avenue, Lakewood, OH 44107)

Sincerely,



Suzanne Shestina

Co-owner

FP Madison LLC

FP Mahalls LLC

[sue.shestina@gmail.com](mailto:sue.shestina@gmail.com)

(216) 308-8042

Qumran Tundik

MAKING  
SINCE  
1924  
OHIO

13200

The **ROXY**  
BOX OFFICE  
AT EAST DOOR OF BUILDING UP RAMP  
→

FOR DELIVERIES CALL (216) 521-3200

Mahall's  
**100**  
1924 - 2024

**HOURS**

TUE - THU	5:00 <sup>PM</sup> - 11:00 <sup>PM</sup>
FRI	5:00 <sup>PM</sup> - 1:00 <sup>AM</sup>
SAT	11:00 <sup>AM</sup> - 1:00 <sup>AM</sup>
SUN	11:00 <sup>AM</sup> - 11:00 <sup>PM</sup>
MON	CLOSED

NO PARKING IN GAS STATION  
YOU WILL BE TOWED

**LIVE MUSIC**

**BOWLING**

**DANCING**



FRANCIS  
LOST  
KEY

HOT FOOD

COLD  
BEER

COCKTAILS



PARKY'S



Midwest Glory KITCHEN

A PLACE PARKY'S TO EAT

COCKTAILS



MAHALL'S  
SINCE 1924  
OHIO

LIVE MUSIC BOWLING DANCING HOT FOOD COLD BEER COCKTAILS

KITCHEN  
A PLACE TO EAT



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-44-25

Permit No.: BBS25-000041

Applicant Name: Michelle Sileo, Feels Good Yoga

Project Address: 13535 Detroit Ave.

Project Name: Feels Good Yoga

Project: Applicant proposes signage on a monument sign.

I, the undersigned, am the legal property owner or authorized representative of the property located at:

**Property Address:**

13535 Detroit Avenue  
Lakewood, Ohio

I hereby grant permission to:

**Tenant Business Name:** Feels Good Yoga

**Tenant Contact Name:** Michelle Sileo

**Phone/Email:** 216-200-7753

To apply for a sign permit with the City of Lakewood, Ohio, for the above-referenced property. This authorization allows Feels Good Yoga to submit all necessary applications and materials to the City of Lakewood for the purposes of installing a business sign at the premises.

**Landlord/Property Owner Information:**

**Name:** Dimitrios I Gountis

**Company Name (if applicable):** 15217 Madison LLC

**Phone Number:** 216-526-2437

**Email:** jgountis@gmail.com

**Signature:**  \_\_\_\_\_

**Printed Name:** Dimitrios I Gountis Managing Partner

# PIERSON MEDICAL & PROFESSIONAL BUILDING

 Abco Medical Center

Abdul M. Orra, D.O. Family Medicine

Mitchell L. Wax, Ph.D.  
Psychologist

**OFFICE SPACE AVAILABLE**  
**216-526-2437**



**FEELS GOOD YOGA**

- Hot Power Yoga, Pilates, Sculpt
- Restorative, Gentle Yoga, Slow Flow Yoga

**Premier**   
**Accounting Inc.**

**13535 Detroit Ave.**

# PIERSON MEDICAL & PROFESSIONAL BUILDING

Abco Medical Center

**YOUNG FILMMAKERS ACADEMY**  
OHIO'S PREMIERE FILM SCHOOL FOR KIDS & TEENS  
WWW.YOUNGFILMMAKERSACADEMY.ORG • (216) 293 KIDS

Abdul M. Orra, D.O. Family Medicine

Mitchell L. Wax, Ph.D.  
Psychologist

**Premier  
Accounting Inc.**

**LAW OFFICES**

**13535 Detroit Ave.**



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-45-25

Permit No.: BBS25-000046

Applicant Name: David Tabar, c/o St. Peter's Episcopal Church

Project Address: 18001 Detroit Ave.

Project Name: St. Peter's Episcopal Church

Project: Applicant proposes a new monument sign.



# SAINT PETER'S EPISCOPAL CHURCH

May 13, 2025

To: City of Lakewood, Ohio  
Attention: Architectural Review Board

Re: Replacement Signage

This is to advise that the City of Lakewood has permission to inspect the property for purposes of signage review. Should you need to reach our offices, the phone is 216-226-1772. Further, Mr. David Tabar, Vestry Member, has been authorized to submit our filing with your office. He can be reached directly at 216-394-7001 with any technical questions.

Regarding any electrical work for sign illumination, that is planned to be performed by a licensed electrician. Installation of the sign will be conducted by A-Sign-Above. Removal of the RR ties and brick, and adding of topsoil, seed and flowers will be performed by Members of the St. Peter's Parish.

We look forward to working with you on this needed upgrade.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Lager". The signature is written in a cursive style with a large, prominent cross at the end.

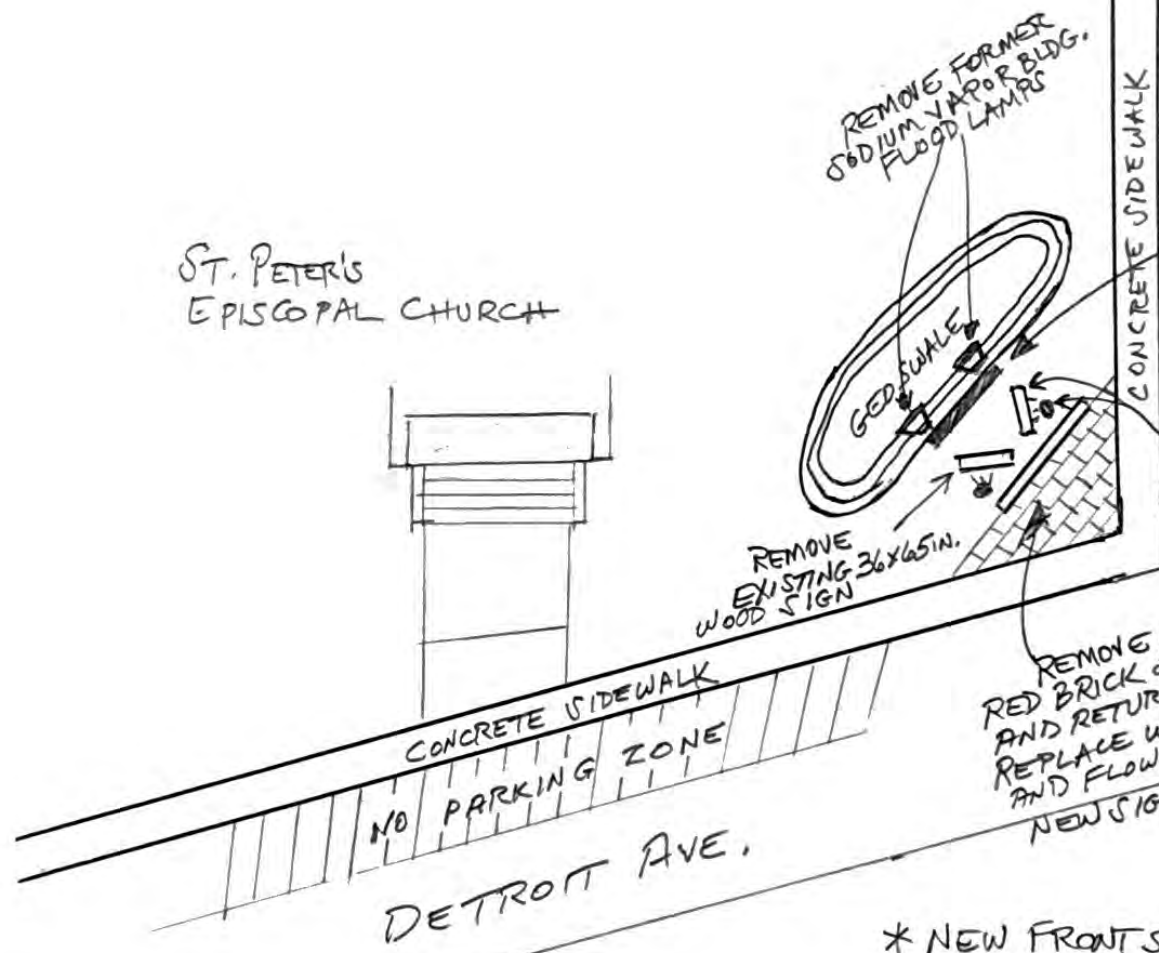
The Rev. Michael Lager  
Rector

David Jafar

↑  
NOTE: NEW 18x36 IN.  
REAR PARKING LOT  
SIGN TO BE INSTALLED  
IN EXISTING PARKING  
LOT ISLAND

ST. PETER'S  
EPISCOPAL CHURCH

EAST



REMOVE FORMER  
SODIUM VAPOR BLDG.  
FLOOD LAMPS

REMOVE  
EXISTING 36x65 IN.  
WOOD SIGN

CONCRETE SIDEWALK

TREE LAWN

\* INSTALL  
NEW SINGLE  
33x96 IN.  
HWY SIGN ON  
CEDAR POSTS

\*\* REPLACE  
OLD LIGHT  
FIXTURE BOXES (2)

REMOVE  
EXISTING 36x65 IN.  
WOOD SIGN

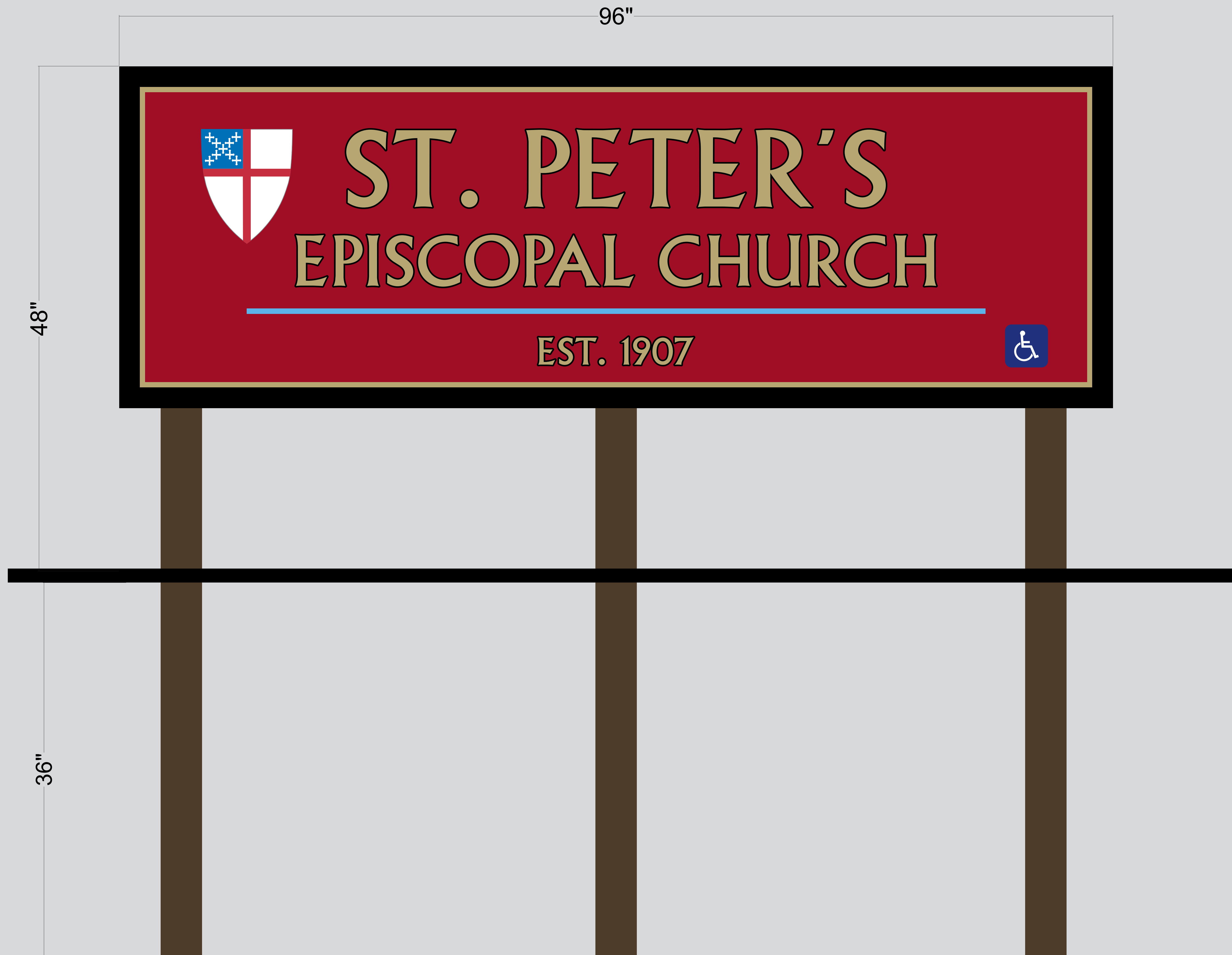
REMOVE EXISTING  
RED BRICK & R.R. TIE  
AND RETURN TO NATURAL GRADE,  
REPLACE W/ TOPSOIL, SEED  
AND FLOWER BED BENEATH  
NEW SIGN.

\* NEW FRONT SIGN 33x96 IN.  
(SEE DOCUMENTATION) PAINTED/CARVED

\*\* NEW 6 FT. GROUND LIGHT  
3000K LED BY LICENSED  
ELECTRICIAN TO  
ILLUMINATE SIGN

W. CLIFTON

NORTH



106L 1 shot Kool Crimson with 109L Metallic gold lettering  
or 352 Extra brilliant rich gold from crescent bronze

**PLEASE CHECK THE FOLLOWING. NO ORDERS WILL BE SENT TO PRODUCTION UNTIL FINAL APPROVAL IS RECEIVED.**



a sign above

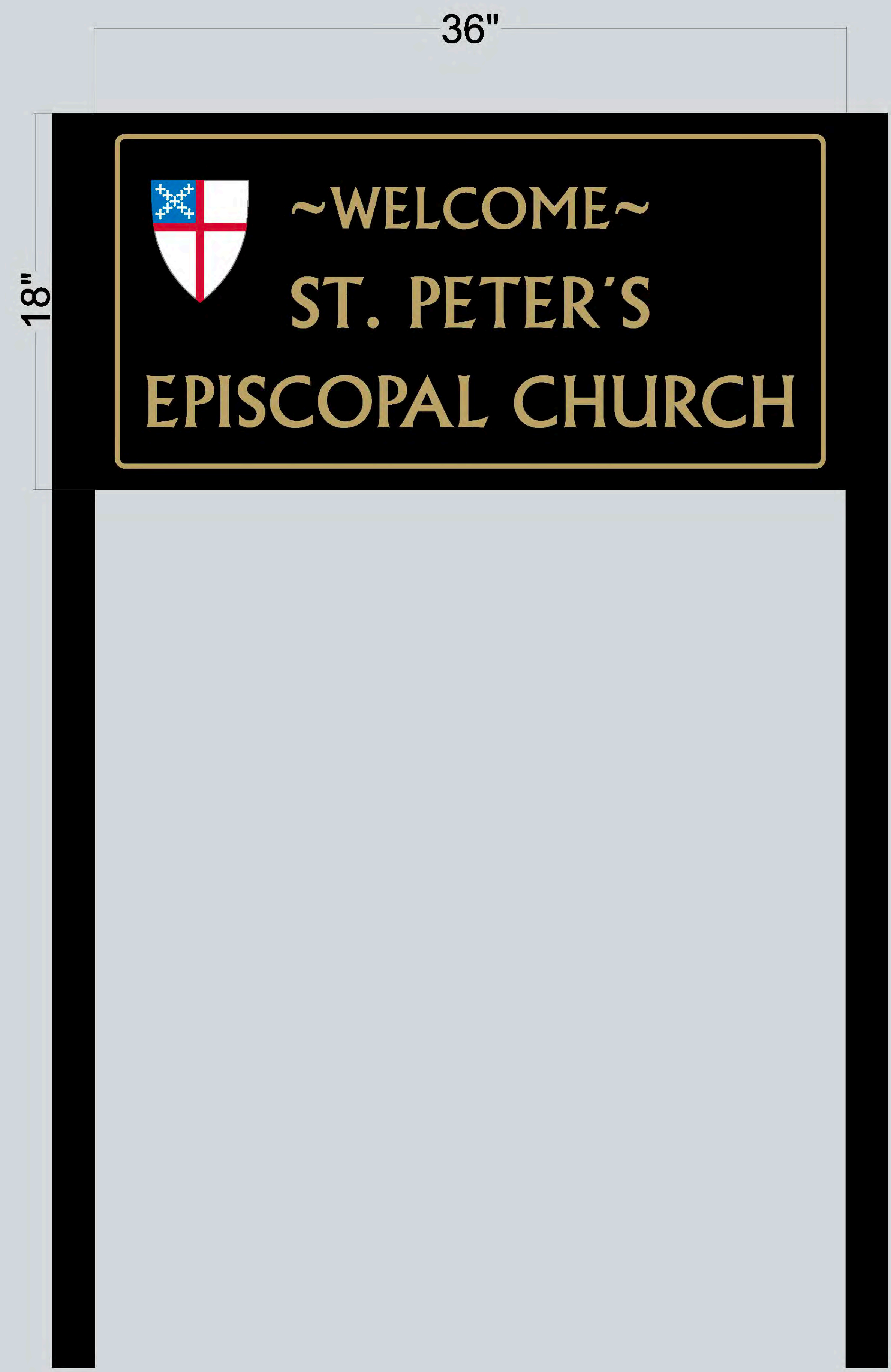
8982 Dutton Drive  
Twinsburg, Ohio 44087

SIZE:

COLOR:

SPELLING:

CUSTOMER APPROVAL:



**PLEASE CHECK THE FOLLOWING. NO ORDERS WILL BE SENT TO PRODUCTION UNTIL FINAL APPROVAL IS RECEIVED.**



SIZE:

COLOR:

SPELLING:

CUSTOMER APPROVAL:

**BENCHMARK**  
Top of Ir. Pin  
Elev. 674.92' (rec.)  
Elev. 674.82'

**Sanitary Manhole**  
Rim: 675.85'  
15" Clay Inv.: 656.35'  
12" Clay Inv.: 670.75'  
10" PVC Inv.: 670.75'  
15" Clay Inv.: 656.35'  
72" Clay Inv.: 672.75'

**Sanitary Manhole**  
Rim: 675.74'  
(Unable to obtain invert data)

**Ex. Sanitary Manhole "A"**  
Rim: 675.09'  
(Unable to obtain invert data)

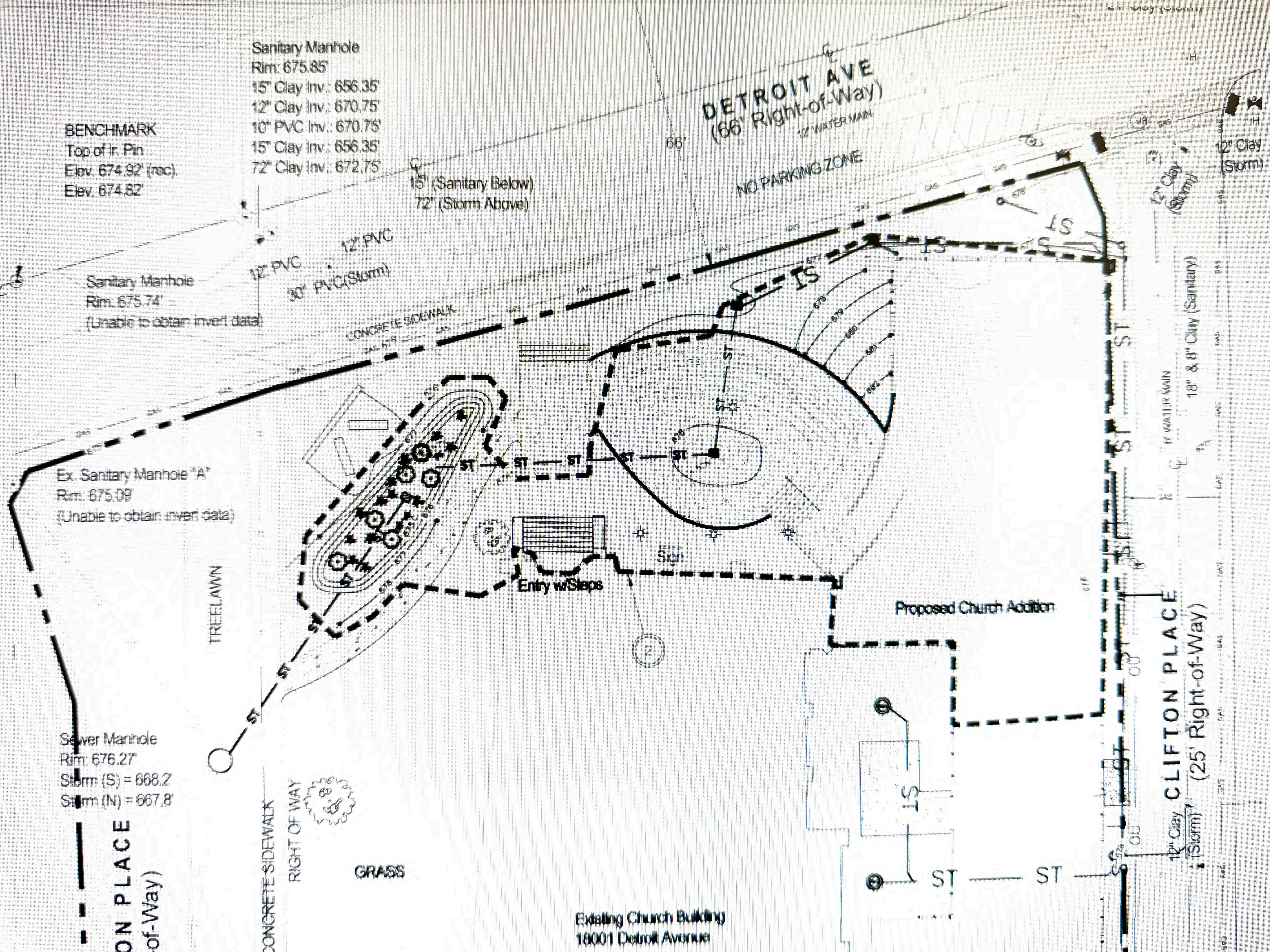
**Sewer Manhole**  
Rim: 676.27'  
Storm (S) = 668.2'  
Storm (N) = 667.8'

**DETROIT AVE**  
(66' Right-of-Way)  
12" WATER MAIN

**NO PARKING ZONE**

**CLIFTON PLACE**  
(25' Right-of-Way)

**Existing Church Building**  
18001 Detroit Avenue



# ST PETER'S EPISCOPAL CHURCH



THE EPISCOPAL CHURCH WELCOMES YOU

SUNDAY SERVICES 8:00 am.  
10:15 am.





ST. PETER'S  
Episcopal Church  
18001

ST. PETER'S  
Episcopal Church  
18001

6



ST. PETER'S  
Episcopal Church  
18001

ST. PETER'S  
Episcopal Church  
18001



  
**ST. PETER'S**  
Episcopal Church  
18001

  
ST. PETER'S  
Episcopal Church  
18001

ST. PETER'S  
Episcopal Church  
18001

  
**ST. PETER'S**  
Episcopal Church  
18001







City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-46-25

Permit No.: BBS25-000048

Applicant Name: Shawn Warren, Erie deSign Co. Inc.

Project Address: 17128 Detroit Ave.

Project Name: GV Art

Project: Applicant proposes non-illuminated signage in the sign band area and a blade sign.





logo 19.5" h x 144" w 1/2" ythick black cut PVC



32" dia 12 sq total 2 sides



MOUNTED WITH:  
3" LAG BOLTS WITH SLEEVES  
IN TO BRICK MORTAR ON CORNER PILLAR

**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

CLIENT:	GV ART & DESIGN	JOB #:	DATE:
---------	-----------------	--------	-------

ADDRESS:	17128 Detroit Ave
----------	-------------------

REVISION HISTORY:	CHANGES MADE:
DATE:	

CLIENT SIGNATURE OF APPROVAL	DATE:
------------------------------	-------



logo 19.5" h x 144" w 1/2" ythick black cut PVC



32" dia 12 sq total 2 sides



MOUNTED WITH:  
3" LAG BOLTS WITH SLEEVES  
IN TO BRICK MORTAR ON CORNER PILLAR

**ERIE**  
*deSign*  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

CLIENT:  
**GV ART & DESIGN**

JOB #:  
DATE:

ADDRESS:  
17128 Detroit Ave

REVISION HISTORY:  
DATE: CHANGES MADE:

CLIENT SIGNATURE OF APPROVAL DATE:

**GAAS**



Case #: \_\_\_\_\_

**City of Lakewood Division of Housing and Building**  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

## Building Permit Application

**PROJECT ADDRESS:** 17128 Detroit Ave. 31127025 Suite/Unit #

or **PERMANENT PARCEL NUMBER:** \_\_\_\_\_

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)** 

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number: \_\_\_\_\_

**SCOPE OF PERMIT (Check all that apply):**  
 New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): Sign letters

**\*VALUATION: (cost of the work) \$** \_\_\_\_\_ **PROJECT SIZE: (in square feet)** 16 sq

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)** \_\_\_\_\_ **DRAIN** \_\_\_\_\_ **NO DRAIN** \_\_\_\_\_

Cut 1/2" thick pvc letters mounted to surface with silicone adhesive

Text total 19.5 X 144 = 19.5 sq. ft.

Sign facia area 41 sq. ft. x 3

**\*BLADE SIGN 32" DIA 6 SQ. FT. PER SIDE 12 SQ. TOTAL**

STORE FRONTS 19.5' X 13' 500 TOTAL SQ. FT

**PROPERTY OWNER NAME:** George Vlosich Phone: 216-273-7188

Business Name (if applicable) **GV Art** Email: gvarwork@gmail.com

Mailing Address: 17128 Detroit Ave City: Lakewood State: Oh Zip: 44107

**CONTRACTOR NAME:** Erie Design Phone: 216-227-0043

License/Reg. No.: on file Email: orders@eriedesign.com

Mailing Address: 16504 Detroit Ave City: Lakewood State: Oh Zip: 44107

**ARCHITECT/ENGINEER:** Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

**SIGNATURE OF CONTRACTOR / OWNER**

10-29-24

**DATE**

Anticipated Completion Date: \_\_\_\_\_



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-47-25

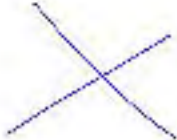
Permit No.: BBS25-000043

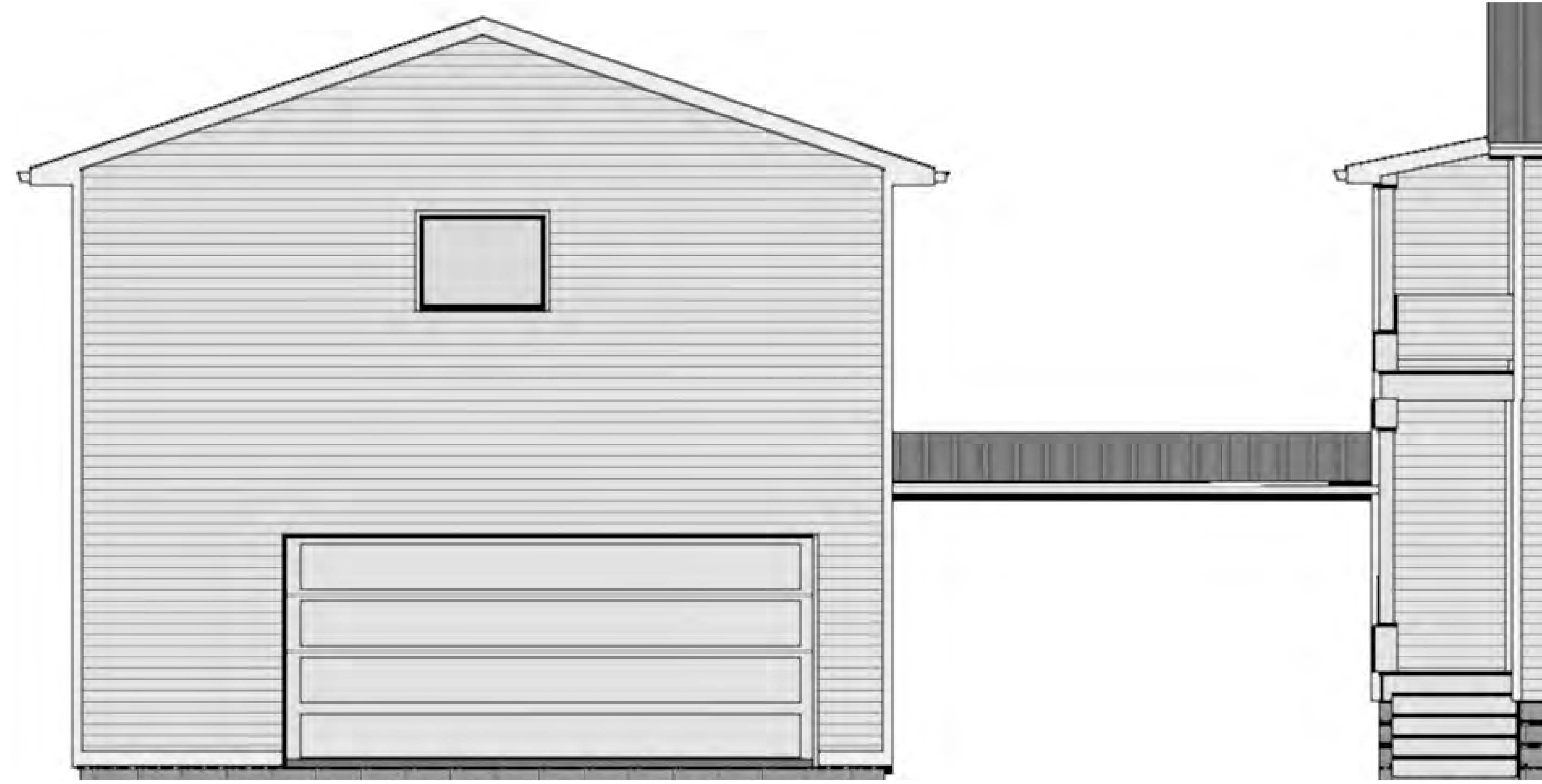
Applicant Name: Christopher Walling

Project Address: 1655 Roosevelt Ave.

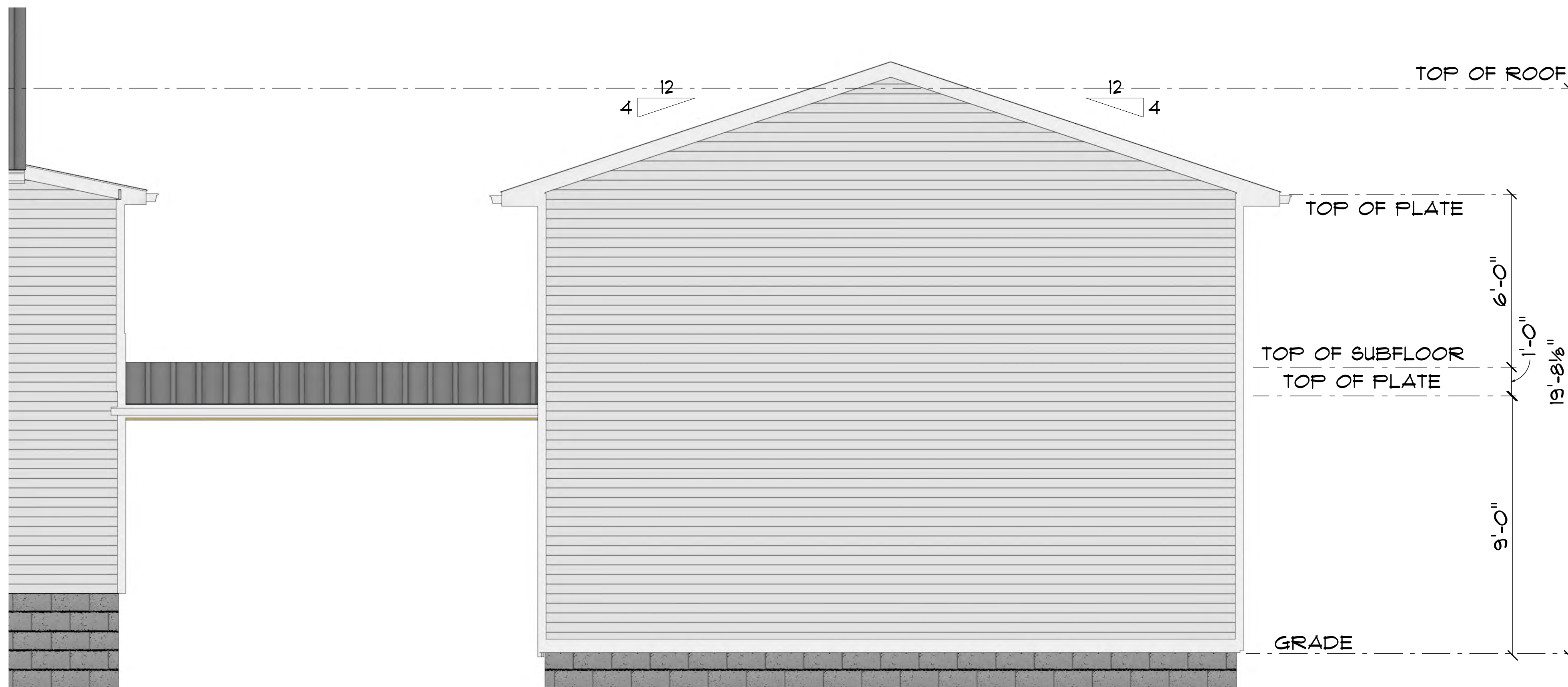
Project Name: n/a

Project: Applicant proposes the construction of a new garage.

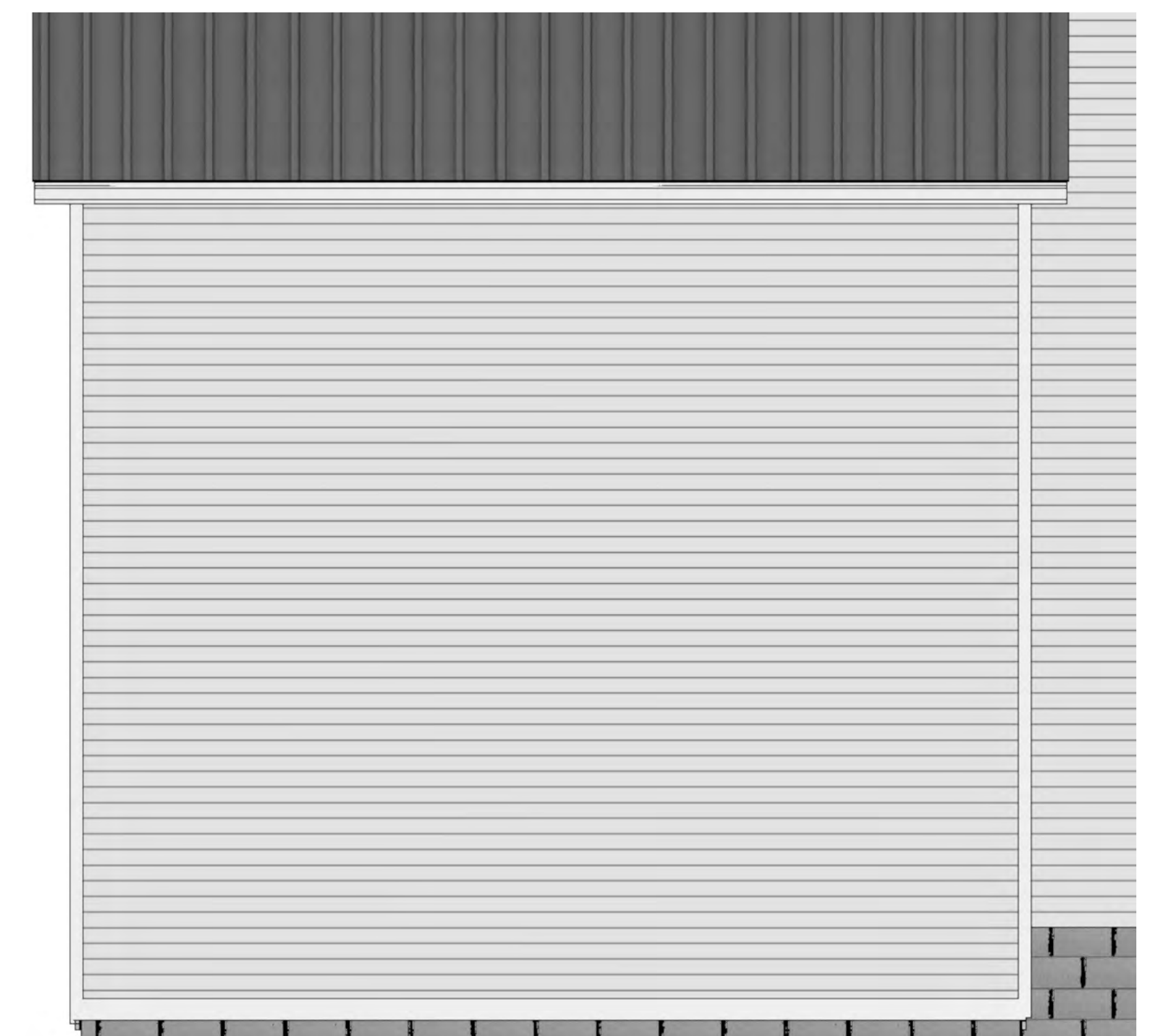




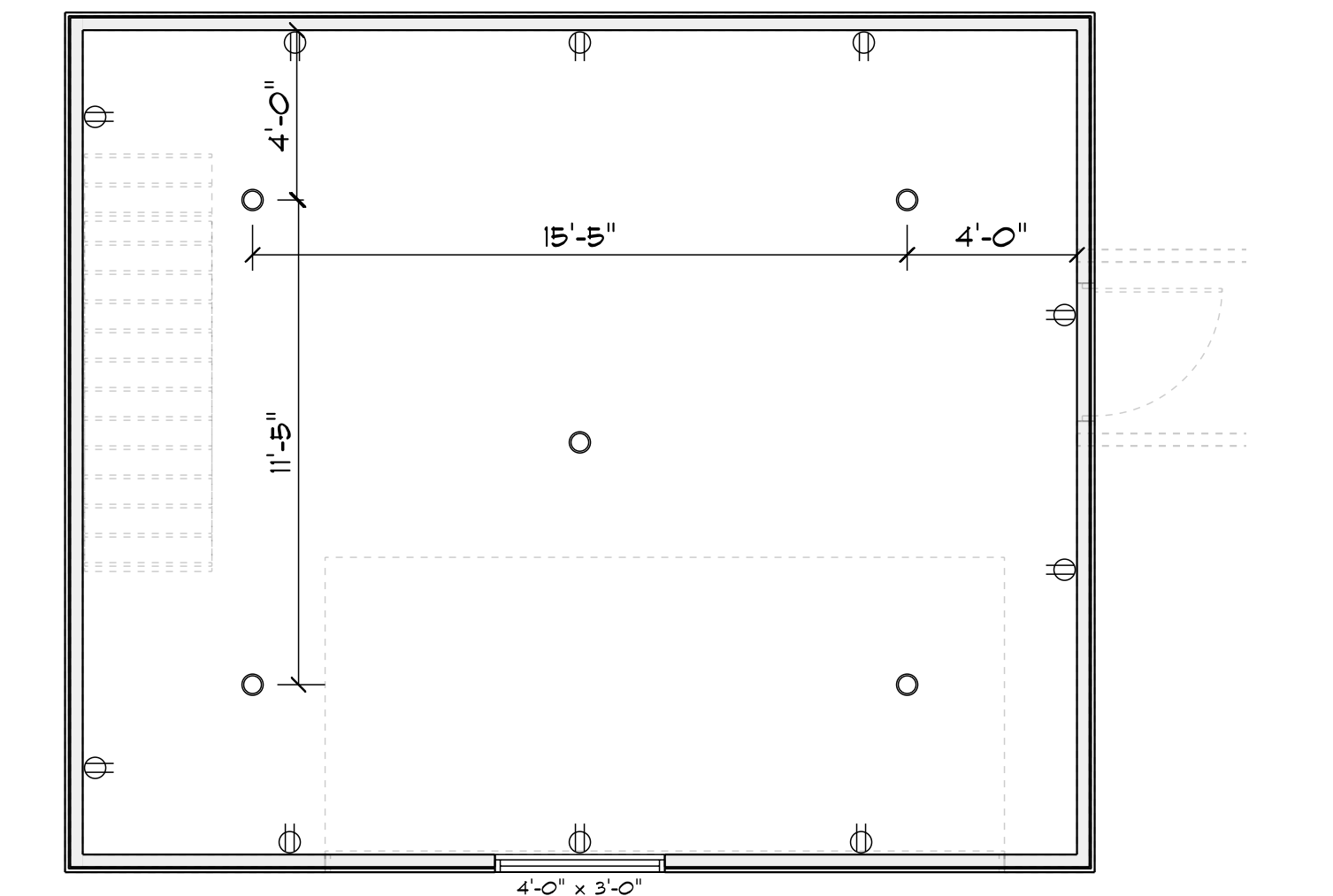
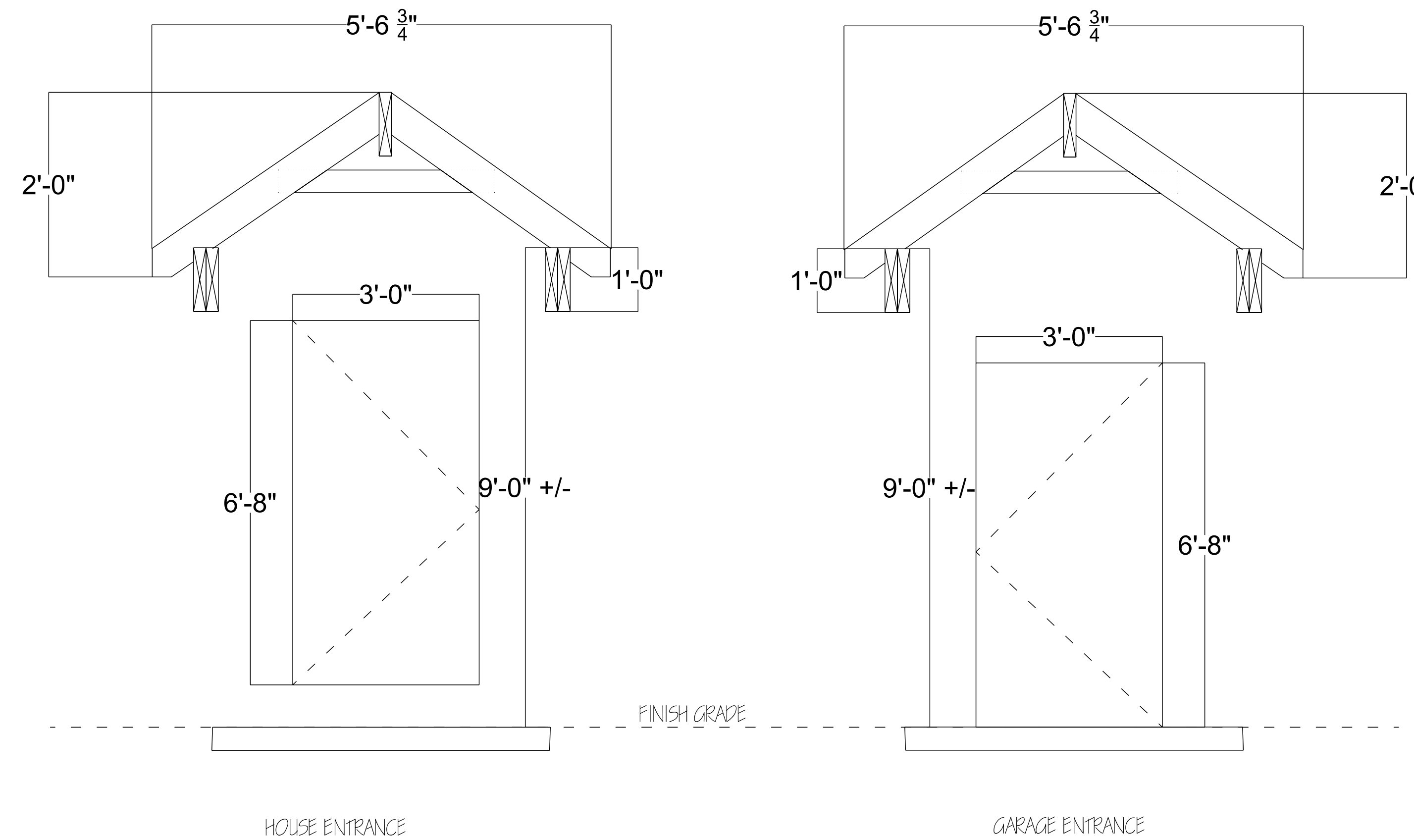
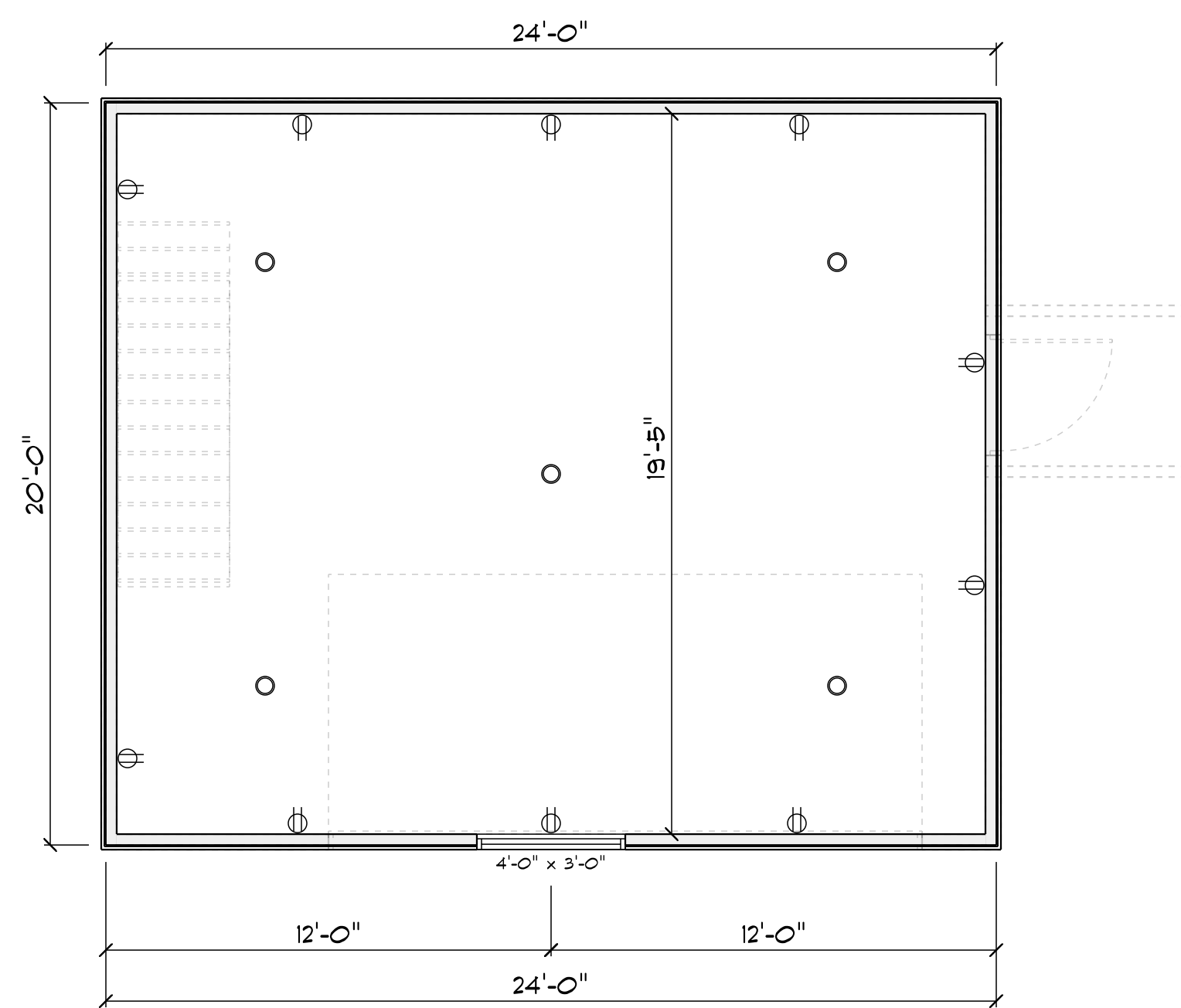
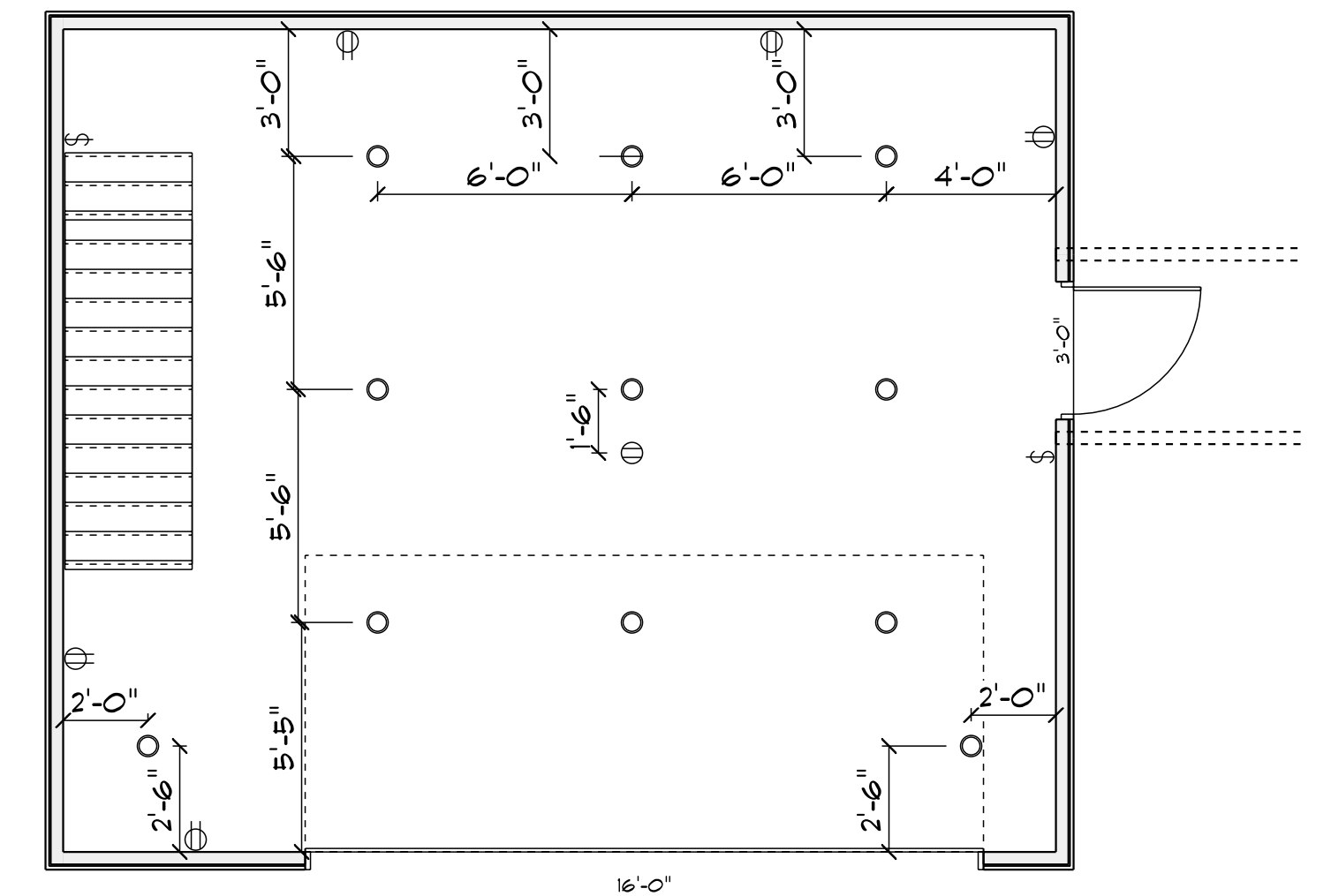
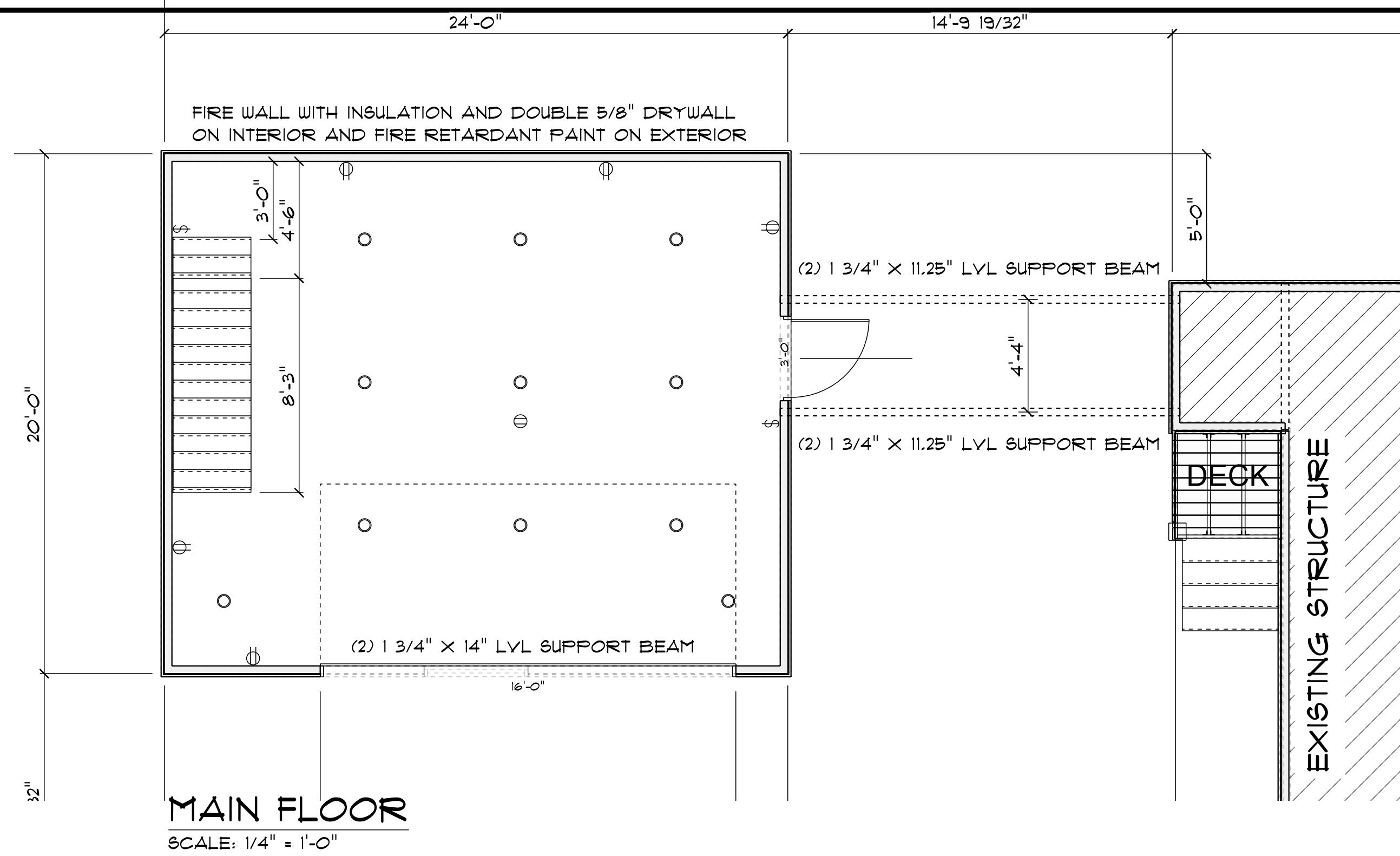
**North Elevation**  
SCALE: 3/8" = 1'-0"



**South Elevation**  
SCALE: 3/8" = 1'-0"



**East Elevation**  
SCALE: 3/8" = 1'-0"



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
can light 6inch	16	o
ceiling receptacle duplex	1	⊖
outlet	15	⊕
switch	2	s

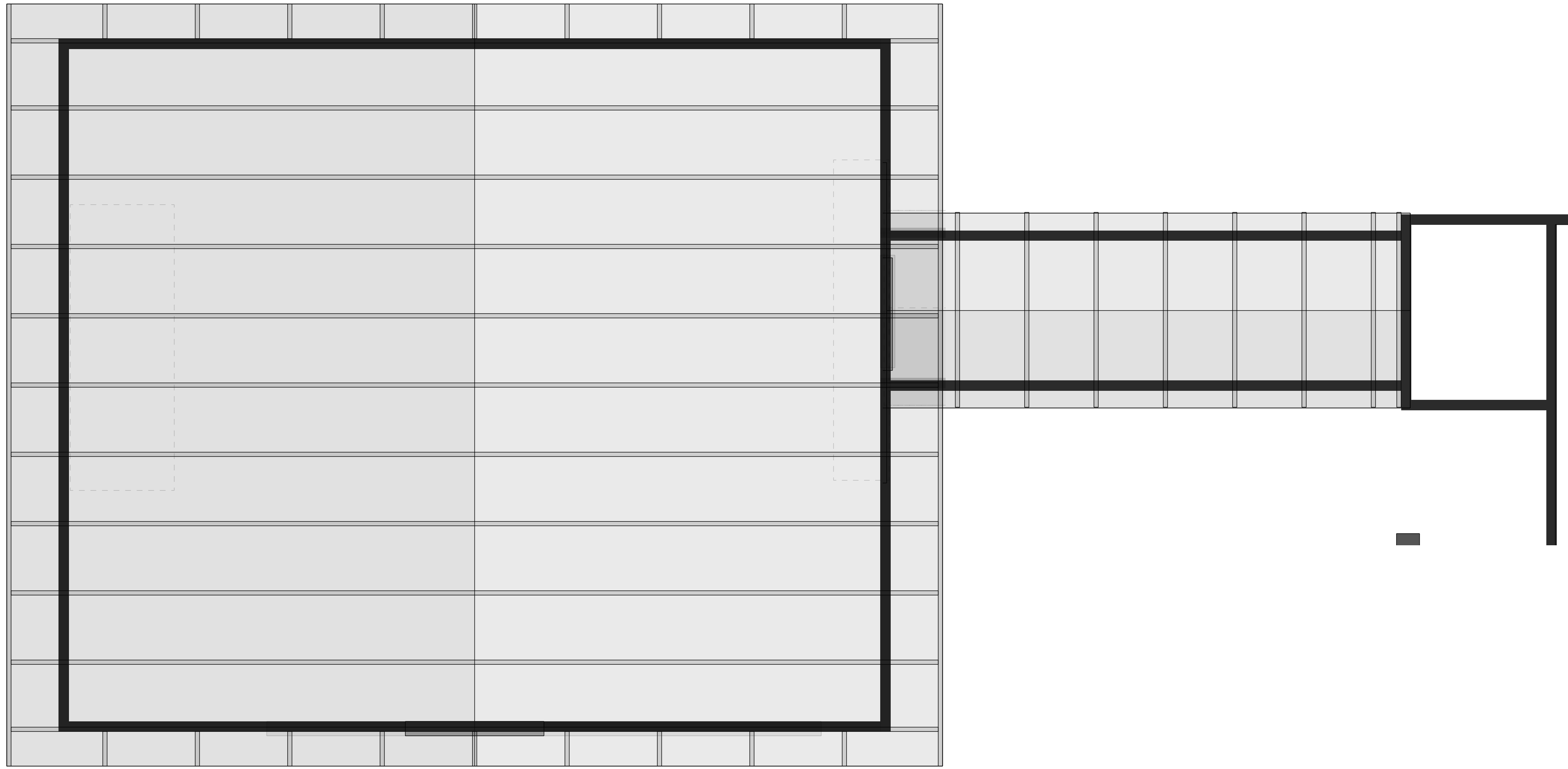
SCALE: As Noted  
 DRAWN BY: BENJAMIN ROGERS  
 DATE: Thursday, April 17, 2025

COPYRIGHT NOTICE:  
 ALL DRAFTING DEPICTED IN THESE DRAWINGS ARE DONE WITH THE EXPRESS PERMISSION OF THE CLIENT. B R DRAFTING AND DESIGN LLC RESERVES THE RIGHT TO MAKE COPIES, SELL OR DISTRIBUTE COPIES, PREPARE DERIVATIVE WORKS, AND PUBLICLY DISPLAY THE WORK AS THEY SEE FIT

GARAGE ADDITION  
 1655 ROCSEVELT AVE  
 LAKEWOOD, OH

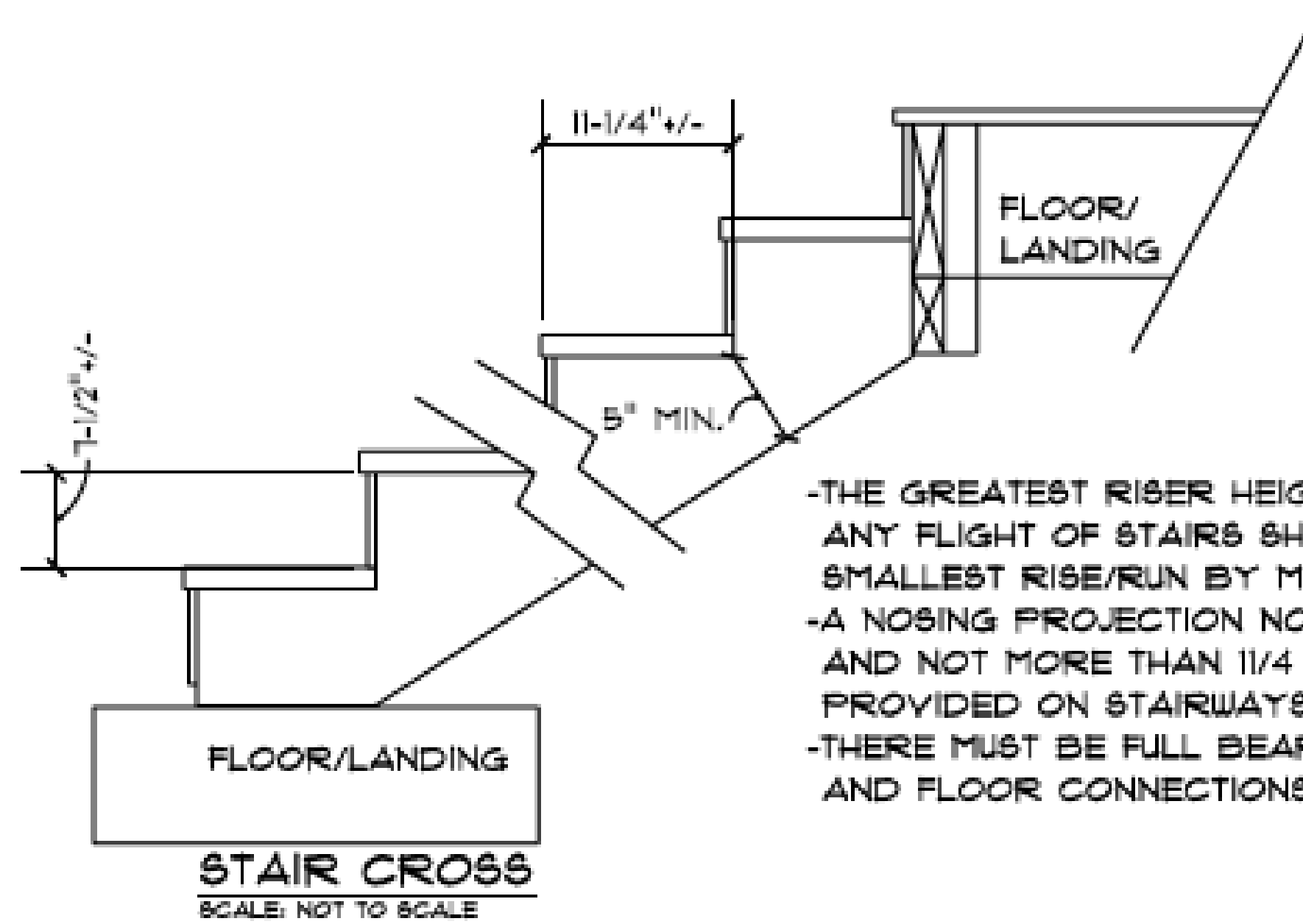
B R DRAFTING & DESIGN LLC  
 104 SOUTH WHITE STREET SUITE #210  
 WAKE FOREST, NC 27587  
 OH 440-703-8010 / NC 919-635-9500  
 info@brddplans.com / brddplans.com



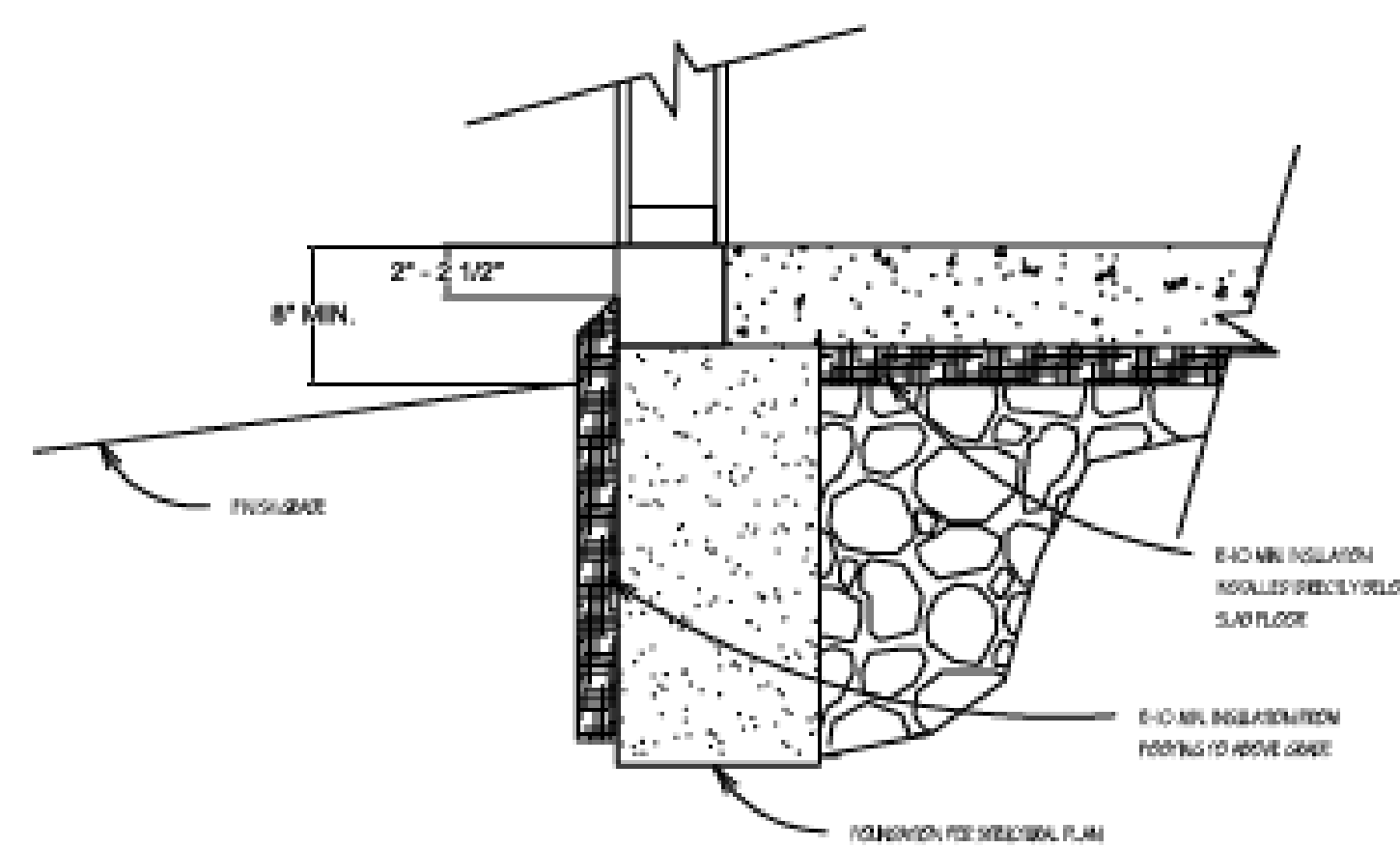


**ROOF OVERVIEW**  
SCALE: 1/2" = 1'-0"

PROPOSED ROOF STRUCTURES SHALL BE FRAMED USING ENGINEERED TRUSSES DESIGNED BY OTHERS.

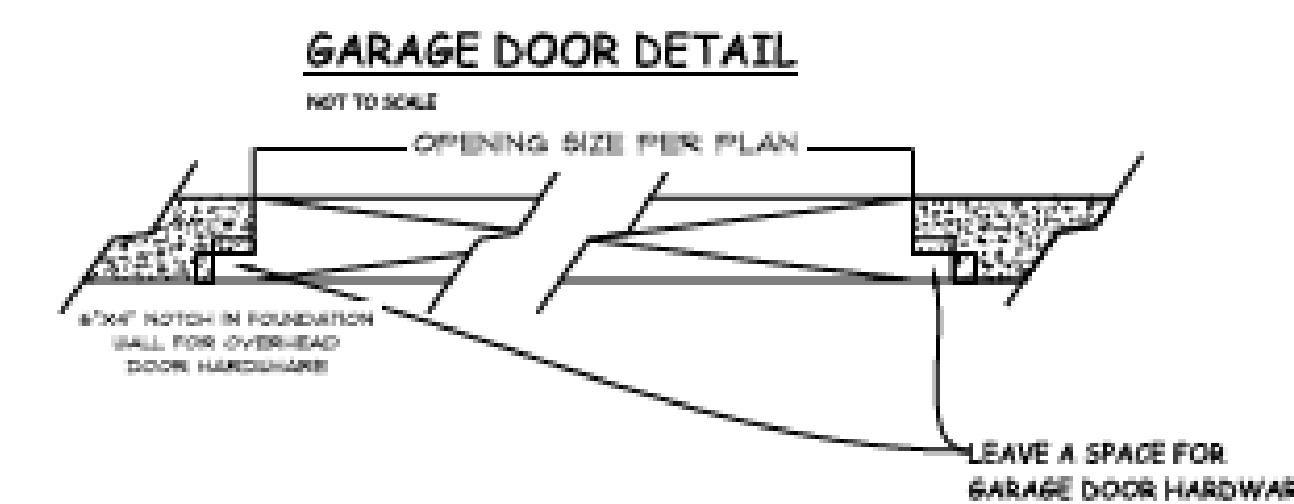
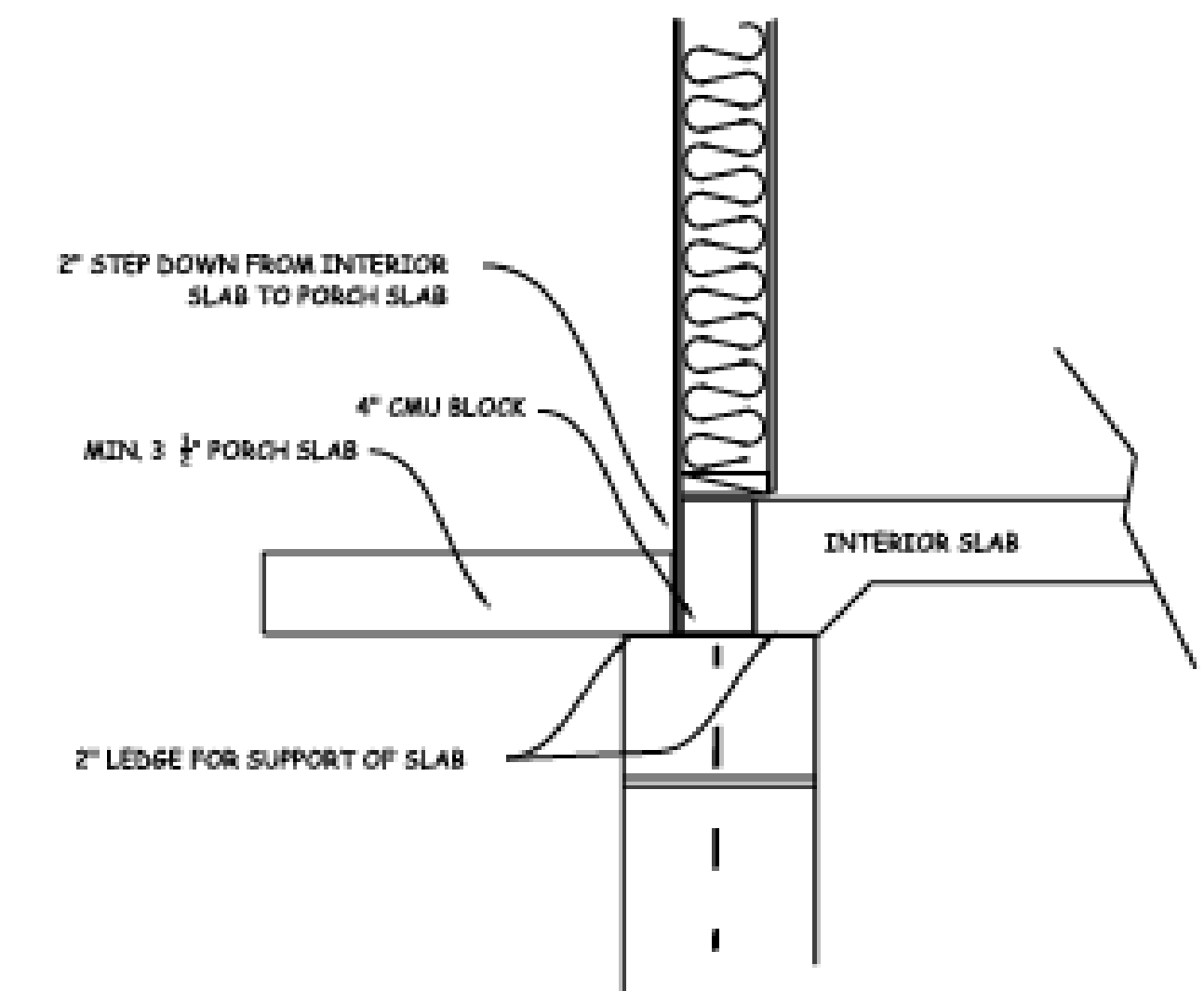


- THE GREATEST RISER HEIGHT OR TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST RISE/RUN BY MORE THAN 3/8".
- A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS
- THERE MUST BE FULL BEARING AT ALL LANDINGS AND FLOOR CONNECTIONS



**SLAB INSULATION DETAIL**  
SCALE: NOT TO SCALE

**FRONT PORCH/GARAGE FLOOR SLAB DETAIL**  
NOT TO SCALE



**GARAGE DOOR DETAIL**  
NOT TO SCALE

1) GENERAL STRUCTURAL NOTES:

- 1.1) THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER BEARS RESPONSIBILITY FOR THE STRUCTURAL COMPONENTS INCLUDING RAFTERS, HIPs, VALLEYS, RIDGES, CEILING AND FLOOR JOISTS, LOAD-BEARING WALLS, BEAMS AND HEADERS, COLUMNS AND POSTS, CANTILEVERS, PIERS, GIRDERS, AND FOOTINGS.
1.2) THE SER DOES NOT CERTIFY THE DIMENSIONAL ACCURACY OF THE ARCHITECTURAL DRAWINGS, INCLUDING THE ROOF. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES AND/OR INCOMPLETE INFORMATION.
1.3) THE SER IS NOT RESPONSIBLE FOR I-JOIST AND/OR FLOOR AND ROOF TRUSS DESIGN AND LAYOUT. FLOOR AND ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW FINAL TRUSS DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
1.4) THE SER IS NOT RESPONSIBLE FOR VERIFICATION OF ASSUMED FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ASSUMED FIELD CONDITIONS ARE MET OR EXCEEDED PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
1.5) THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHOULD PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION TO STABILIZE THE STRUCTURE.
1.6) THE SER DOES NOT BEAR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, NOR SAFETY PRECAUTIONS IN CONNECTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
1.7) ANY ERRORS DUE TO FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE SER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ANY REVISIONS ISSUED BY THE SER ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS.
1.8) THE SER DOES NOT PERFORM PENETRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO THE STRUCTURAL DESIGN. IT IS THE RESPONSIBILITY OF THE ARCHITECTURAL DESIGNER AND/OR CONTRACTOR TO PROVIDE ANY REQUIRED CALCULATIONS OUTSIDE OF THE SCOPE OF THE STRUCTURAL DESIGN.

2) DESIGN SPECIFICATIONS:

- 2.1) BUILDING CODES:
- 2019 IBC RESIDENTIAL CODE (NRC)
- ASCE/SEI 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"
2.2) DESIGN LIVE LOADS:
- ROOF 20 PSF
- UNINHABITABLE ATTICS WITH STORAGE 10 PSF
- UNINHABITABLE ATTICS WITH LIMITED STORAGE 20 PSF
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS 30 PSF
- SLEEPING AREAS 30 PSF
- LIVING AREAS 40 PSF
- DECKS AND BALCONIES 40 PSF
- STAIRS 40 PSF
- PASSENGER VEHICLE GARAGE 50 PSF
2.3) DESIGN DEAD LOADS:
- ROOF TRUSSES 20 PSF (10 PSF TC, 10 PSF BC)
- SOLID SAWN RAFTERS AND JOISTS 10 PSF
- I-JOISTS 12 PSF
- FLOOR TRUSSES 15 PSF (10 PSF TC, 5 PSF B)
- INTERIOR WALLS 8 PSF
- EXTERIOR WALLS 10 PSF
- BRICK, MASONRY, AND NATURAL STONE VENEER 40 PSF
- CERAMIC TILE FLOORING 10 PSF
- NATURAL STONE TILE FLOORING 32 PSF
- NOMINAL WEIGHT CONCRETE 145 PCF
2.4) DESIGN SNOW LOADS:
- GROUND SNOW LOAD 20 PSF
2.5) DESIGN LATERAL LOADS AND CRITERIA:
- ULTIMATE WIND SPEED UP TO 120 MPH
- WIND EXPOSURE B
- DESIGN WIND PRESSURE 20 PSF
- SEISMIC DESIGN CATEGORY B
2.6) DESIGN SOIL LOADS:
- SOIL BEARING CAPACITY 2000 PSF (MINIMUM, ASSUMED)
- LATERAL SOIL PRESSURE 45 PCF (MAXIMUM, ASSUMED)
2.7) DESIGN DEFLECTION LIMITS:
LIVE LOAD TOTAL LOAD
- ROOF TRUSSES L/360 L/240
- SOLID SAWN RAFTERS L/240 L/180
- SOLID SAWN CEILING JOISTS L/240 L/180
- I-JOISTS AND FLOOR TRUSSES L/480 L/240
- SOLID SAWN FLOOR JOISTS L/360 L/240
- BEAMS AND HEADERS L/240 L/240
- FRAMING SUPPORTING CERAMIC TILE L/360 L/360
- FRAMING SUPPORTING NATURAL STONE TILE L/720 (3/8" MAX)
- LINTELS AND FRAMING SUPPORTING BRICK OR MASONRY L/600 (3/8" MAX)

3) FOOTING AND FOUNDATION NOTES:

- 3.1) FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NCR.
3.1) VERIFICATION OF THE ASSUMED SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF THE CONTRACTOR. CONCRETE FOOTINGS SHALL NOT BE PLACED UNTIL THE SOIL BEARING CAPACITY HAS BEEN VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER OR BUILDING INSPECTOR. CONSULT THE SER SHOULD THE SOIL BEARING CAPACITY NOT BE MET OR IF ANY OTHER ADVERSE SOIL CONDITION IS ENCOUNTERED.
3.2) THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW GRADE OR BELOW THE FROST LINE FOR THE CONSTRUCTION LOCATION, WHICHEVER IS GREATER.
3.3) ANY COMPACTED FILL SHALL BE PLACED UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY.
3.4) FOOTINGS SHALL BE FREE OF VEGETATION, TOPSOIL, AND FOREIGN MATERIAL. NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING WATER, ICE, FROST, OR LOOSE MATERIAL.

- 3.5) FOOTINGS SUPPORTING FOUNDATION WALLS SHALL HAVE A MINIMUM PROJECTION OF 2" AT ALL SIDES. MAXIMUM FOOTING PROJECTION AT FOUNDATION WALLS SHALL NOT EXCEED THE THICKNESS OF THE FOOTING. WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIA ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT INTO CONCRETE OR SOLID-GROUTED MASONRY SPACED A MAXIMUM OF 6'-0" O.C. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER PLATE SECTION AND ONE ANCHOR BOLT WITHIN 12" OF EACH CORNER. ANCHOR BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SILL PLATE.
3.6) FOUNDATION WALLS MAY BE STEPPED AND FRAMED WITH CRIPPLE WALLS WHERE GRADE PERMITS (SEE NOTE 7.14 FOR WALL FRAMING REQUIREMENTS).
3.7) PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO DAYLIGHT AS REQUIRED BY SITE CONDITIONS.
3.8) THE SITE SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST TEN FEET.
3.9) CRAWL SPACES SHALL BE GRADED LEVEL AND CLEAR OF ALL DEBRIS. CRAWL SPACE GRADE SHALL BE LINED WITH MINIMUM 6 MIL APPROVED VAPOR BARRIER WITH ALL JOINTS LAPPED MINIMUM 12" AND SEALED. PROVIDE A MINIMUM ACCESS OPENING MEASURING 18" BY 24".

4) CONCRETE NOTES:

- 4.1) INTERIOR SLABS ON GRADE, EXCEPT FOR GARAGE FLOORS, AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F) 2500 PSI AT 28 DAYS. FOUNDATION WALLS, GARAGE SLABS ON GRADE, AND EXTERIOR SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F) 3000 PSI AT 28 DAYS. ALL CONCRETE SHALL BE CAST IN PLACE.
4.2) CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
4.3) ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH TOTAL AIR VOLUME NOT LESS THAN 5% (OR MORE THAN 7%).
4.4) CONCRETE SLABS ON GRADE SHALL BE MINIMUM 4" THICK AND REINFORCED WITH POLYPROPYLENE FIBERS (OR 6x6 WELDED WIRE FABRIC (WWF)). POLYPROPYLENE FIBERS SHALL BE APPLIED AT A MINIMUM RATE OF 1.5 LBS PER CUBIC YARD. WWF SHALL BE PLACED AT THE MID-DEPTH OF THE SLAB.
4.5) CONCRETE SLABS ON GRADE SHALL BE PLACED ON MINIMUM 4" THICK GRANULAR FILL COMPACTED TO MINIMUM 95% OF THE MAXIMUM DRY DENSITY. INTERIOR SLABS ARE TO BE PLACED ON A MINIMUM 6 MIL VAPOR BARRIER PLACED ON TOP OF THE GRANULAR FILL.
4.6) JOINTS TO DEEP CONTROL JOINTS (SAW-CUT OR TOOLED) ARE TO BE PLACED IN SLABS ON GRADE WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING. CONTROL JOINTS ARE TO BE SPACED APPROXIMATELY 10'-0" O.C.
4.7) ALL CAST-IN-PLACE CONCRETE WALLS SHALL CONFORM TO SECTIONS R404 AND/R R608 OF THE 2018 NCR, ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND/OR ACI 332 "CODE REQUIREMENTS FOR RESIDENTIAL CONCRETE".

5) MASONRY NOTES:

- 5.1) CONCRETE MASONRY SHALL CONFORM TO ASTM C90. ALL BRICK SHALL CONFORM TO ASTM #62. ALL MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI.
5.2) ALL MORTAR SHALL BE TYPE "S". GROUT AND MORTAR SHALL CONFORM TO ASTM C270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
5.3) ALL MASONRY WALLS SHALL CONFORM TO SECTION SECTIONS R404 AND/OR R606 OF THE 2018 NCR, NOMA TR68-A "CONSTRUCTION USING CONCRETE MASONRY", AND/OR ACE 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES".
5.4) THE UNSUPPORTED HEIGHT OF UNGROUTED HOLLOW MASONRY PIERS SHALL NOT EXCEED FIVE TIMES THEIR LEAST DIMENSION. THE UNSUPPORTED HEIGHT OF SOLID OR SOLID-GROUTED MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION.
5.5) EACH CRAWL SPACE PIER SHALL BEAR WITHIN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR WITHIN THE MIDDLE THIRD OF THE PIERS. PILASTERS SHALL BE BONDED TO THE PERIMETER FOUNDATION WALL.
5.6) THE TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS SHALL BE GROUTED SOLID.
5.7) HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GAUGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE IN THE DRAWINGS, AND SHALL CONFORM TO ASTM A951. LAP HORIZONTAL REINFORCEMENT MINIMUM 6" FOR CONTINUOUS WALL APPLICATIONS.

6) REINFORCING STEEL NOTES:

- 6.1) WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185. CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60. REINFORCING STEEL WITHIN FOOTINGS SHALL MAINTAIN MINIMUM 3" CONCRETE COVER AND REINFORCING STEEL WITHIN SLABS SHALL MAINTAIN MINIMUM 1 1/2" CONCRETE COVER. CONCRETE COVER FOR #5 AND SMALLER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 1 1/2" AND CONCRETE COVER FOR #6 AND LARGER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 2".
6.2) LAP REINFORCING STEEL, AS REQUIRED, A MINIMUM OF 48 TIMES THE BAR DIAMETER (18" FOR #3 BARS, 24" FOR #4 BARS, 30" FOR #5 BARS, 36" FOR #6 BARS, ETC.).

7) WOOD FRAMING NOTES:

- 7.1) SOLID SAWN FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) #2 OR SOUTHERN YELLOW (SYP) #2 WITH THE FOLLOWING MINIMUM DESIGN VALUES:
- SPF #2: Fb=875 PSI, Fv=135 PSI, E=1,400,000 PSI
- SYP #2: Fb=750 PSI, Fv=175 PSI, E=1,400,000 PSI
7.2) ENGINEERED LUMBER BEAMS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
- LAMINATED STRAND LUMBER (LSL): Fb=2,325 PSI, Fv=310 PSI, E=1,550,000 PSI
- LAMINATED VENEER LUMBER (LVL): Fb=2,600 PSI, Fv=285 PSI, E=2,000,000 PSI
- PARALLEL STRAND LUMBER (PSL): Fb=2,900 PSI, Fv=290 PSI, E=2,000,000 PSI
7.3) ENGINEERED LUMBER COLUMNS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
- LAMINATED STRAND LUMBER (LSL): Fb=1,700 PSI, Fc=710 PSI, E=1,300,000 PSI
- LAMINATED VENEER LUMBER (LVL): Fb=2,600 PSI, Fc=750 PSI, E=2,000,000 PSI
- PARALLEL STRAND LUMBER (PSL): Fb=2,400 PSI, Fc=545 PSI, E=1,800,000 PSI
7.4) WOOD IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESURE TREATED IN ACCORDANCE WITH AWPA STANDARD #15. ALL OTHER MOISTURE EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD #2 (R SHALL BE A NATURALLY DURABLE DECAY RESISTANT WOOD AS DEFINED IN SECTION R202 OF THE 2018 NCR.
7.5) NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE AND SHALL CONFORM TO ASTM F1667-05.

- 7.6) BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. INSTALL STANDARD STEEL WASHERS FOR THE NUT AND BOLT HEAD WHEN BOLTING WOOD MEMBERS. HOLES FOR BOLTS SHALL BE 1/16" LARGER THAN THE BOLT DIAMETER UNLESS NOTED OTHERWISE.
7.7) LAG SCREWS SHALL CONFORM TO ANSI/ASME B18.2.1. INSTALL STANDARD STEEL WASHERS FOR THE SCREW HEAD. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
7.8) INDIVIDUAL STUDS BUILT UP TO FORM A COLUMN SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 6" O.C. STAGGERED. BLOCKING MATCHING OR EXCEEDING THE WIDTH OF THE STUD COLUMN SHALL BE INSTALLED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER THROUGH THE STRUCTURE.
7.9) MULTI-PLY SOLID SAWN BEAMS AND HEADERS SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x8 AND SMALLER OR (3) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x10 AND LARGER. APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLYS.
7.10) MULTI-PLY ENGINEERED LUMBER BEAMS AND HEADERS SHALL BE FASTENED PER THE MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
7.11) BEAMS PERPENDICULAR TO THE SUPPORTING WALL SHALL BEAR THE FULL WIDTH OF THE WALL UNLESS NOTED OTHERWISE AND SHALL BE SUPPORTED BY A COLUMN OF BUILT UP STUDS THAT MATCHES OR EXCEEDS THE WIDTH OF THE BEAM (NOT LESS THAN TWO STUDS).
7.12) BEAMS PARALLEL TO THE SUPPORTING WALL SHALL BEAR THE WIDTH OF THE SPECIFIED STUD COLUMN ON THE END OF THE WALL (BEARING SHALL NOT BE LESS THAN 3" TO BEAR OVER TWO STUDS UNLESS NOTED OTHERWISE).
7.13) HEADERS SHALL BE SUPPORTED BY JACK STUDS AND KING STUDS BASED ON THE FOLLOWING CONDITIONS UNLESS NOTED OTHERWISE:
CLEAR SPAN: # OF JACK STUDS: # OF KING STUDS (EXTERIOR): # OF KING STUDS (INTERIOR):
UP TO 3'-0" (1) (1) (1)
>3'-0" UP TO 6'-0" (2) (2) (1)
>6'-0" UP TO 9'-0" (2) (3) (2)
>9'-0" UP TO 12'-0" (3) (4) (2)
>12'-0" UP TO 15'-0" (3) (5) (3)
>15'-0" UP TO 18'-0" (4) (6) (3)

- 7.14) STUD SPACING FOR EXTERIOR AND INTERIOR BEARING WALLS SHALL BE BASED ON THE FOLLOWING CONDITIONS UNLESS NOTED OTHERWISE:
- SUPPORTING UP TO ONE STORY ABOVE:
UP TO 10'-1 1/2" IN HEIGHT 2x4 @ 16" O.C. OR 2x6 @ 24" O.C.
>10'-1 1/2" UP TO 12'-1 1/2" 2x4 @ 12" O.C. OR 2x6 @ 16" O.C.
- SUPPORTING UP TO TWO STORIES ABOVE:
UP TO 10'-1 1/2" IN HEIGHT 2x4 @ 12" O.C. OR 2x6 @ 16" O.C.
>10'-1 1/2" UP TO 12'-1 1/2" 2x6 @ 12" O.C.
7.15) ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 5/8" APA RATED CSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" C.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE.
7.16) ROOF SHEATHING SHALL BE MINIMUM 7/8" APA RATED SHEATHING EXPOSURE 1 ATTACHED TO ROOF FRAMING WITH 8d NAILS @ 6" C.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
7.17) FLOOR SHEATHING SHALL BE MINIMUM 3/8" APA RATED TONGUE AND GROOVE SHEATHING EXPOSURE 1 ATTACHED TO FLOOR FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
7.18) EXTERIOR WOOD DECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPENDIX M OF THE 2018 NCR UNLESS NOTED OTHERWISE.
7.19) EXTERIOR WOOD POSTS SHALL BE SECURED TO THE BAND AT THE BOTTOM AND BEAM AT THE TOP WITH (1) SIMPSON STRONG-TIE H6 HURRICANE TIE, (2) H2.5A HURRICANE TIES, OR (1) SECTION OF #16 POLY STRAPPING WITH MINIMUM 9" END LENGTHS. FOR MASONRY OR CONCRETE FOUNDATIONS, SECURE POSTS AT THE BOTTOM WITH A SIMPSON STRONG-TIE ABU PLST BASE FOR THE SPECIFIED PLST SIZE.

8) STEEL FRAMING NOTES:

- 8.1) STEEL FRAMING SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- W SHAPES ASTM A992
- CHANNELS AND ANGLES ASTM A36
- PLATES AND BARS ASTM A36
- HOLLOW STRUCTURAL SECTIONS (HSS) ASTM A500, GRADE B
- PIPES ASTM A53, GRADE B, TYPE E OR S
8.2) STEEL BEAMS SHALL BE ANCHORED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS UNLESS NOTED OTHERWISE:
- WOOD FRAMING (2) 1/2" DIAMETER x 4" LONG LAG SCREWS
- CONCRETE (2) 1/2" DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS
- MASONRY (GROUTED SOLID) (2) 1/2" DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS
- STEEL COLUMN (2) 1/2" DIAMETER BOLTS OR 5/8" CONTINUOUS FILLET WELD
8.3) ATTACH A 2x NAILER TO THE TOP FLANGE OF STEEL BEAMS W/ (2) ROWS OF 1/2" DIAMETER CARRIAGE BOLTS @ 48" O.C. STAGGERED UNLESS NOTED OTHERWISE.
8.4) FLITCH BEAMS SHALL BE BOLTED WITH (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" C.C. STAGGERED.

9) SUPPORT OF MASONRY OR NATURAL STONE VENEER:

- 9.1) VENEER ABOVE OPENINGS SHALL BE SUPPORTED BY STEEL ANGLES AS FOLLOWS UNLESS NOTED OTHERWISE:
CLEAR SPAN: SIZE OF STEEL ANGLE:
UP TO 3'-0" 3x3x1/4
>3'-0" UP TO 6'-0" 5x3 1/2x1/8 (LONG LEG VERTICAL)
>6'-0" UP TO 8'-0" 6x4x1/8 (LONG LEG VERTICAL)
9.2) VENEER ABOVE OPENINGS WITH A CLEAR SPAN EXCEEDING 8'-0" SHALL BE SUPPORTED BY A 6x4x1/8 STEEL ANGLE FASTENED TO THE HEADER WITH (2) ROWS OF 1/2" DIAMETER LAG SCREWS @ 16" O.C. UNLESS NOTED OTHERWISE.
9.3) STEEL ANGLES SHALL BE EMBEDDED MINIMUM 4" INTO THE VENEER AT EACH SIDE OF THE OPENING.
9.4) VENEER ABOVE ROOF LINES SHALL BE SUPPORTED BY A 6x4x1/8 STEEL ANGLE FASTENED TO (2) 2x10 BLOCKING W/ (2) ROWS OF 1/2" DIAMETER LAG SCREWS @ 16" O.C. BLOCKING TO BE FASTENED TO WALL STUDS AT EACH END WITH (4) 10d TCE NAILS PER PLY. FOR ROOF SLOPES EXCEEDING 7:12, WELD 3"x3"x1/4" STEEL PLATE STOPS @ 24" O.C. TO STEEL ANGLE.

COMMON ABBREVIATIONS

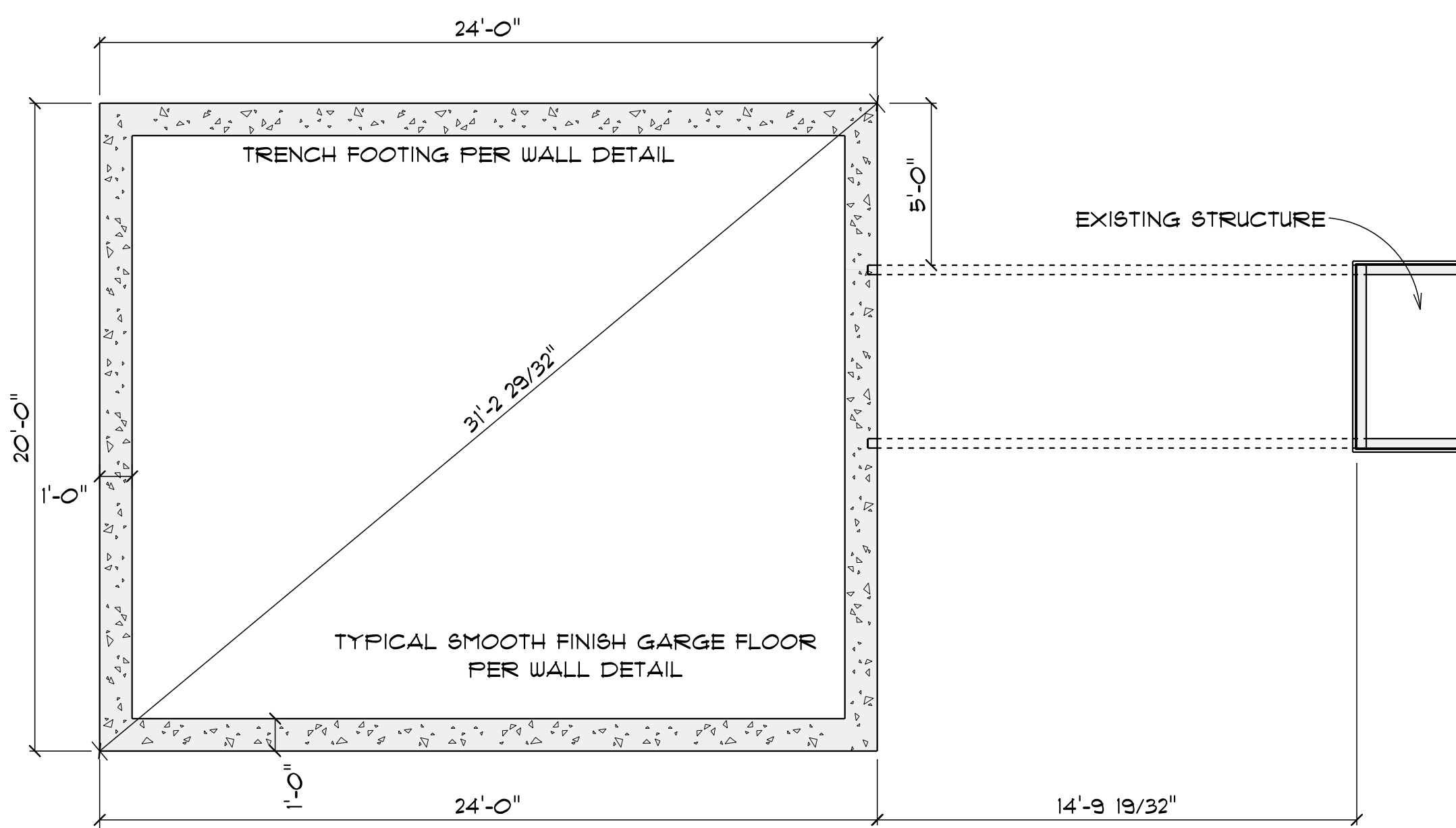
Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes terms like AFF ABOVE FINISHED FLOOR, ALT ALTERNATE, ARCH ARCHITECTURAL, BEARING, BOTTOM, FAST-IN-PLACE, CLEAR, CONCRETE MASONRY UNIT, CONNECTION, CONTINUOUS, DOUBLE, DIAMETER, DOUBLE JOIST, DOUBLE STUD POCKET, EACH, EQUAL, FLOOR, FOUNDATION, FOOTING, GAUGE, HOT-DIPPED GALVANIZED, HEADER, HANGER, HORIZONTAL, INSULATED CONCRETE FORMS, INFORMATION, POUNDS, LAMINATED STRAND LUMBER, LAMINATED VENEER LUMBER, MAXIMUM, MANUFACTURER, MINIMUM, NOT TO SCALE, CENTER, POUNDS PER CUBIC FOOT, POUNDS PER LINEAR FOOT, POUNDS PER SQUARE FOOT, PARALLEL STRAND LUMBER, PRESSURE TREATED, QUADRUPLE JOIST, REINFORCEMENT, STRUCTURAL ENGINEER OF RECORD, SQUARE FEET, SINGLE JOIST, SPACE (SPACING), SPECIFICATION(S), SPRUCE-PINE-FIR, SIMPSON STRONG-TIE, SOUTHERN YELLOW PINE, TRIPLE JOIST, TRIPLE, TRIPLE STUD POCKET, TYPICAL, UNLESS NOTED OTHERWISE, VERTICAL, WITH, WELDED WIRE FABRIC, EXTRA JOIST.

LEGEND

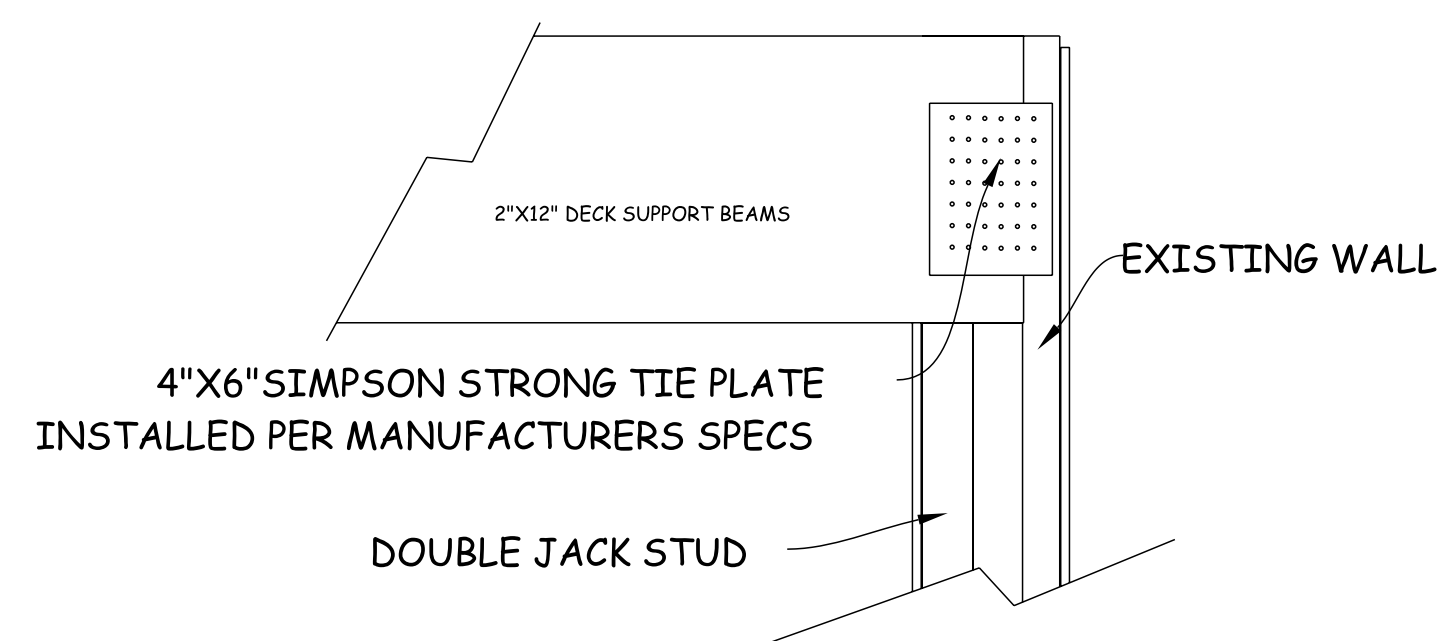
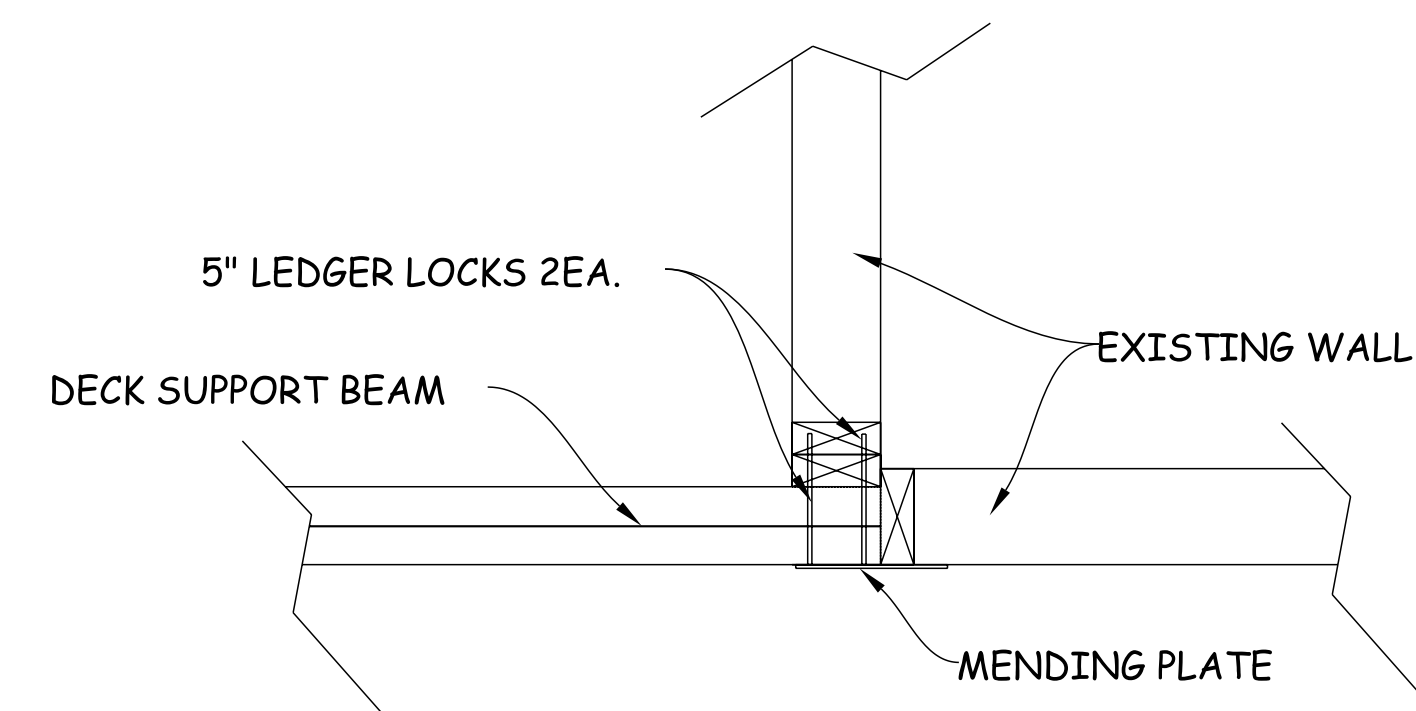
Legend table with 2 columns: Symbol, Description. Includes symbols for STUD COLUMN AT POINT LOCATIONS, OFFSET POINT LOAD, BEARING WALL, BEAM, GIRDER, OR HEADER, JOIST, RAFTER, OR TRUSS, MECHANICAL FASTENER, FULL HEIGHT MASONRY OR NATURAL STONE VENEER, MASONRY OR NATURAL STONE VENEER WATERTABLE BELOW, PLUMBING OR APPLIANCES ABOVE, SOLID GROUTED MASONRY, ROOF SUPPORT BELOW, FULL HEIGHT BRICK VENEER BELOW ROOF.

Table with 2 main sections: MECHANICAL FASTENERS and ALLOWABLE I-JOIST SUBSTITUTIONS. Includes columns for BEAM SIZE, FASTENER, SPECIFIED SERIES, EQUIVALENT SERIES, and NOTES.

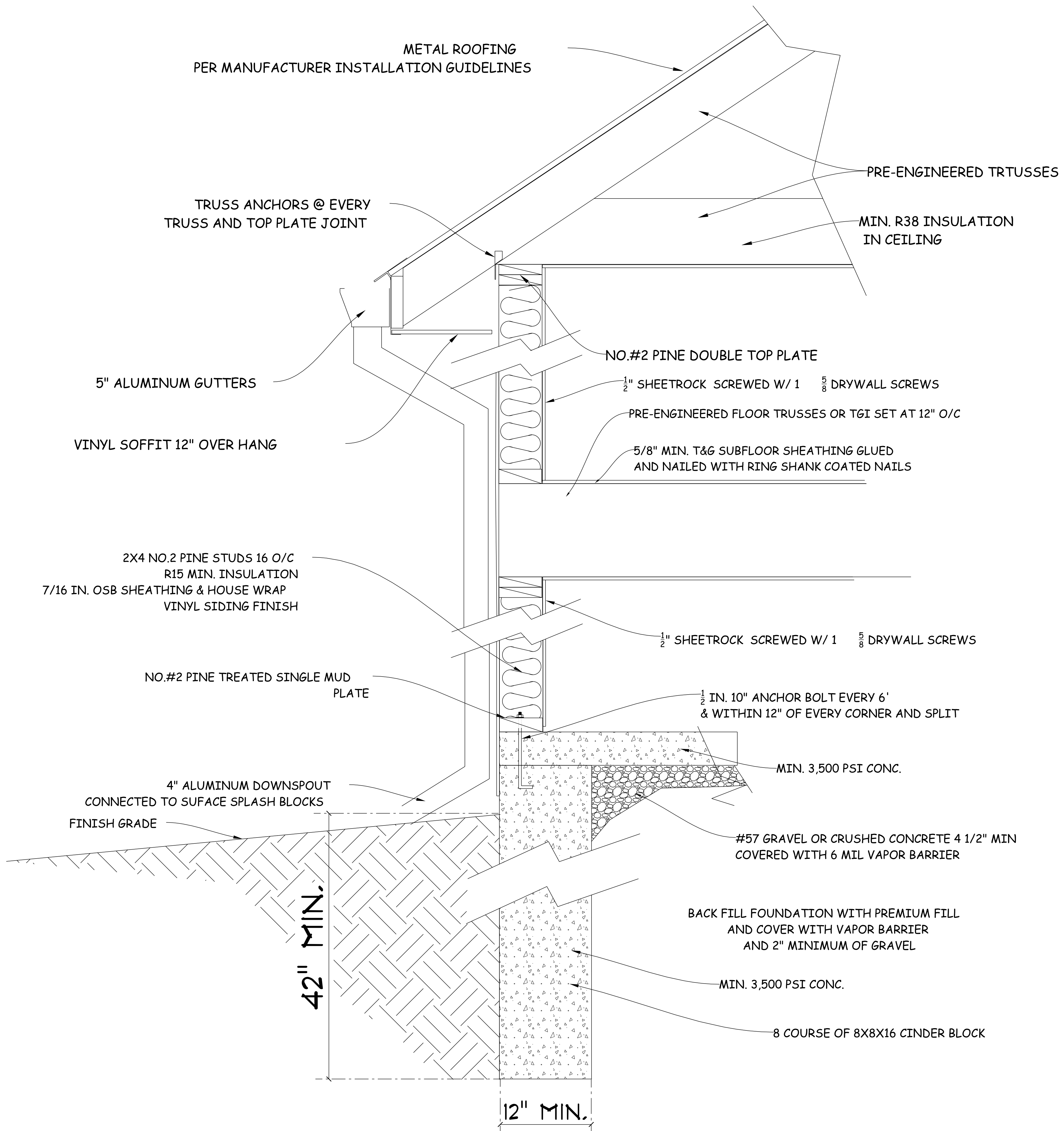
Vertical sidebar containing project information: SCALE: 0.1582" = 1'-0", DRAWN BY: BENJAMIN ROGERS, DATE: Thursday, April 17, 2025, GARAGE ADDITION, 1655 ROOSEVELT AVE LAKEWOOD, OH, BR DRAFTING & DESIGN LLC, 104 SOUTH WHITE STREET SUITE #210 WAKE FOREST, NC 27587, OH 440-703-8010 / NC 919-636-9900 info@brddplans.com / brddplans.com



**FOUNDATION**  
SCALE: 1/4" = 1'-0"



**BEAM CONNECTION**  
SCALE: NOT TO SCALE



**WALL DETAIL**  
SCALE: NOT TO SCALE

COPYRIGHT NOTICE: ALL DRAFTING DEPICTED IN THESE DRAWINGS ARE DONE WITH THE EXPRESS PERMISSION OF THE CLIENT. B.R. DRAFTING AND DESIGN LLC RESERVES THE RIGHT TO MAKE COPIES, SELL OR DISTRIBUTE COPIES, PREPARE DERIVATIVE WORKS, AND PUBLICLY DISPLAY THE WORK AS THEY SEE FIT.  
 SCALE: As Noted  
 DRAWN BY: BENJAMIN ROGERS  
 DATE: Thursday, April 17, 2025  
**BR DRAFTING & DESIGN LLC**  
 104 SOUTH WHITE STREET SUITE #210  
 WAKE FOREST, NC 27587  
 OH 440-703-8010 / NC 919-635-9500  
 info@brddplans.com / brddplans.com  
**BR DRAFTING DESIGN**  
 5 / 5  
 S-2



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-48-25

Permit No.: BBS25-000044

Applicant Name: Daniel Rothstein, Northlake Ridgewood LLC

Project Address: 13345 Madison Ave.

Project Name: Commercial Building

Project: Applicant proposes a mural on the west side of the building.

Handwritten signature in blue ink, appearing to read "K. J. [unclear]".



Through sun  
and rain, you'll  
bloom all the  
same



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-49-25

Permit No.: BBS25-000047

Applicant Name: Michael Daso, Daso Properties

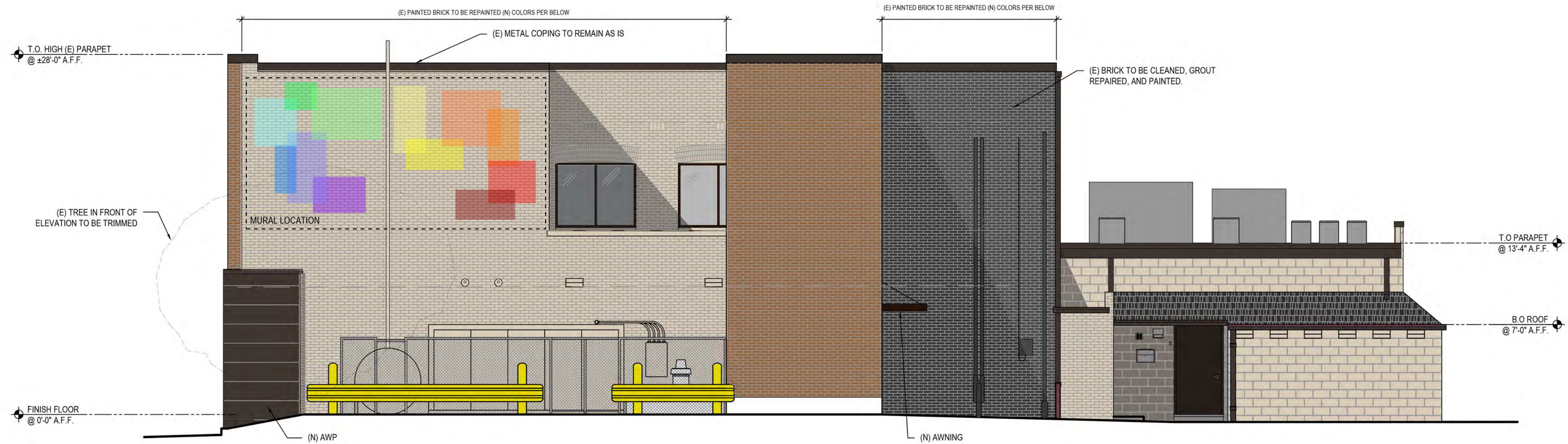
Project Address: 16024 Madison Ave.

Project Name: Neighborhood Pediatrics LLC

Project: Applicant proposes exterior renovations.







1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

REVISIONS

#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY  
EXTERIOR  
ELEVATIONS

DATE 4/29/25

JOB NO. 24472

**EL-2**

SHEET NO.



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-50-25

Permit No.: BBS25-000049

Applicant Name: Steve Mazzone, Godfather Garages LLC

Project Address: 2106 Mars Ave.

Project Name: Neighborhood Pediatrics LLC

Project: Applicant proposes the construction of a new garage on a corner lot.

2

2

2106 Mars Avenue

314-16-047 36x120

432058ft

120'-0"

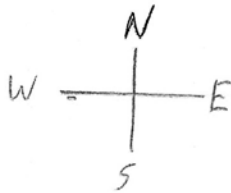
Firewall

1-6

22 x 22  
Garage

30'-0"

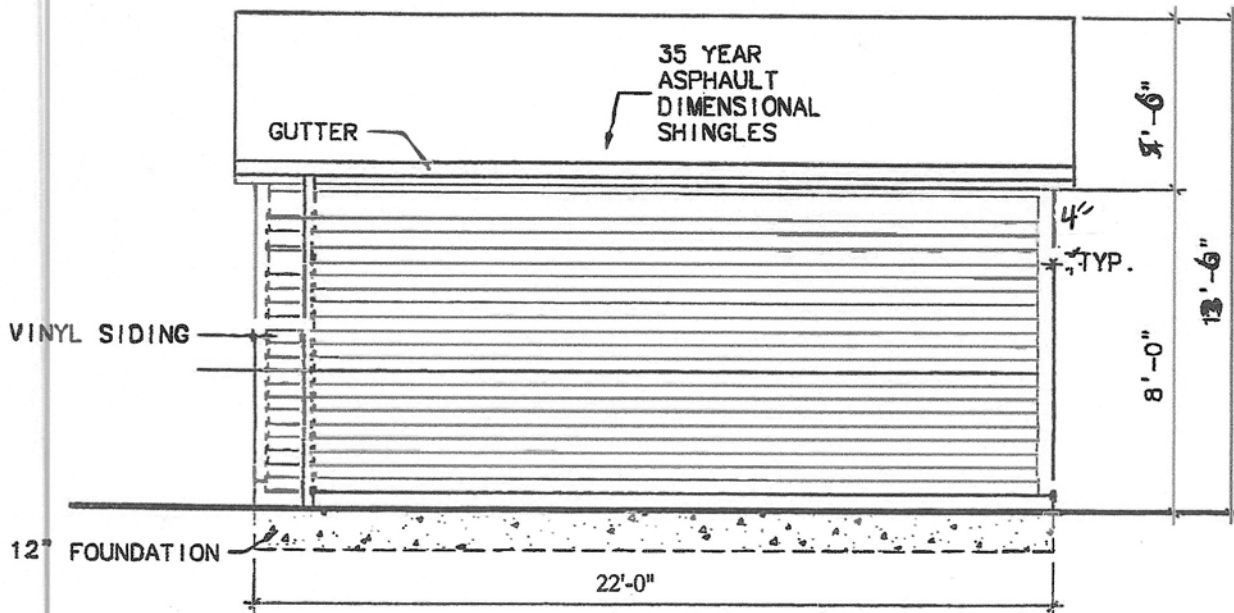
House



36'-0"

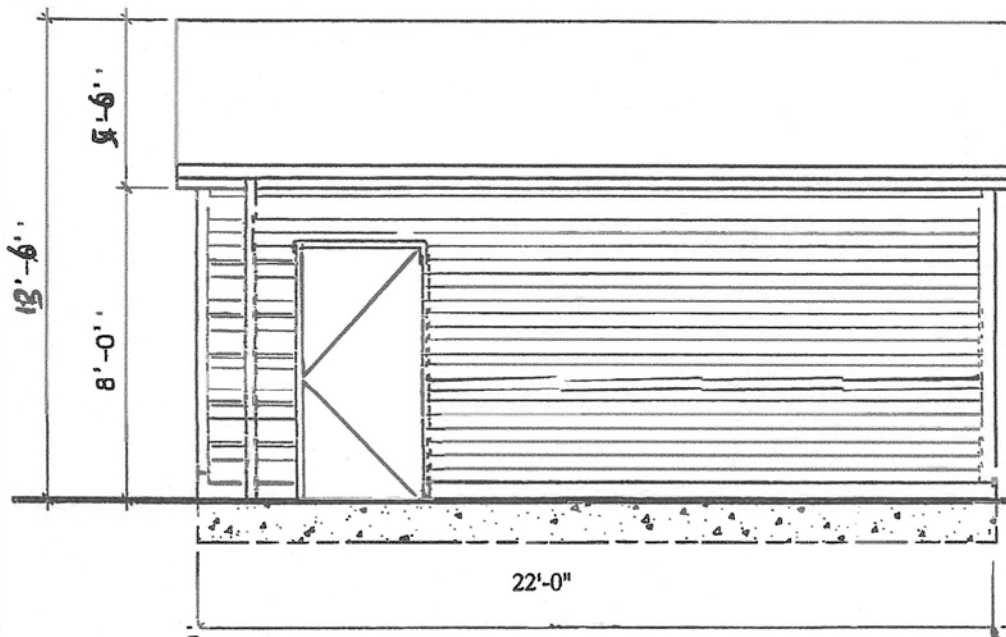
MARS AVE

Athens Ave



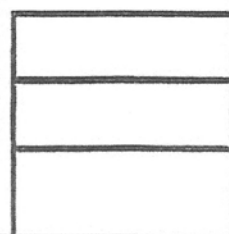
**West LEFT ELEVATION.**

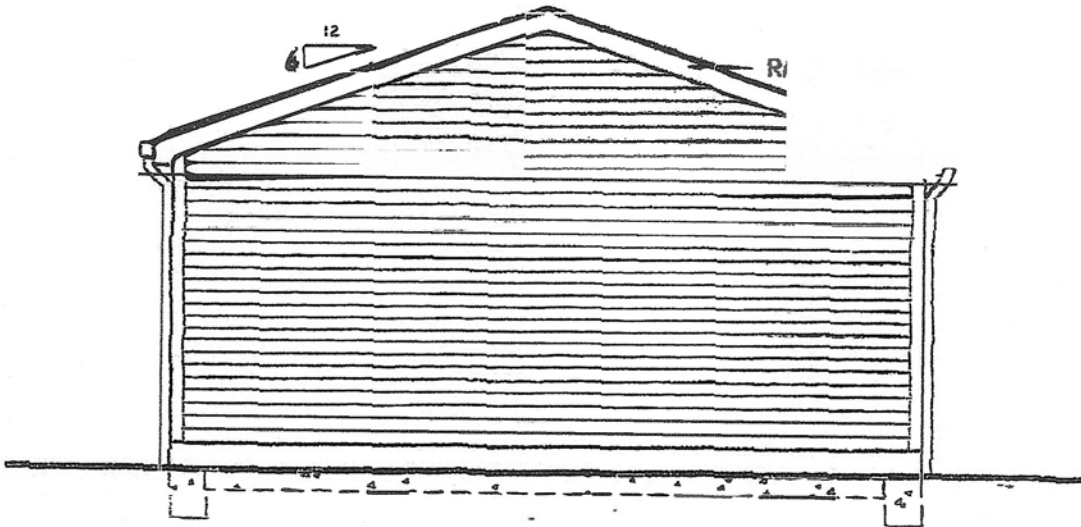
1/4"=1'-0"



**East RIGHT ELEVATION.**

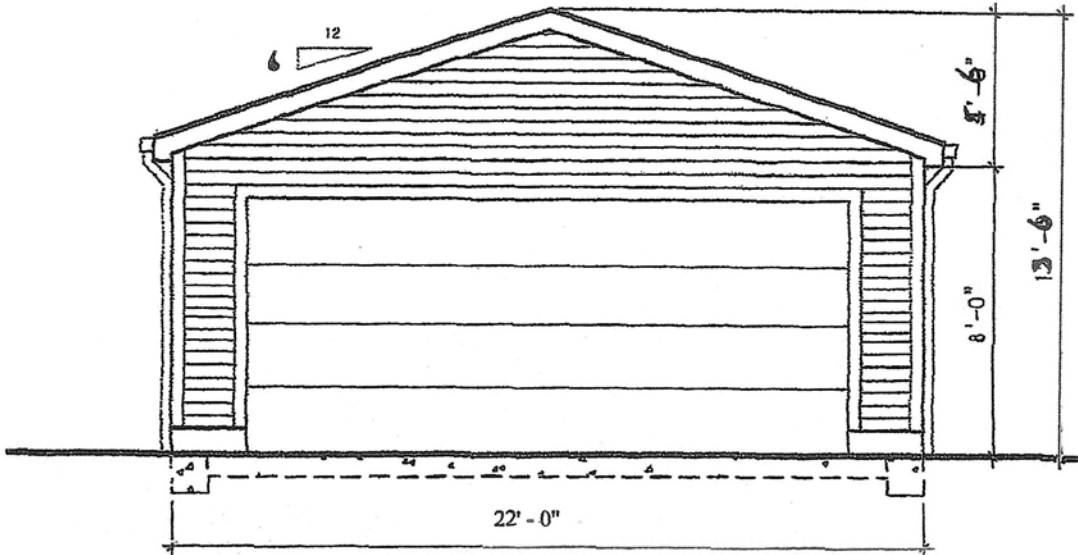
**GODFATHER GARAGES**  
 CLEVELAND, OHIO





**REAR ELEVATION**

1/4"=1'-0"



**FRONT ELEVATION**

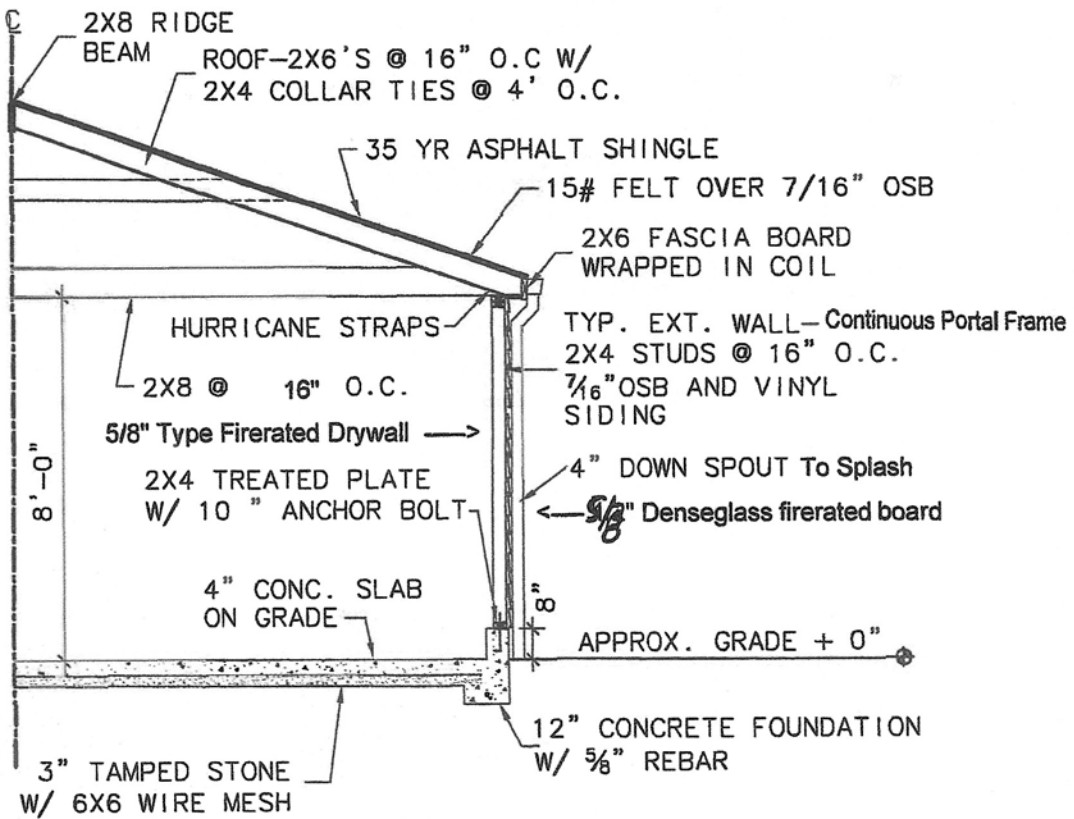
1/4"=1'-0"

**GODFATHER GARAGES**  
**CLEVELAND, OHIO**

03/10/16

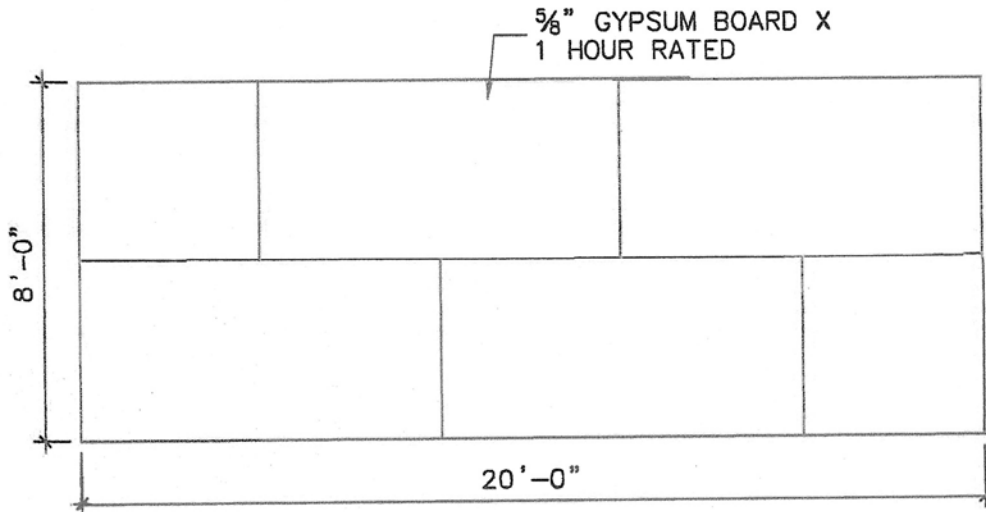
2016-03

**SK-3**



**CONSTRUCTION DETAIL**

1/4"=1'-0"



\*\*NOTE: FIREWALL FASTENED EVERY 16" VERTICAL AND HORIZONTAL\*\*

**FIREWALL DETAIL**

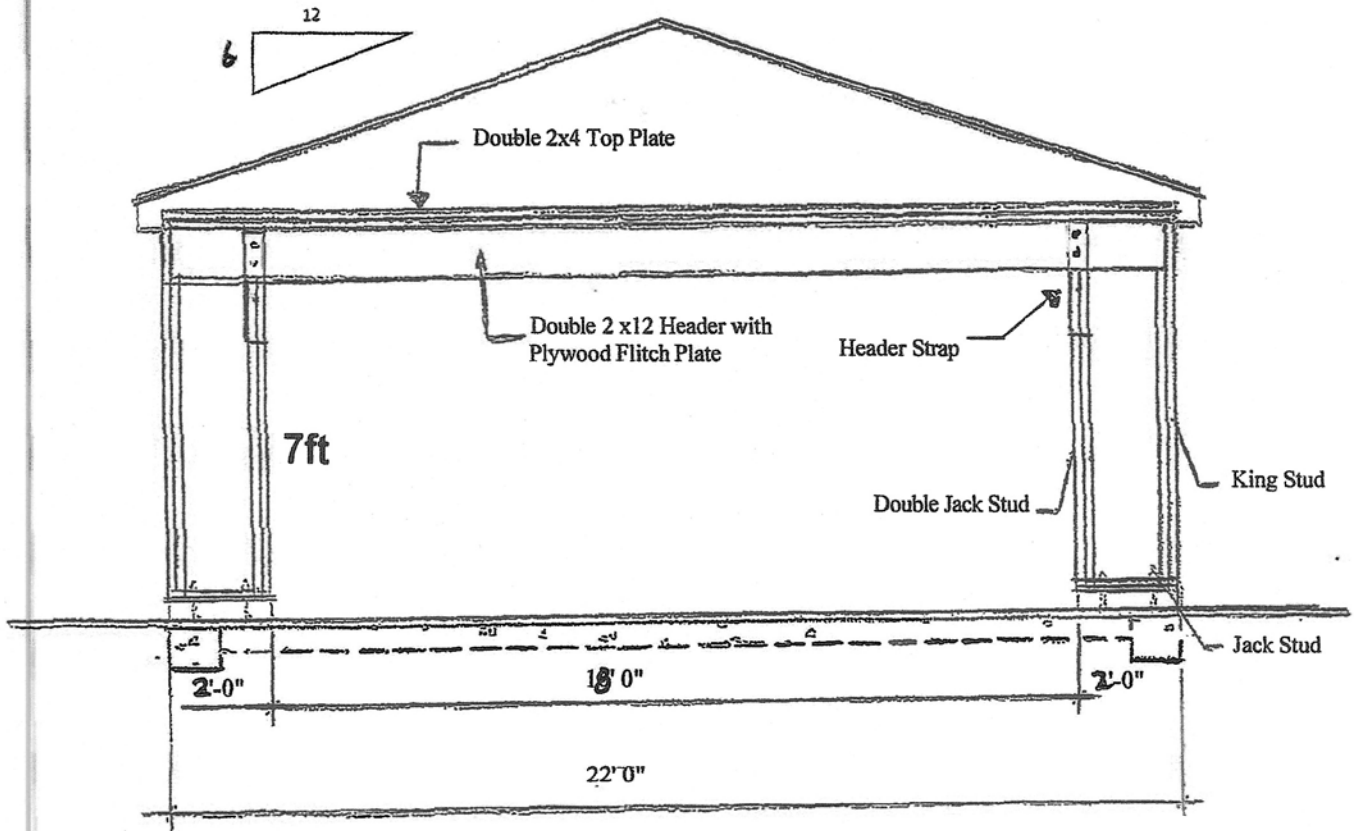
1/4"=1'-0"

**GODFATHER GARAGES**  
 CLEVELAND, OHIO

03/10/16

2016-03

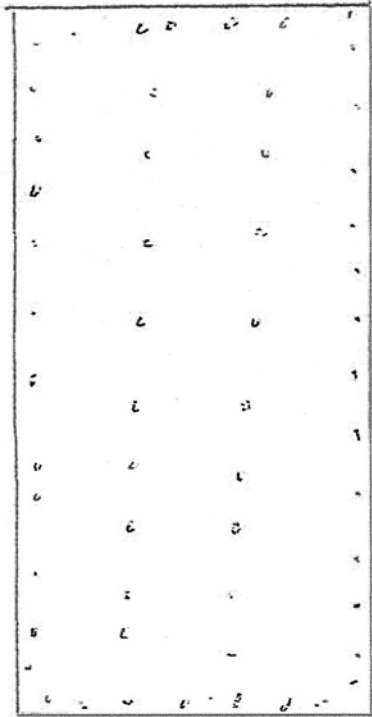
**SK-1**



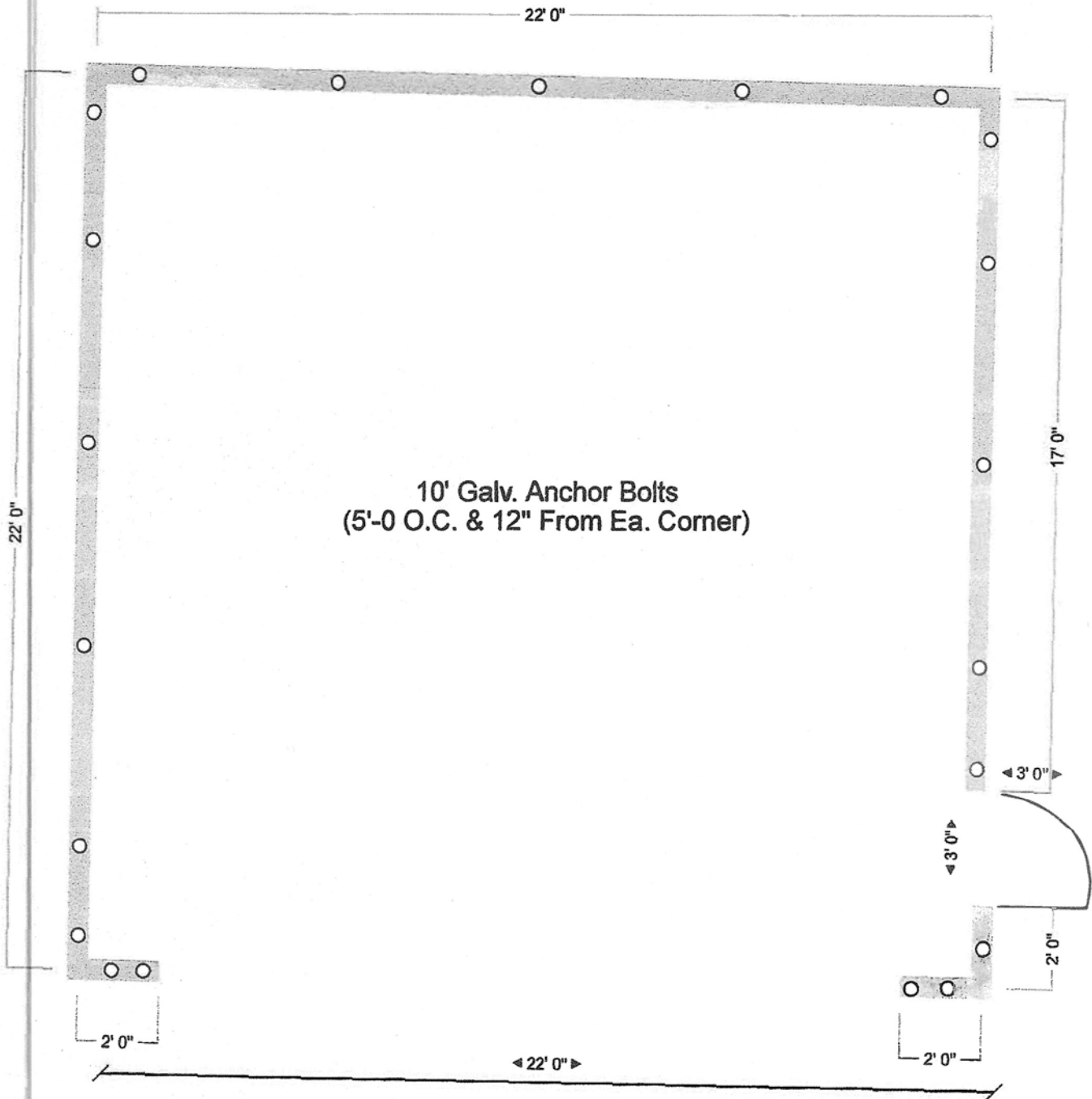
Header Detail

1/4" = 1'-0"

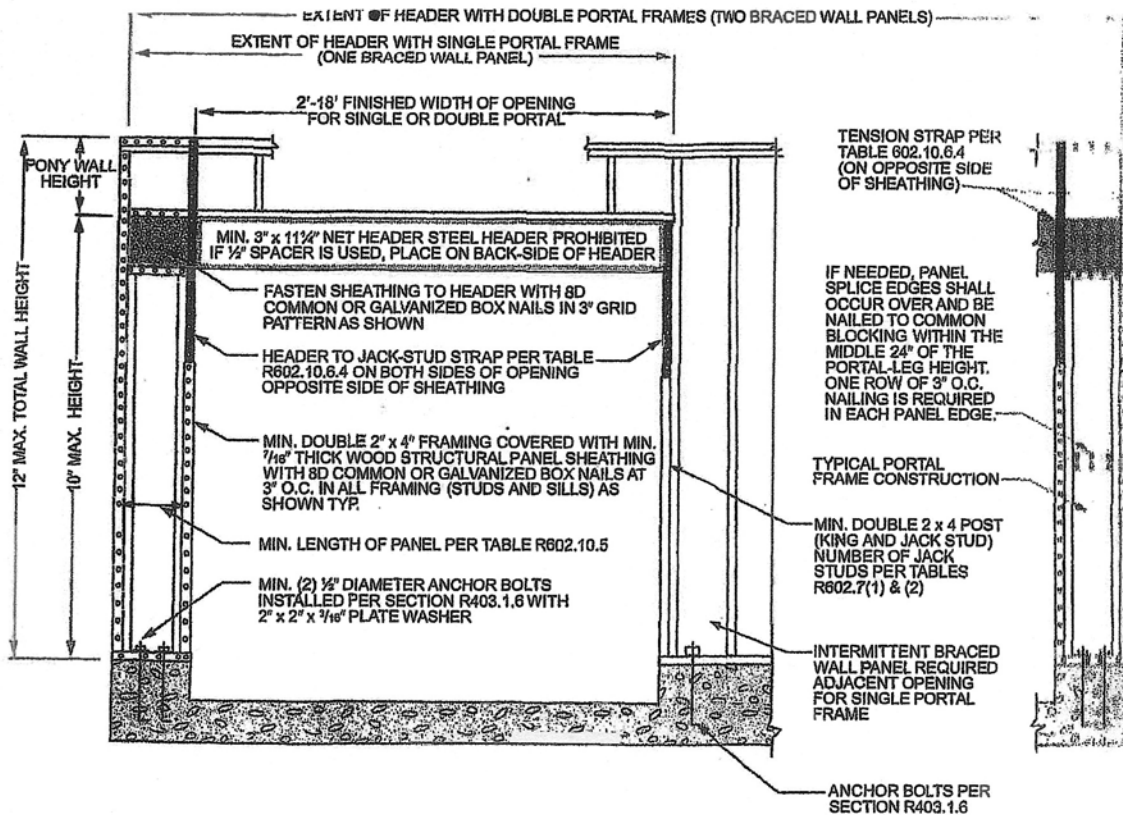
# Portal Wall Nailing Pattern



8d common nails  
3" O.C. - on perimeter  
6" O.C. - field



**Anchor Bolt Plan**  
 $1/4" = 1' - 0$



FRONT ELEVATION

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

**FIGURE R602.10.6.3**  
**METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORY I**



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-51-25

Permit No.: BBS25-000050

Applicant Name: Lee Pozek, Architect

Project Address: 1070 Rosalie Ave.

Project Name: n/a

Project: Applicant proposes the construction of an addition and attached garage on the north side of an existing residence.

To Whom it may concern,

5/20/2025

Please note that my wife, Yang Lu Alexander and I own the property located at 1070 Rosalie Ave in Lakewood, OH. We authorize Mr. Lee Poze K, Architect to submit/Present documents on our behalf for this project in the city of Lakewood, OH.

Thank you very much for your consideration.

Sincerely,

Michael Alexander

Michael B. Alexander

OWNER

1070 Rosalie Ave.

Lakewood, OH 44107

Lee Pozak

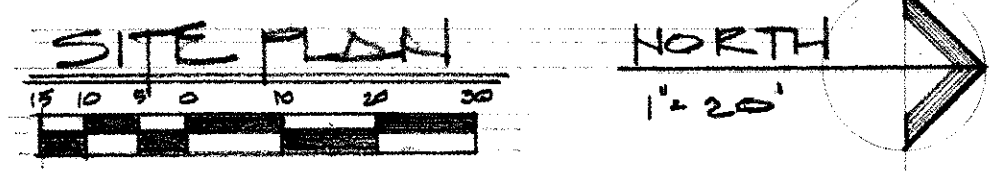
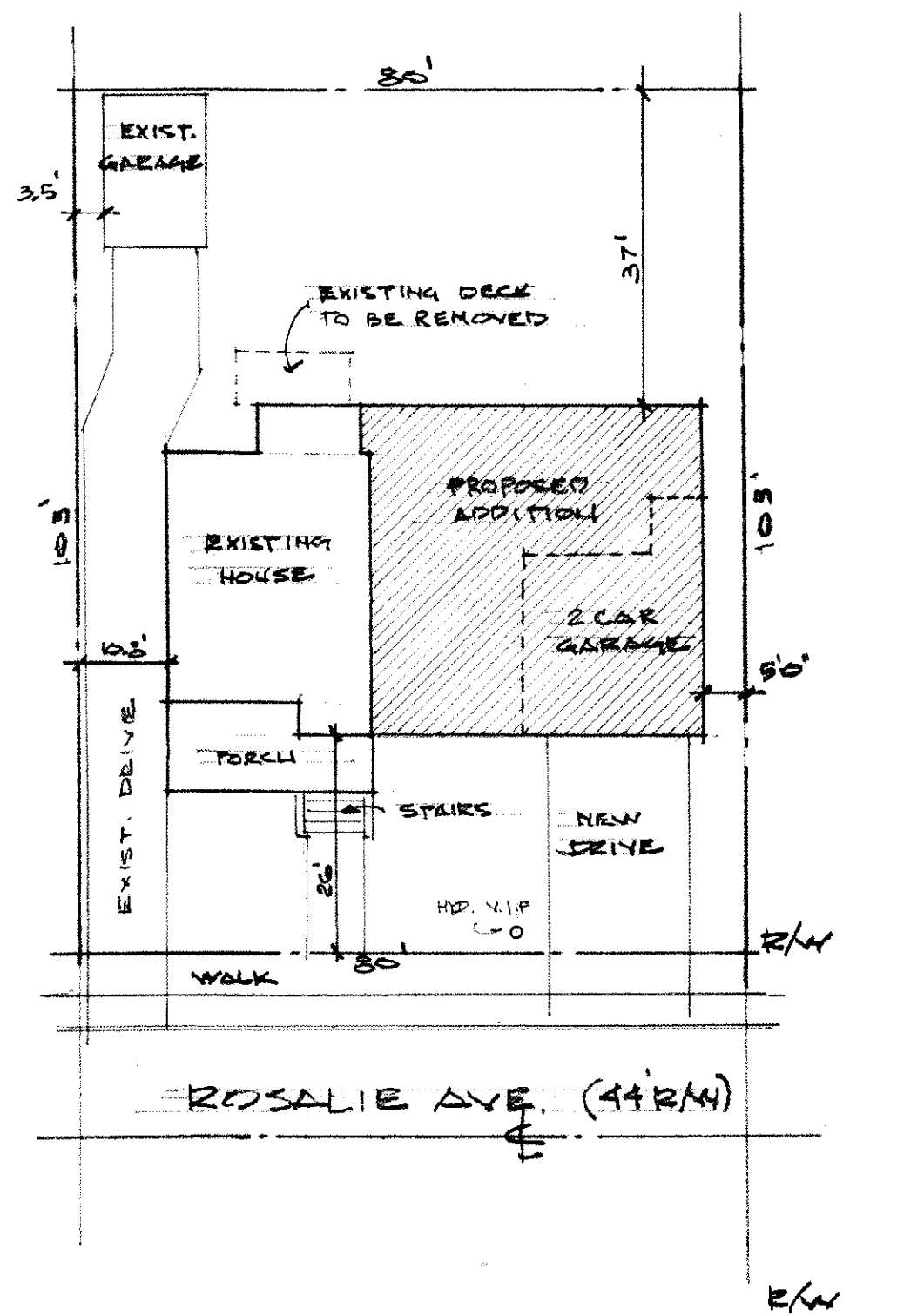
**GENERAL NOTES:**

- All work to conform to local codes, building code, and codified ordinances of the village / city with jurisdiction.
- Contractor is responsible for obtaining all required permits and scheduling following inspections.
- Contractor to review the existing conditions and accept them as base bid. Review with the owners area of work; route of access; material storage location; limits of disruption and replacement of landscaping.
- Contractor to submit proposed schedule for start and completion of this project with his bid to the owner. Review hours of work, length of services interruption and areas of construction equipment storage.
- Contractor to remove all debris from site at completion of job and dispose of property as required.
- All work to be completed in craftsmanlike manner using new first quality materials installed with the manufacturer's specifications. Contractor to provide all required fasteners, couplings, connectors to complete project in proper manner.
- Contractor to notify architect of any change, error or newly discovered condition which conflict with the design. The architect will review and offer a solution, any work under taken without the architect's approval will be the sole responsibility of the contractor and done at his risk and expense.
- Contractor will select method of construction and assumes all risks in bracing, shoring, blocking and fencing to keep construction area and the existing site safe during construction.
- Contractor to review with the owners the selection of finish materials. The installation of all finishes requires the installer to fully review and accept the base materials and structure as adequate prior to finish installation. The performance of the selected finishes is solely the installer's responsibility.

MEC / PERSCRIPTIVE METHOD

CLIMATE ZONE 13  
 GLAZING U 0.35 MAX  
 CEILING R-3.5 MIN  
 WALLS R-13 MIN  
 BASEMENT R-10 MIN

HOUSE DATA	EXST.	ADDITION
BASEMENT	720 SF	990 SF
FIRST FLOOR	824 SF	990 SF
SECOND FLOOR	792 SF	-
GARAGE	-	500 SF



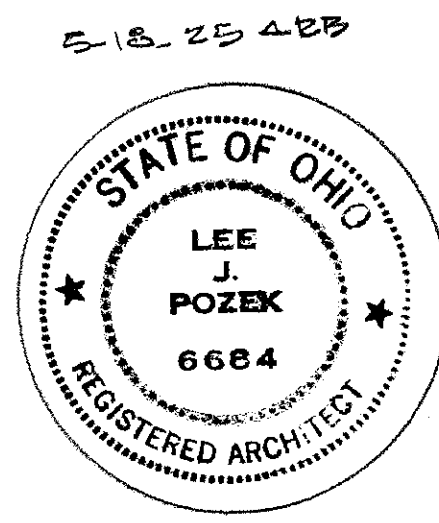
INFORMATION TAKE FROM SURVEY SUPPLIED BY OWN. ASSUMED CORRECT. CONTRACTOR TO VERIFY IN FIELD PRIOR TO START OF CONSTRUCTION.

DRAWING INDEX

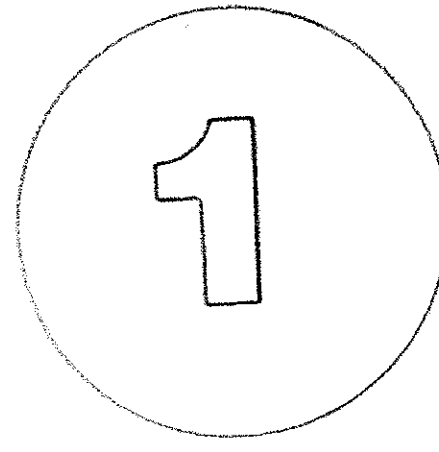
- 1 TITLE SHEET SITE PLAN
- 2 EAST ELEVATION
- 3 NORTH ELEVATION
- 4 WEST ELEVATION CROSS SECTION
- 5 FOUNDATION PLAN
- 6 FLOOR PLAN
- 7 SECTIONS DETAIL
- 8 MECHANICAL PLANS

LEE. J. POZEK ARCHITECT  
 5222 Coldbrook Drive  
 Mantua, Ohio 44255  
 330-274-2889

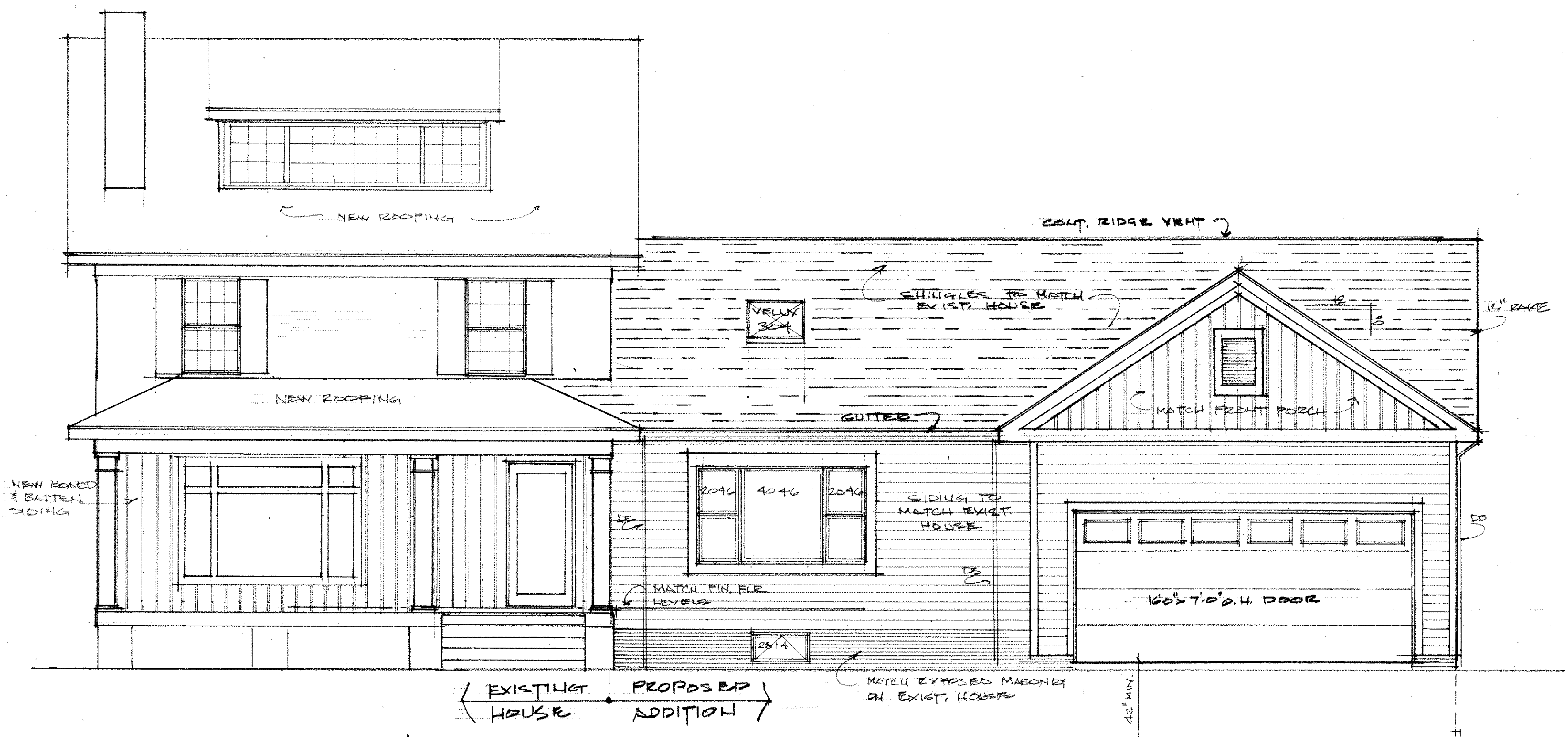
PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKENOOD, OHIO



25002



PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKewood, OHIO

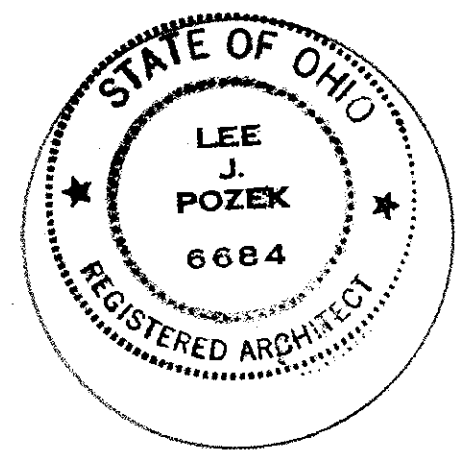


**EAST ELEVATION**  
 SCALE 1/4"=1'-0"

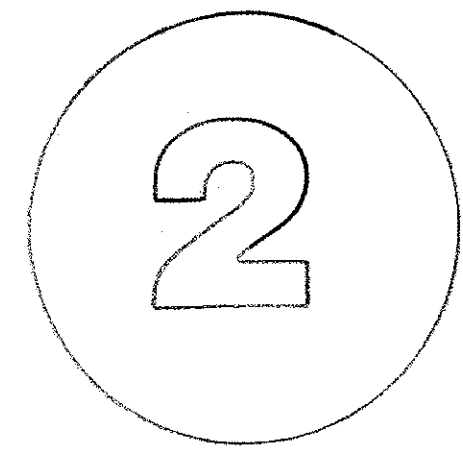
**COLOR SCHEDULE**

BRICK	RED - MATCH EXIST.
SIDING	5" CLAP BOARD OXFORD BLUE
ACCENT SIDING	7" BOARD & BATTEN DEEP MINERAL
WINDOWS	PACIFIC BLUE
TRIM	PACIFIC BLUE
GUTTER & DS	PACIFIC BLUE
ROOFING	CARBON HOUSE

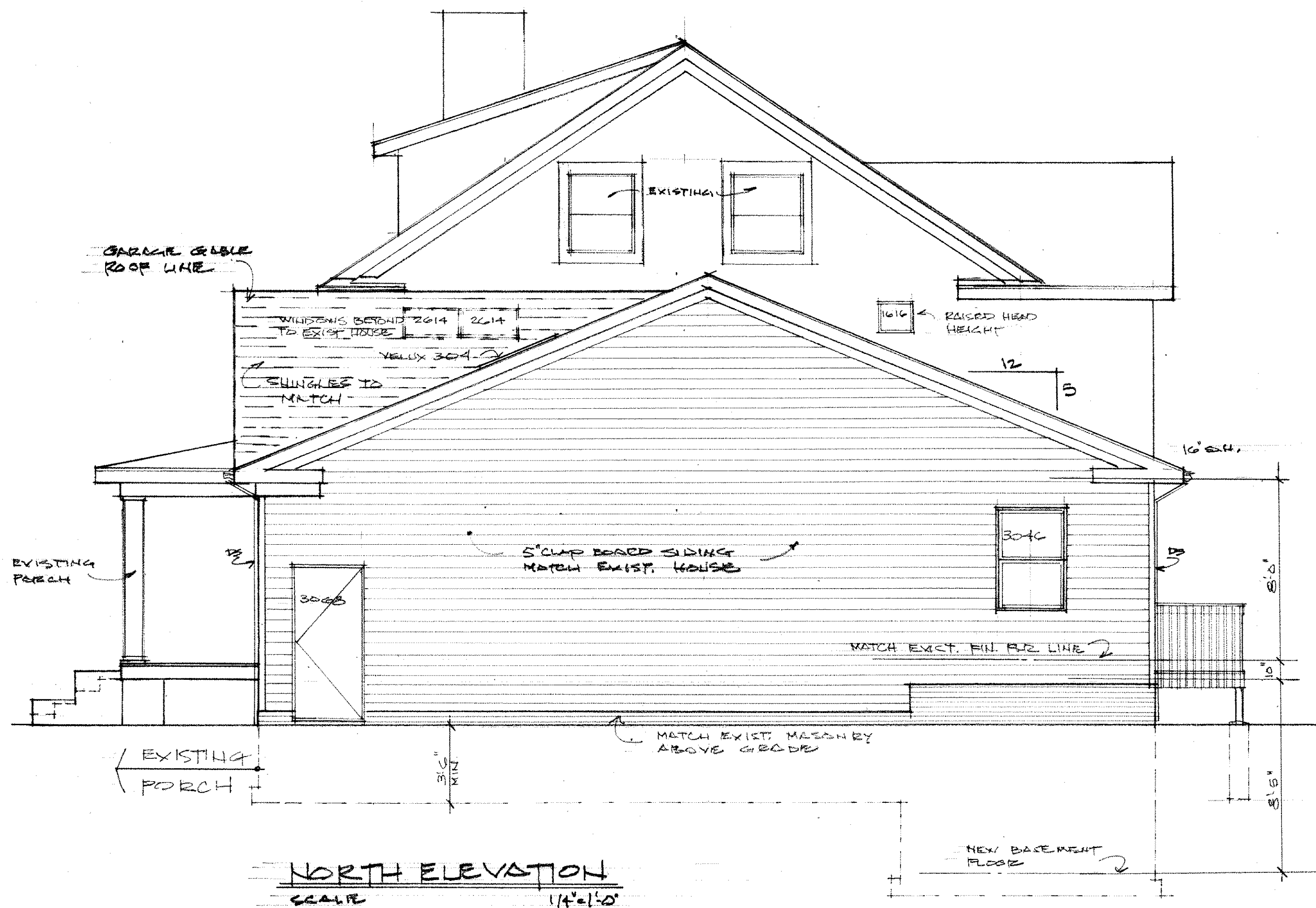
S-18-25 ABB



23002



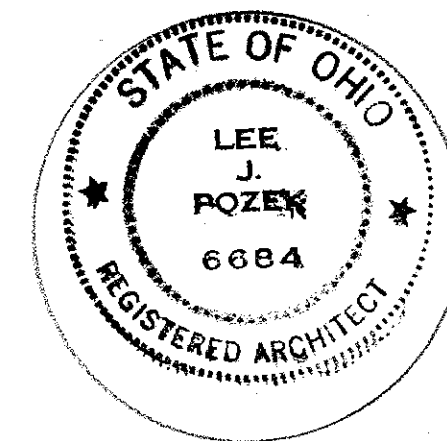
LEE J. POZEK ARCHITECT  
5222 Coldbrook Drive  
Mantua, Ohio 44255  
330-274-2889



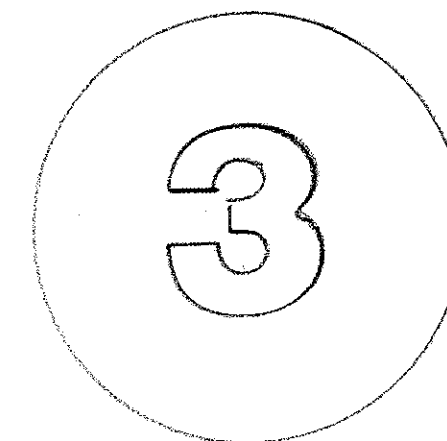
**NORTH ELEVATION**  
SCALE 1/4"=1'-0"

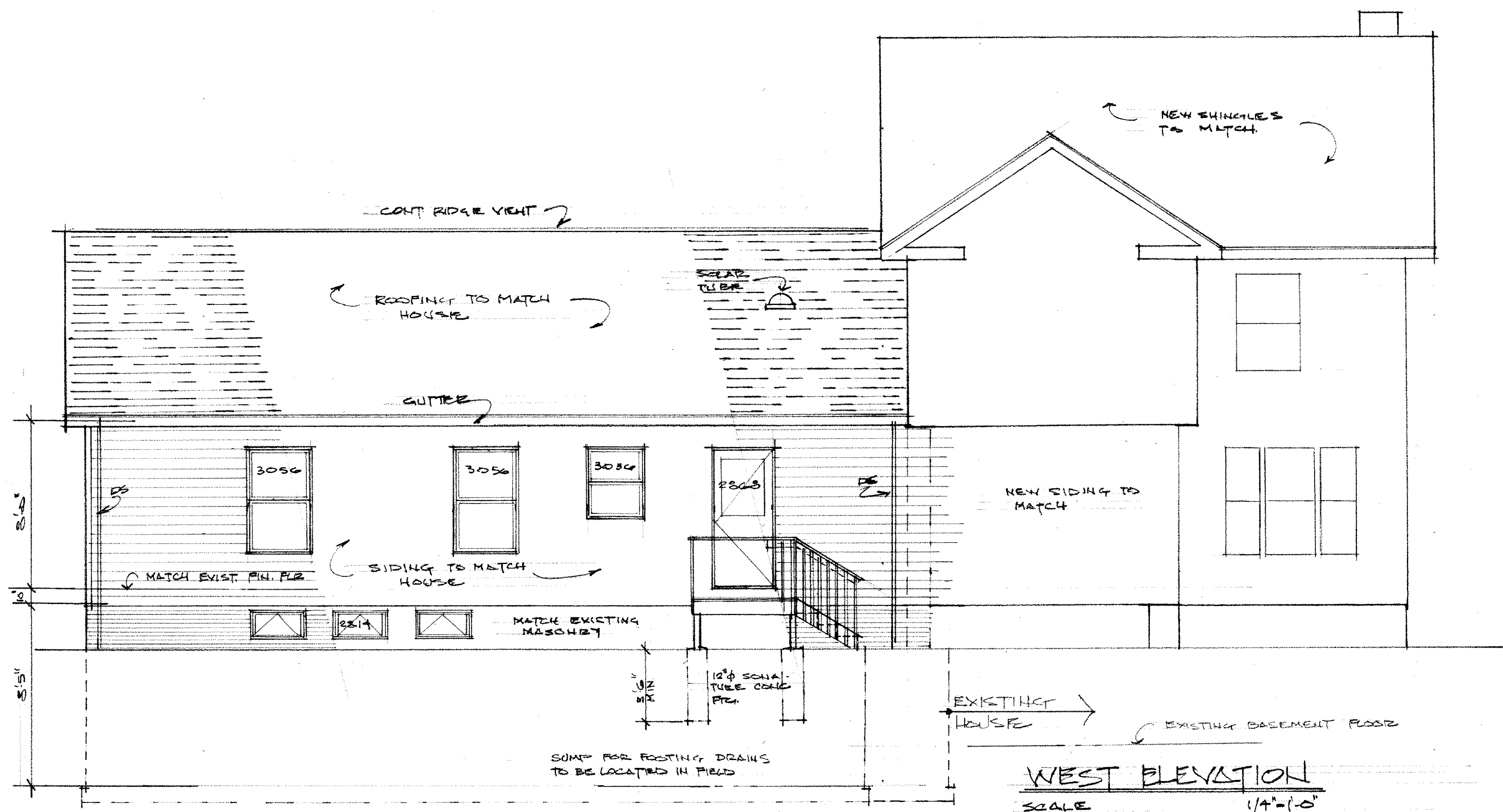
PROPOSED ADDITION  
ALEXANDER FAMILY  
1070 ROSALIE AVE  
LAKEWOOD, OHIO

5-18-25 AEB

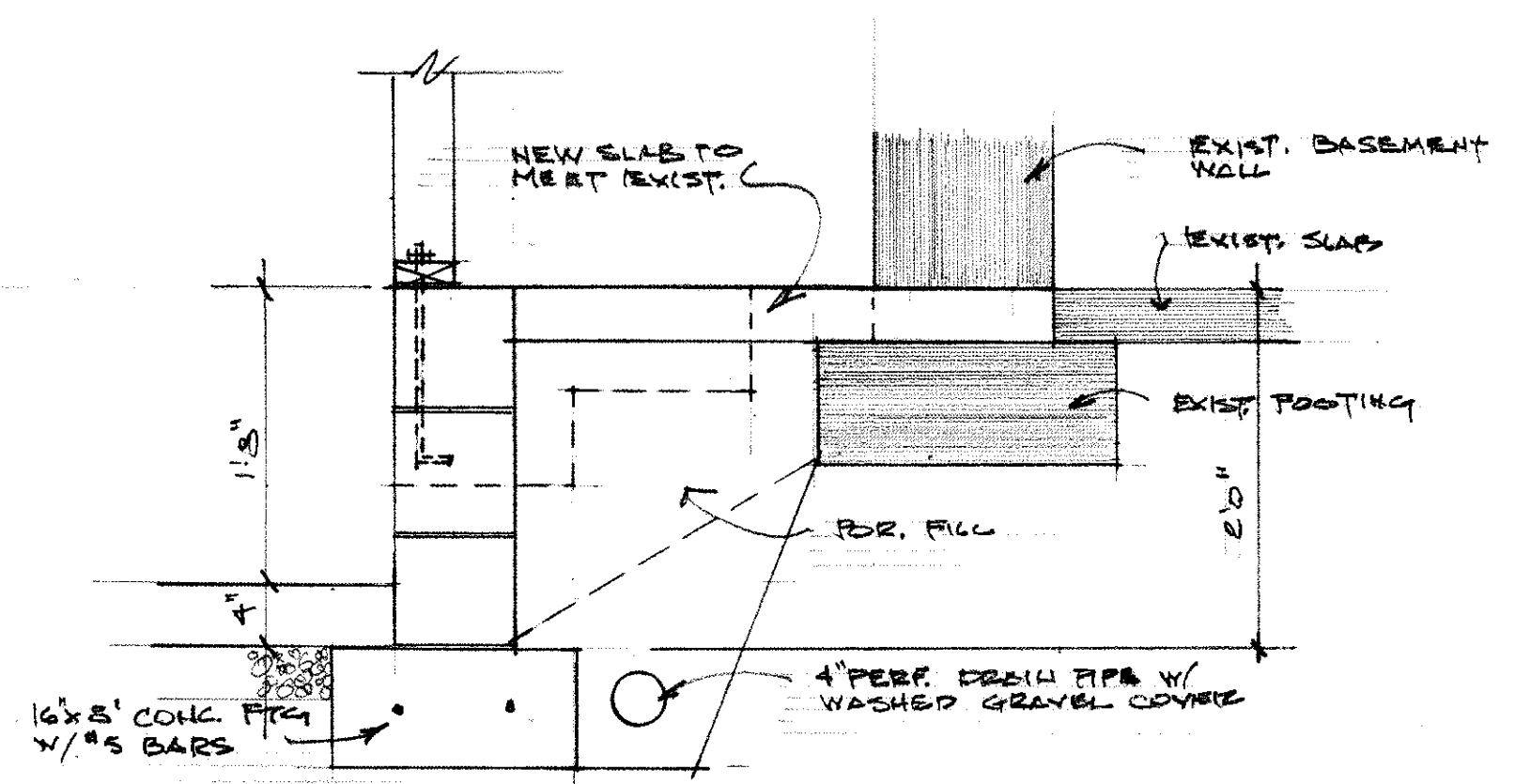


25002



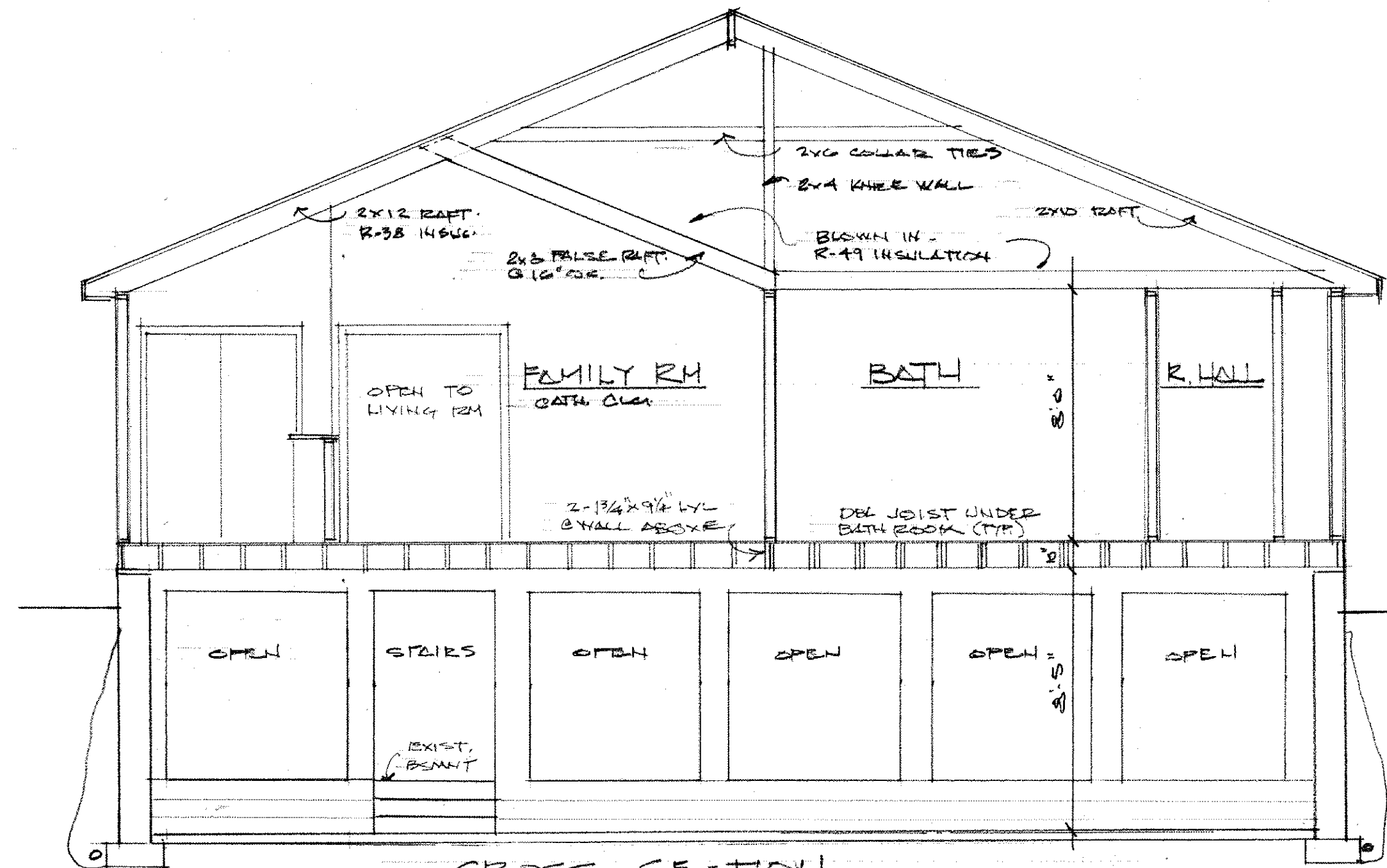


**WEST ELEVATION**  
 SCALE 1/4" = 1'-0"



**STEP DOWN DETAIL (BASEMENT)**  
 SCALE 1" = 1'-0"

— NEW CONSTRUCTION  
 — EXISTING TO REMAIN



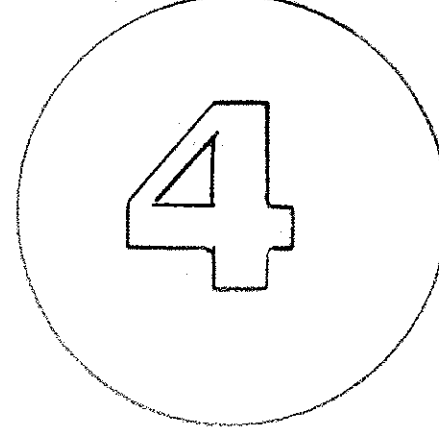
**CROSS SECTION**  
 SCALE 1/4" = 1'-0"

PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

5-18-25 ARB

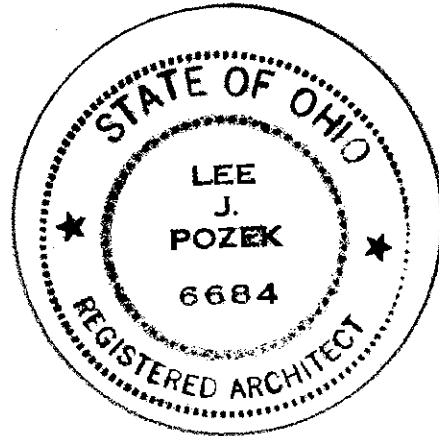


25002

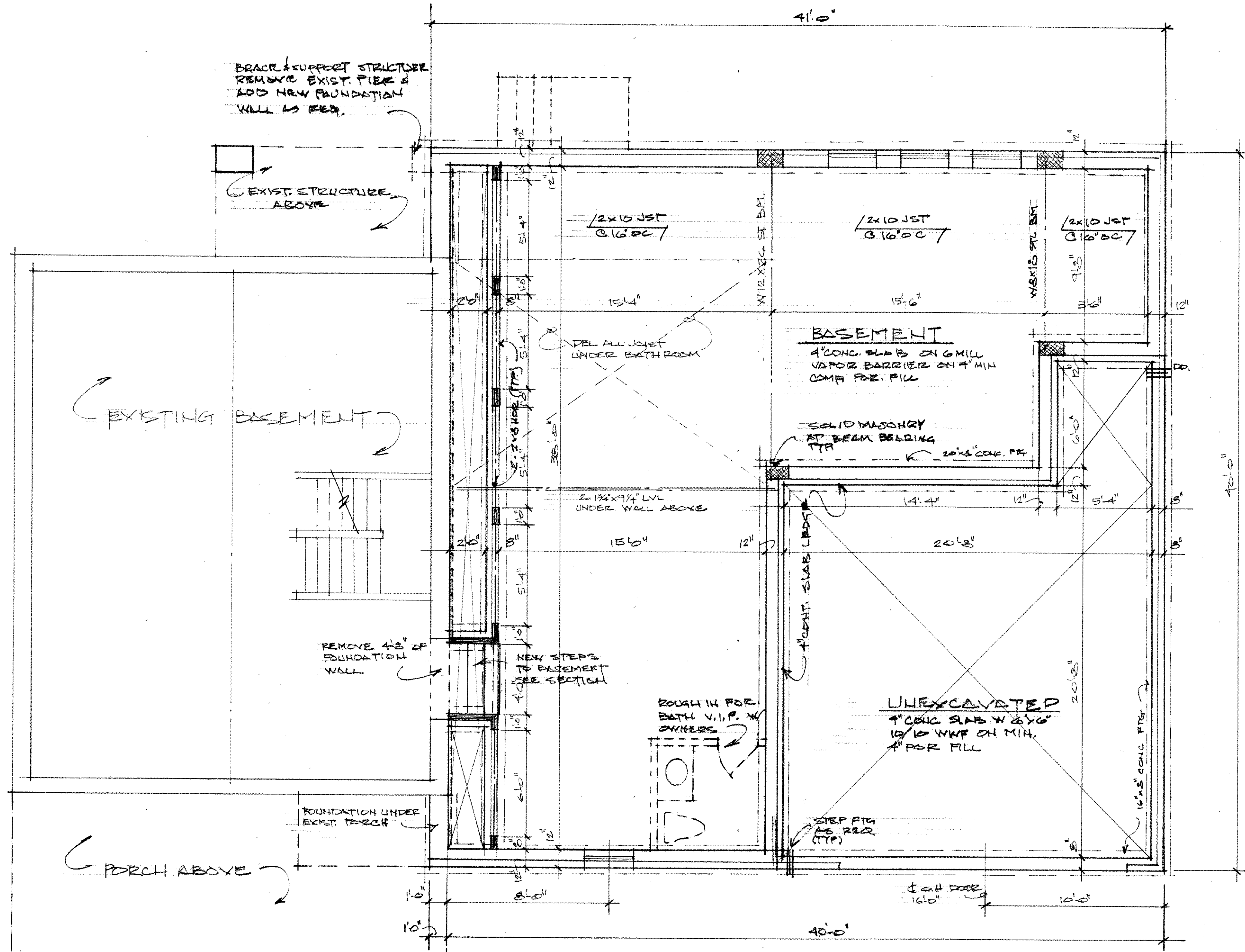
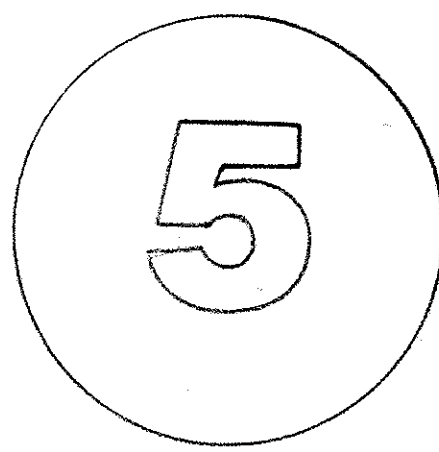


PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

5-18-25 ARB



25002



FOUNDATION PLAN  
 SCALE 1/4"=1'-0"

PLUMBING NOTE

VERIFY W/ OWNER LOCATION OF SUMP PUMP FOR FOOTING DRAINS PER 1012 TO INSTALLATION.

FOUNDATION NOTES:

Foundation design assumes minimum 2500# PSF soil bearing capacity on stable ground. This to be field verified by excavating contractor. All steel beams to rest on solid masonry pockets.

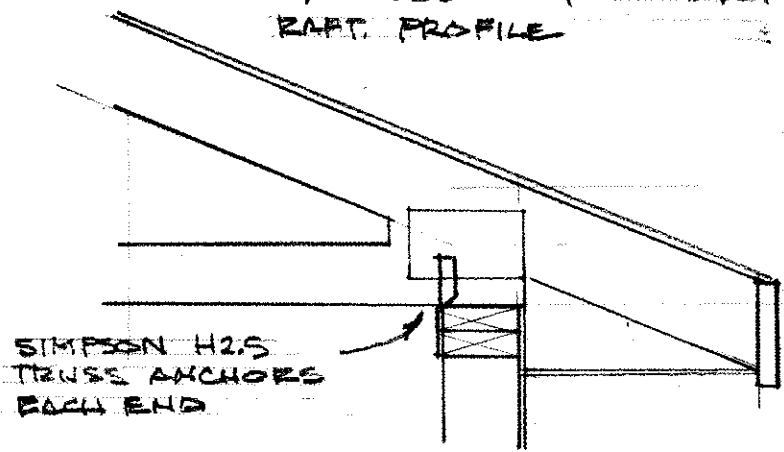
CONCRETE NOTES:

All concrete to be 4000 PSI in 28 days typical. Control joints to be evenly spaced at a maximum 15' -0" o. c. each way typical. Air entrained 6% concrete for slabs exposed to weather.

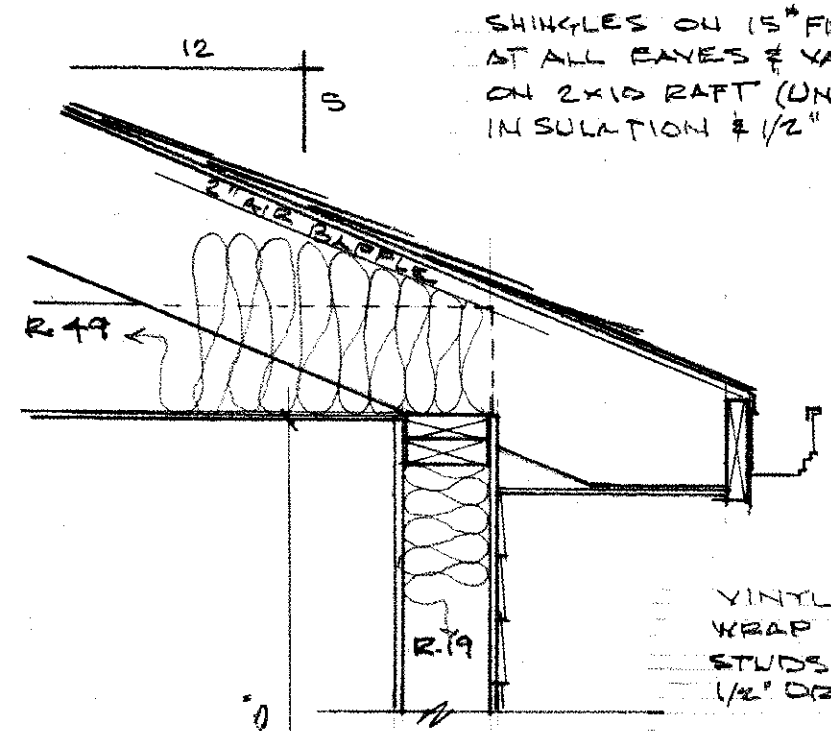


PROPOSED ADDITION FAMILY  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

NOTE:  
 PRE-ENGINEERED TRUSS  
 W/ RAISED SEAT TO MATCH  
 RAFT. PROFILE



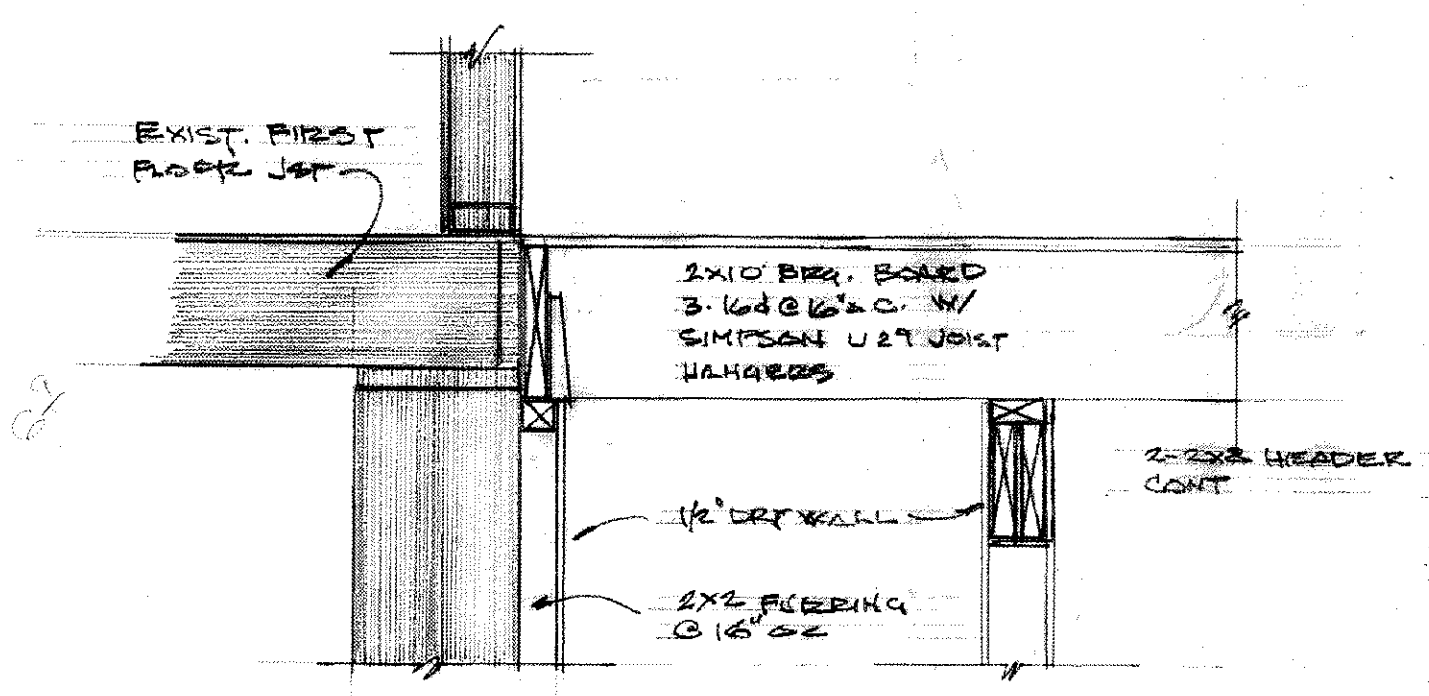
TRUSS OPTION  
 SCALE 1"=1'-0"



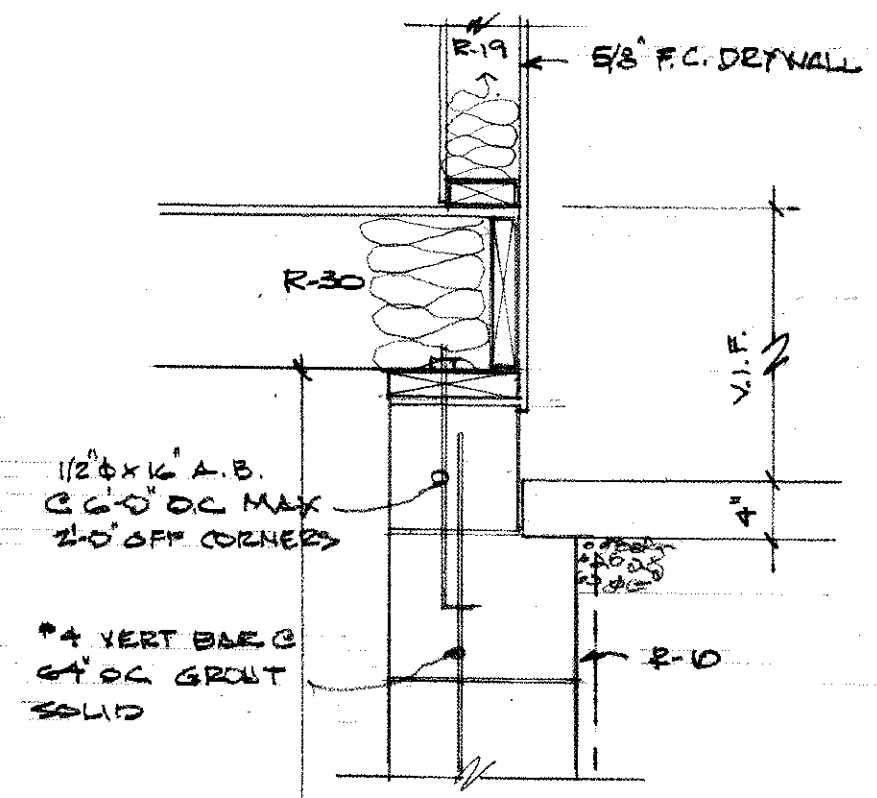
SHINGLES ON 15" FELTS - 36" ICE GUARD  
 AT ALL BAYES & VALLEYS - ON 1/2" OSB  
 ON 2X10 RAFT (LINO) W/ R-19 BLOWN  
 INSULATION & 1/2" D.W. CEILING

DRIP EDGE FLASHING ON  
 WRAPPED 2X6 FACIA W/  
 5" CONT. BLUM. GUTTER  
 AND VENTED SOFFIT  
 SYSTEM.

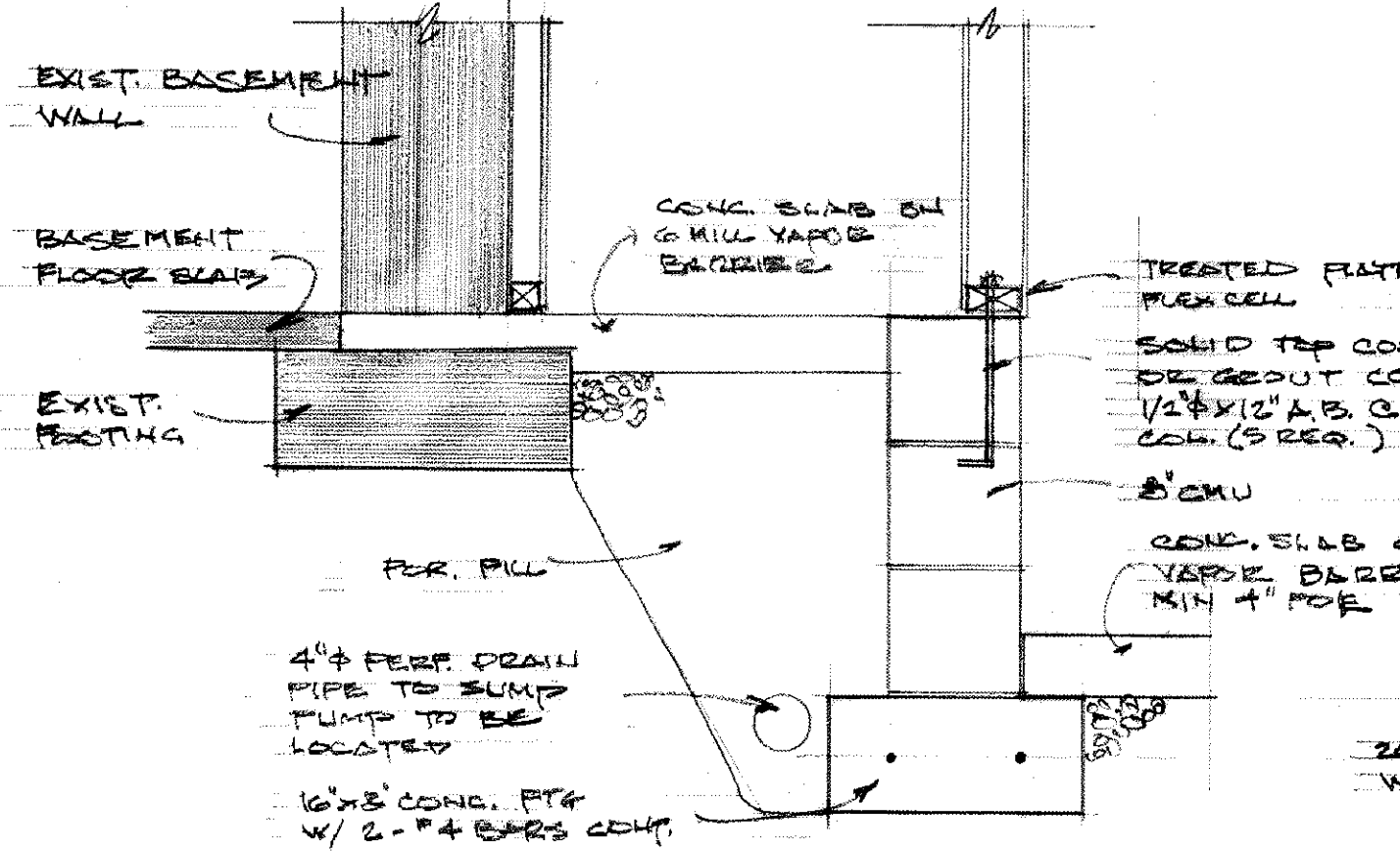
VINYL SIDING ON TYEK  
 WRAP ON 1/2" OSB ON 2X6  
 STUDS W/ R-19 INSULATION  
 1/2" DRYWALL



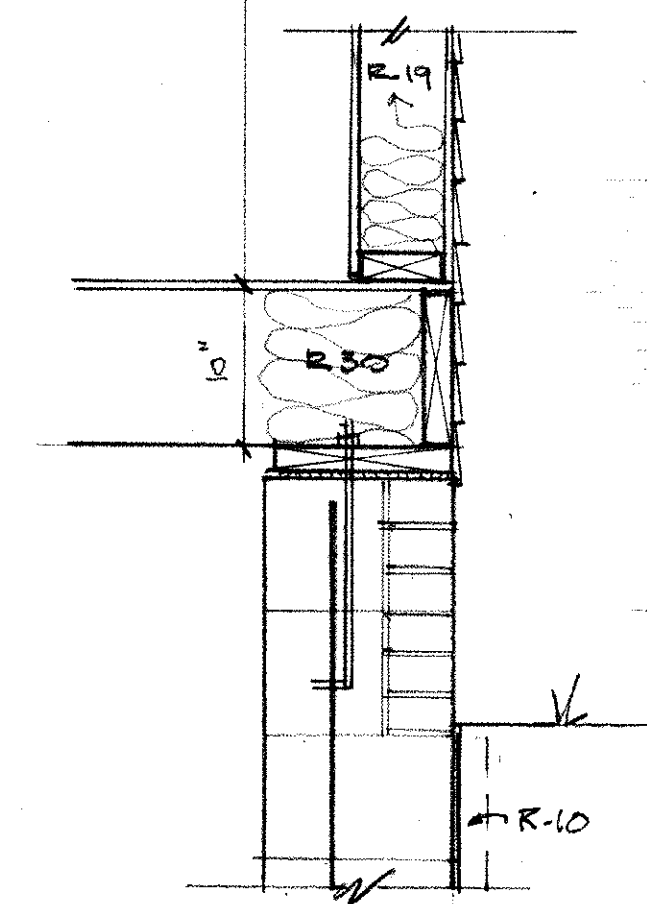
BASEMENT STEP DOWN  
 SCALE 1"=1'-0"



GARAGE WALL  
 SCALE 1"=1'-0"



INSULATING DRAIN  
 BOARD OR FOAM CORES  
 PROVIDE R-10 INSULATION  
 ON BASEMENT WALLS



TYPICAL WALL SECTION  
 SCALE 1"=1'-0"

3/4" T&G STURDI FLOOR ON  
 2X10 JOIST W/ R-30 BOX END  
 INSULATION ON 2X12 MUD SILL  
 W/ 1/2" FLEX CELL 1/2" x 16"  
 A.B. C.C. max 2'-0" OFF  
 CORNERS

FACE BRICK ABOVE GRADE  
 TO MATCH EXISTING BRICK

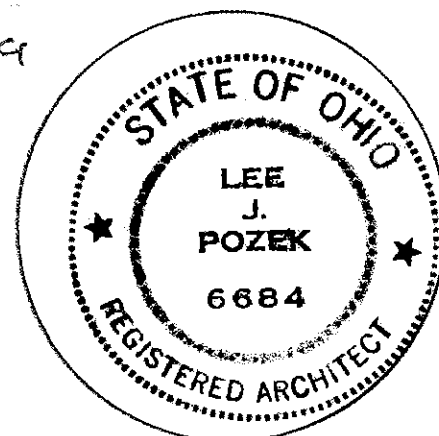
FINISH GRADE (TO REMAIN)

12" CMU W/ #4 VERT BARS @  
 64" OC GROUTED SOLID  
 W/ R-10 INSULATION MIN.  
 (INSULATING DRAIN BOARD  
 OR FOAM FILL CORES)  
 SPRAY ON WATER PROOFING  
 MEMBRANE

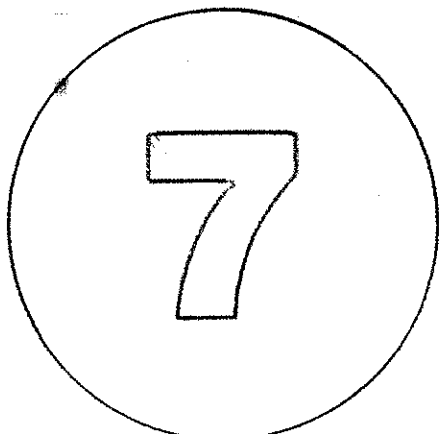
4" CONG. SLAB ON 6 MIL  
 VAPOR BARRIER ON MIN.  
 4" PER. FILL

20" x 8" CONG. FTG W/ 2-#4  
 BARS CONT.  
 4" PER. DRAIN PIPE TO  
 SUMP. WASHED GRAVEL  
 COVER TO 6" FIN. GRADE

5-18-25 AEB

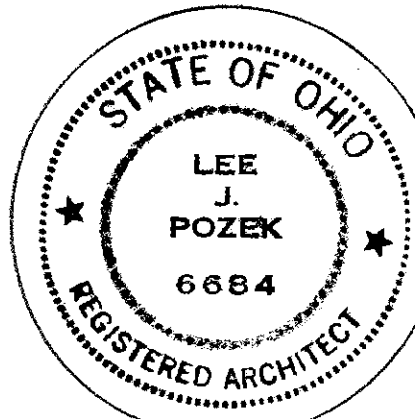


25002

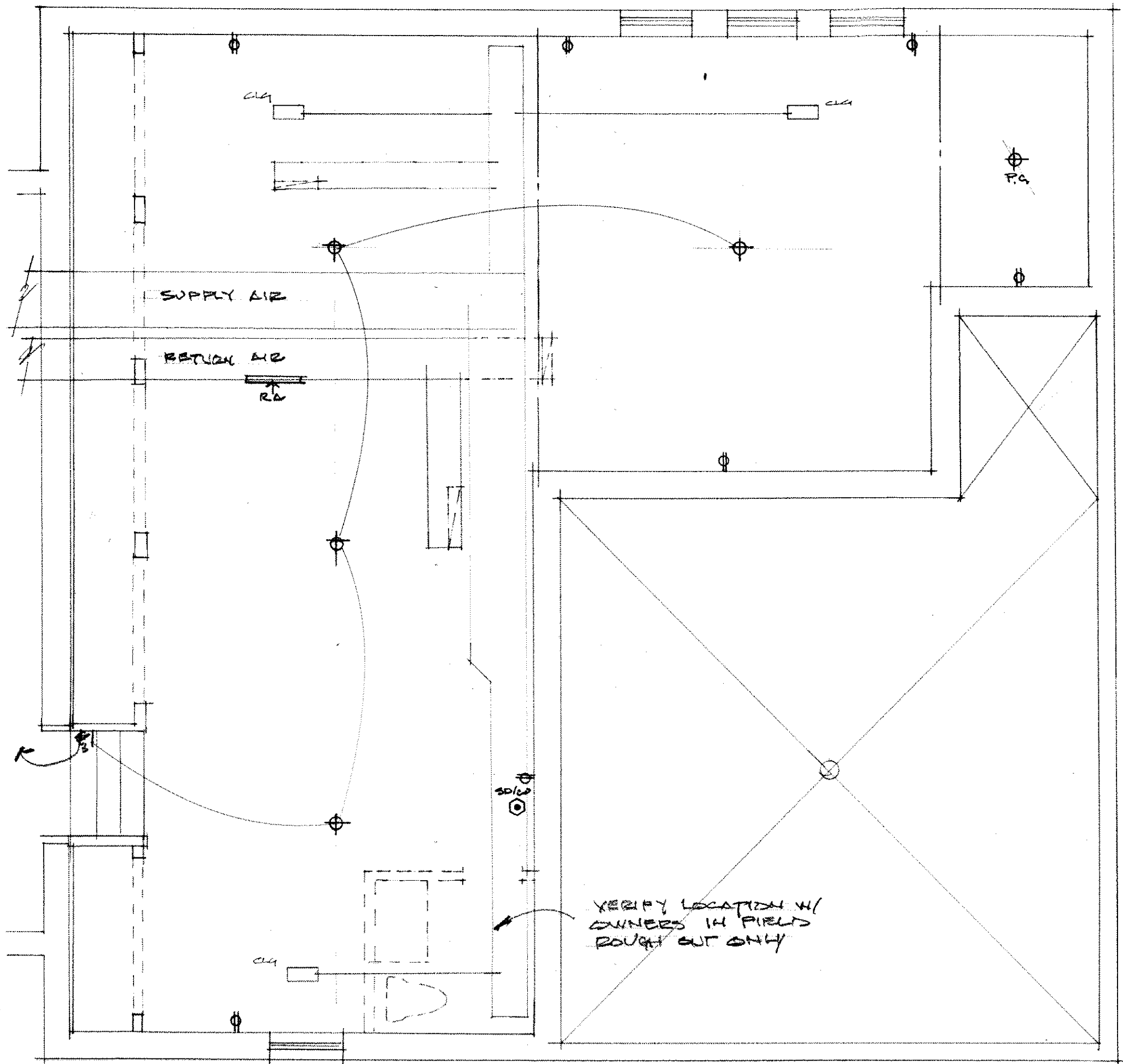
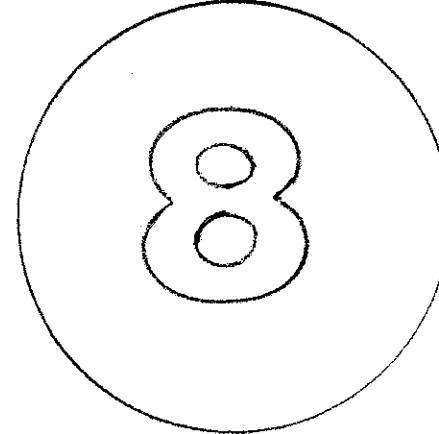


PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

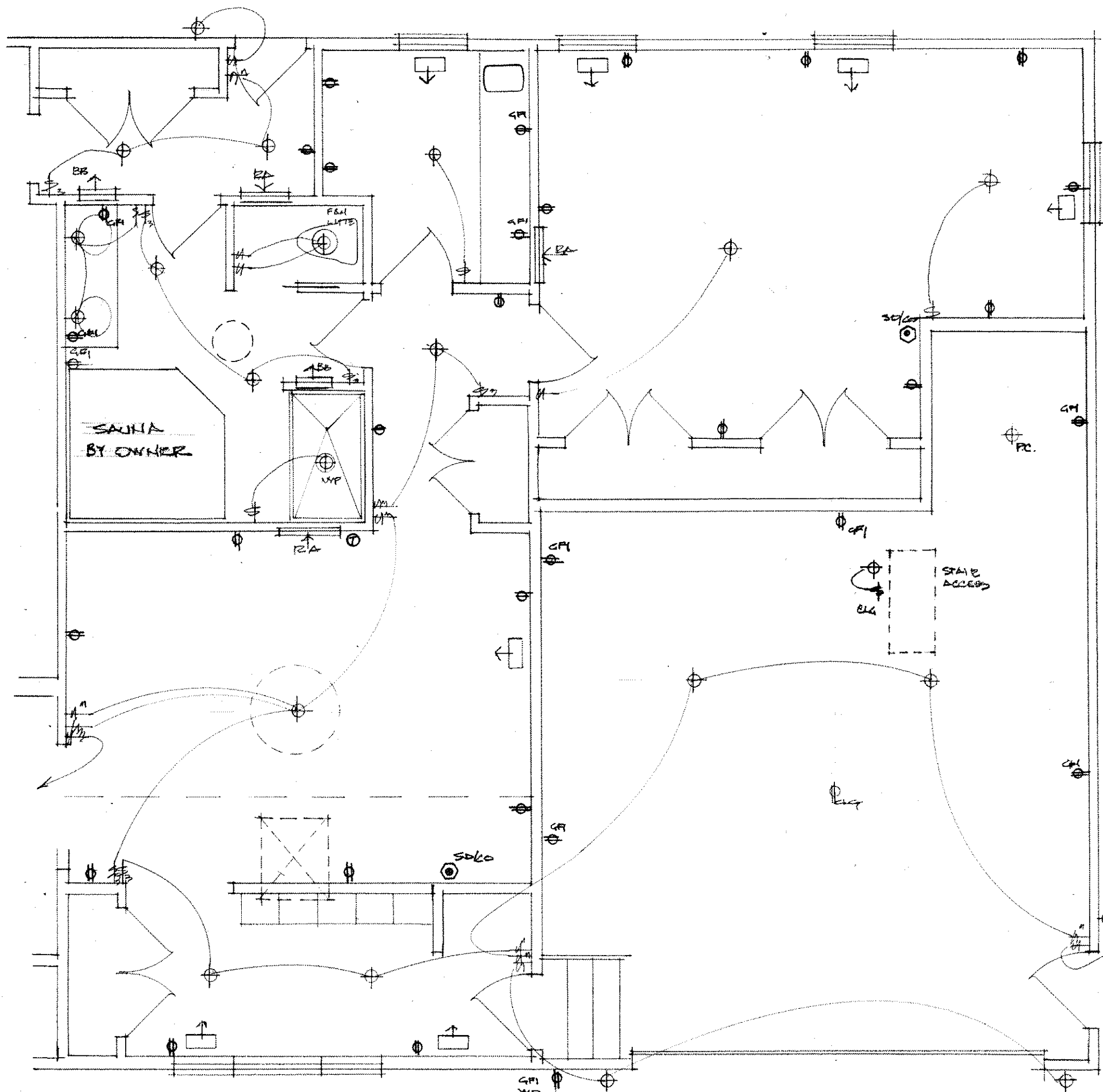
5-13-25 ARB



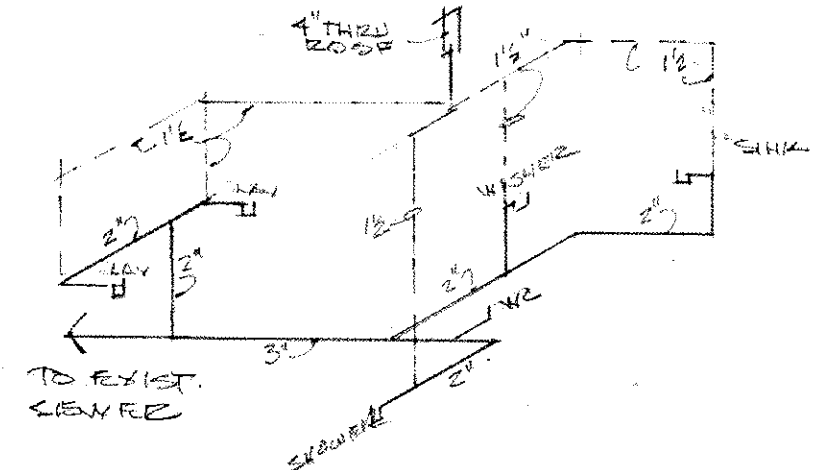
25002



**BASEMENT MECHANICALS**  
 SCALE 1/4" = 1'-0"



**FIRST FLOOR MECHANICAL**  
 SCALE 1/4" = 1'-0"



**PLUMBING IS**  
 N.T.S.

- HVAC LEGEND**
- ↑ SUPPLY DIFFUSER 12"x3" THROAT W/ DAMPER
  - ↓ RETURN AIR GRILL (SIZES VARY)
  - ⊙ THERMO STAT - AUTO SET BACK
  - ⊙ SMOKE DETECTOR - CARBON MONOXIDE DETECTOR - HARD WIRED - INTERCONNECTED WITH BATTERY BACK UP.
  - CLG CEILING FIXTURE
  - BB BASE BOARD DIFFUSER
  - EF EXHAUST FAN - DUCTED DIRECT TO EXTERIOR

**NOTE:** EXTEND EXISTING DUCT WORK HVAC UNIT SIZED FOR THIS ADDITION.

- ELECTRICAL LEGEND**
- ⊕ SINGLE POLE SWITCH
  - ⊕ THREE WAY SWITCH
  - ⊕ DUPLEX OUTLET (ARCH FAULT PROTECTED)
  - ⊕ LIGHT FIXTURE OUTLET
  - GFI GROUND FAULT CIRCUIT INTERRUPTER
  - WP WEATHER PROTECTED
- ALL WORK TO CONFORM TO NATIONAL ELECTRIC CODE AS REQ. CIRCUITS TO BE ARCH FAULT PROTECTED WHERE REQ. REVIEW FIXTURE LOCATIONS WITH OWNER PRIOR TO PULLING WIRE.
- REVIEW EXISTING SERVICE & USE SPACES AS NEEDED. UP GRADE SERVICE IF REQ. FIELD VERIFY AT BASE BLD. INSTALL SUB-PANEL IF REQ. N.Y.F.



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 06-52-25

Permit No.: BBS25-000051

Applicant Name: Brandon Young, Young Design Studio

Project Address: 1010 Parkside Dr.

Project Name: n/a

Project: Applicant proposes a kitchen addition on the south side and a one-story addition to the attached garage on the north side of an existing residence.

# CLEVELAND HEIGHTS PLANNING DEPARTMENT

Consent Form

This form is required in order to have the **application reviewed**. Please complete this form in its entirety. Failure to complete this form will result the rejection of your application.

I, the undersigned owner of the property described herein, do hereby acknowledge that I understand that **a city board, commission or staff member**, must review the proposed project in order to proceed I acknowledge that **the board or commissions ruling is legally binding and must be adhered to or revised and presented to the board or commission** again.

I, the undersigned owner of the property described herein, do hereby consent to entry upon said property, at a reasonable time and to the extent necessary, by the City of Cleveland Heights and its officers, employees, and/or agents for the purpose of inspecting said property for compliance with the **City's Zoning, Housing, and/or Building Codes**.

Property Address: \_\_\_\_\_

Property Owner Name (printed): \_\_\_\_\_

Phone: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

## ATTENTION APPLICANTS:

THIS PAGE MUST BE COMPLETED BY THE OWNER OR LEGALLY AUTHORIZED PROPERTY MANAGER.

SALES ASSOCIATES, INSTALLERS, ARCHITECTS, DEVELOPERS AND/OR CONTRACTORS DO NOT HAVE THE AUTHORITY TO COMPLETE THIS PAGE.

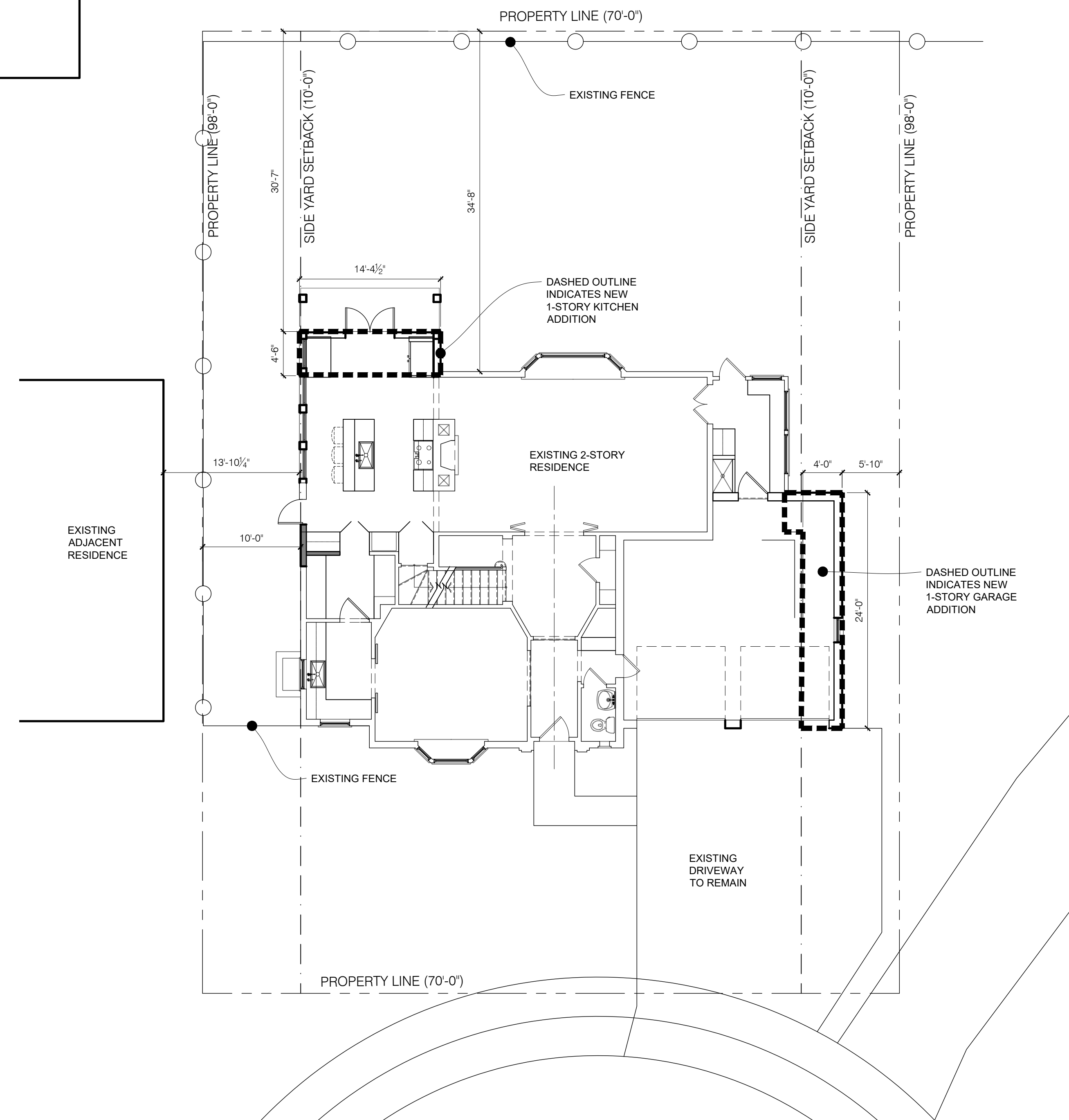
2014



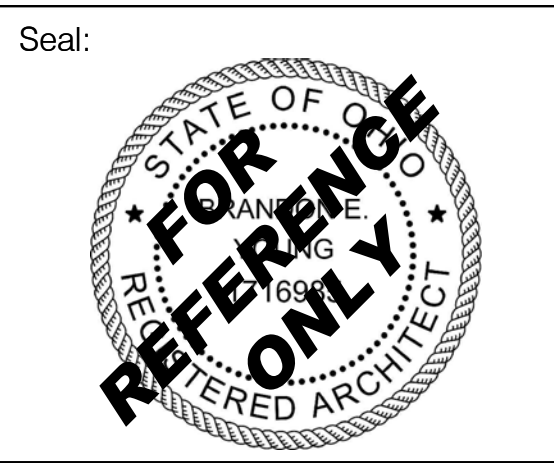


**SITE DATA**  
 LAND USE: (5100) R-1 ONE FAMILY  
 PARCEL #: 312-03-013  
 LAND AREA: 6,860 SF  
 EXISTING 1ST FLOOR AREA (INCLUDING GARAGE): 1,890 SF  
 EXISTING GARAGE AREA: 360 SF  
 EXISTING 2ND FLOOR AREA: 1,243 SF  
 TOTAL BUILDING AREA (EXISTING): 3,133 SF  
 1ST FLOOR ADDITION AREA: 160 SF  
 2ND FLOOR ADDITION AREA: 130 SF  
 TOTAL BUILDING AREA (PROPOSED): 3,423 SF  
 LOT COVERAGE: 29.88%

**PROJECT SUMMARY**  
 NEW 1-STORY GARAGE ADDITION AND REAR KITCHEN ADDITION. NEW ADDITION AT 2ND FLOOR PRIMARY SUITE ABOVE EXISTING REAR PORCH. NEW COVERED SECOND FLOOR PATIO DECK.



1  
 AS-01 PROPOSED SITE PLAN  
 SCALE: 1/8" = 1'-0"



General Notes:

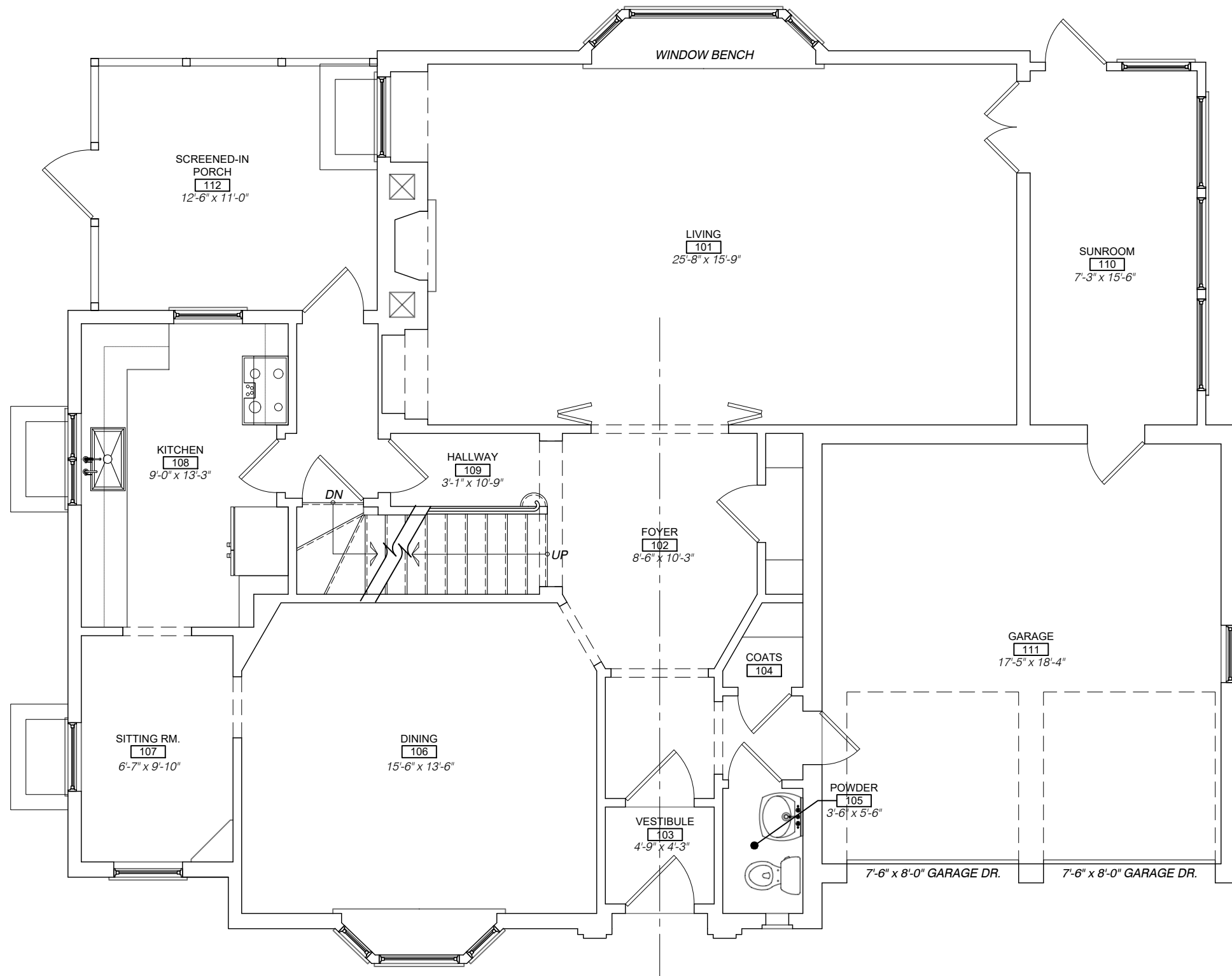
ISSUES:	DATE:
ABR	05-21-25

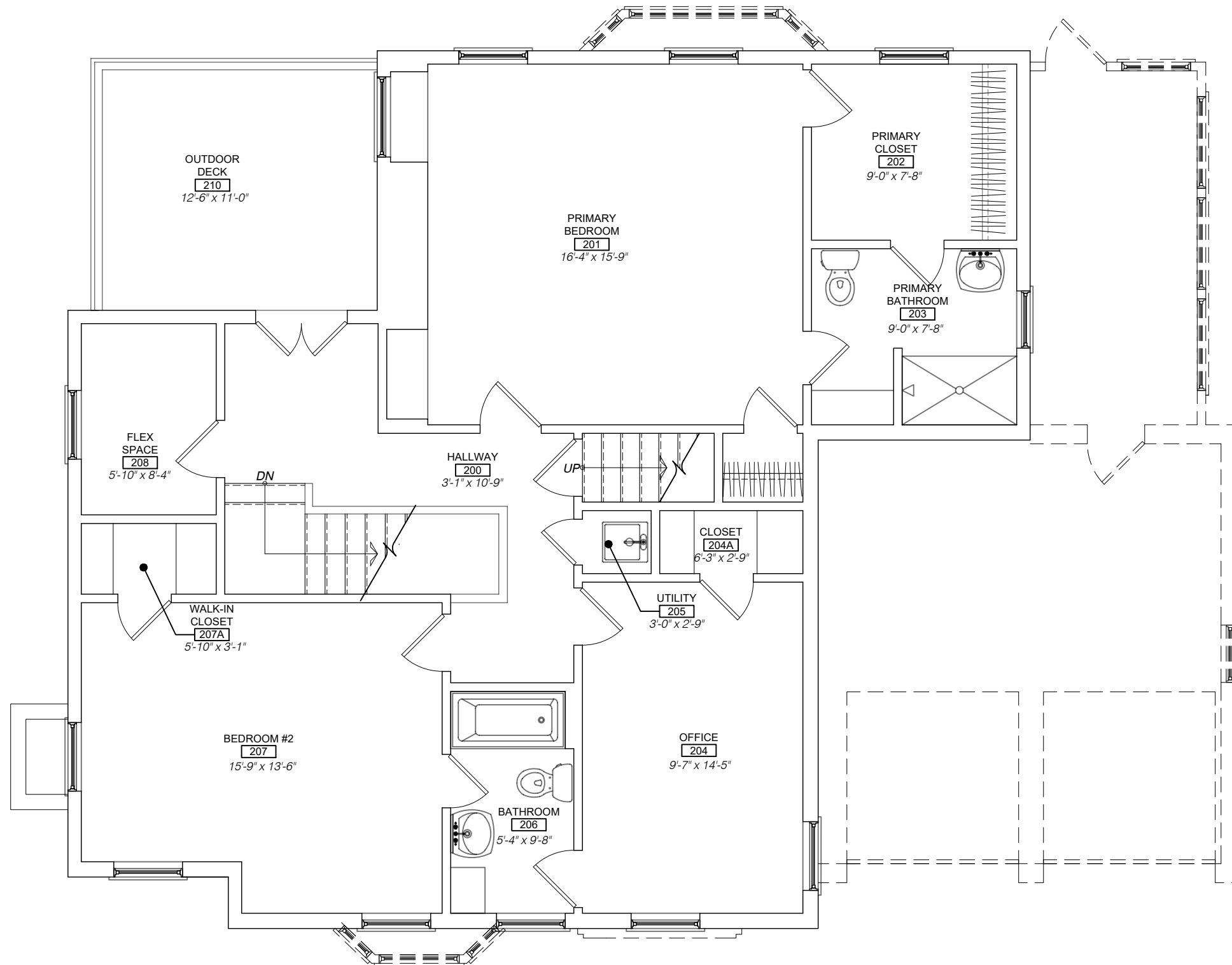
**YOUNG DESIGN STUDIO**  
 15614 Detroit Ave.  
 Lakewood, OH 44107  
 www.youngdesignstudio.com  
 p. 216.616.9212  
 Architecture | Interiors | Urban Design

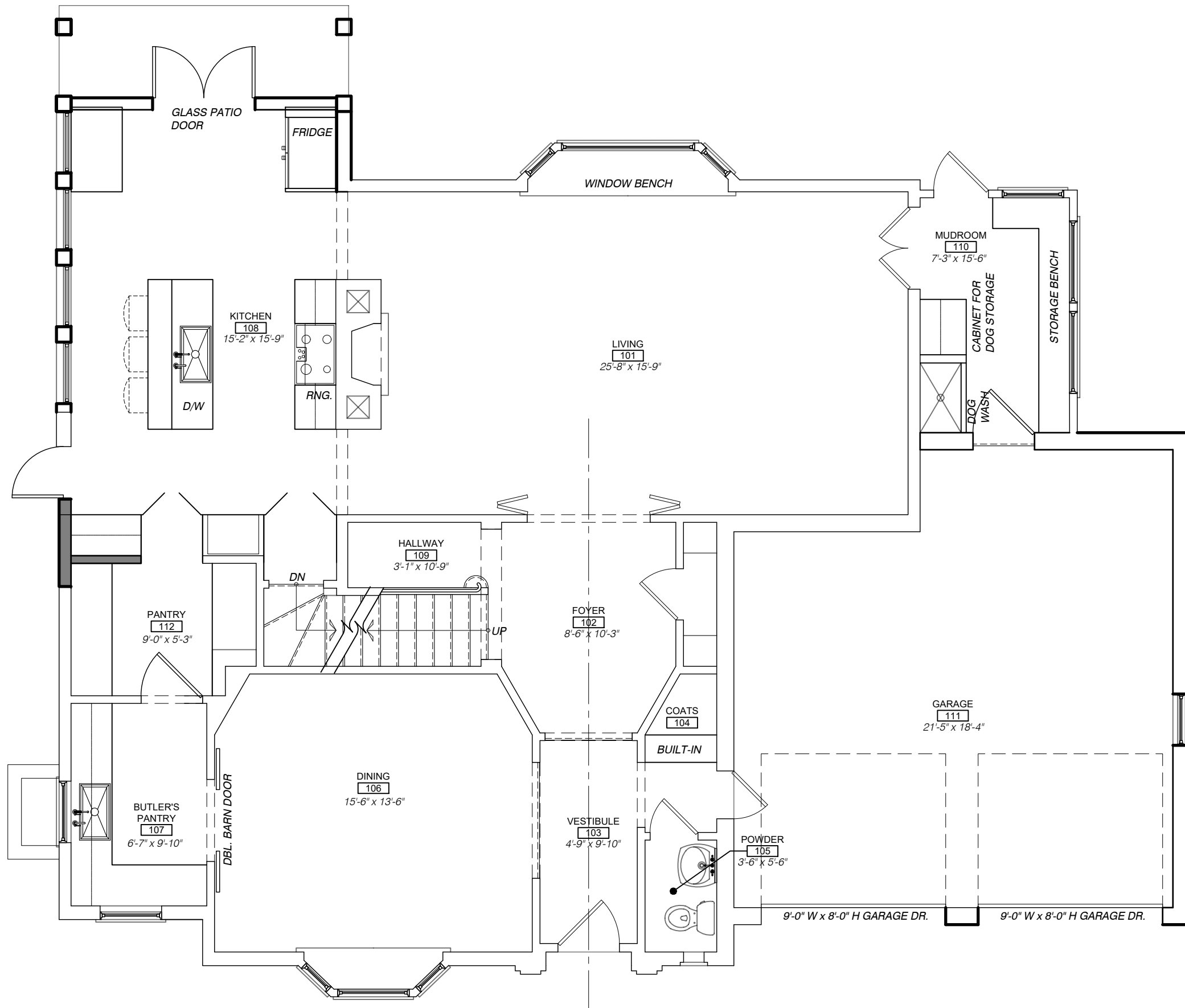
**Roberts Residence**  
 1010 Parkside Dr.  
 Lakewood, Ohio 44107

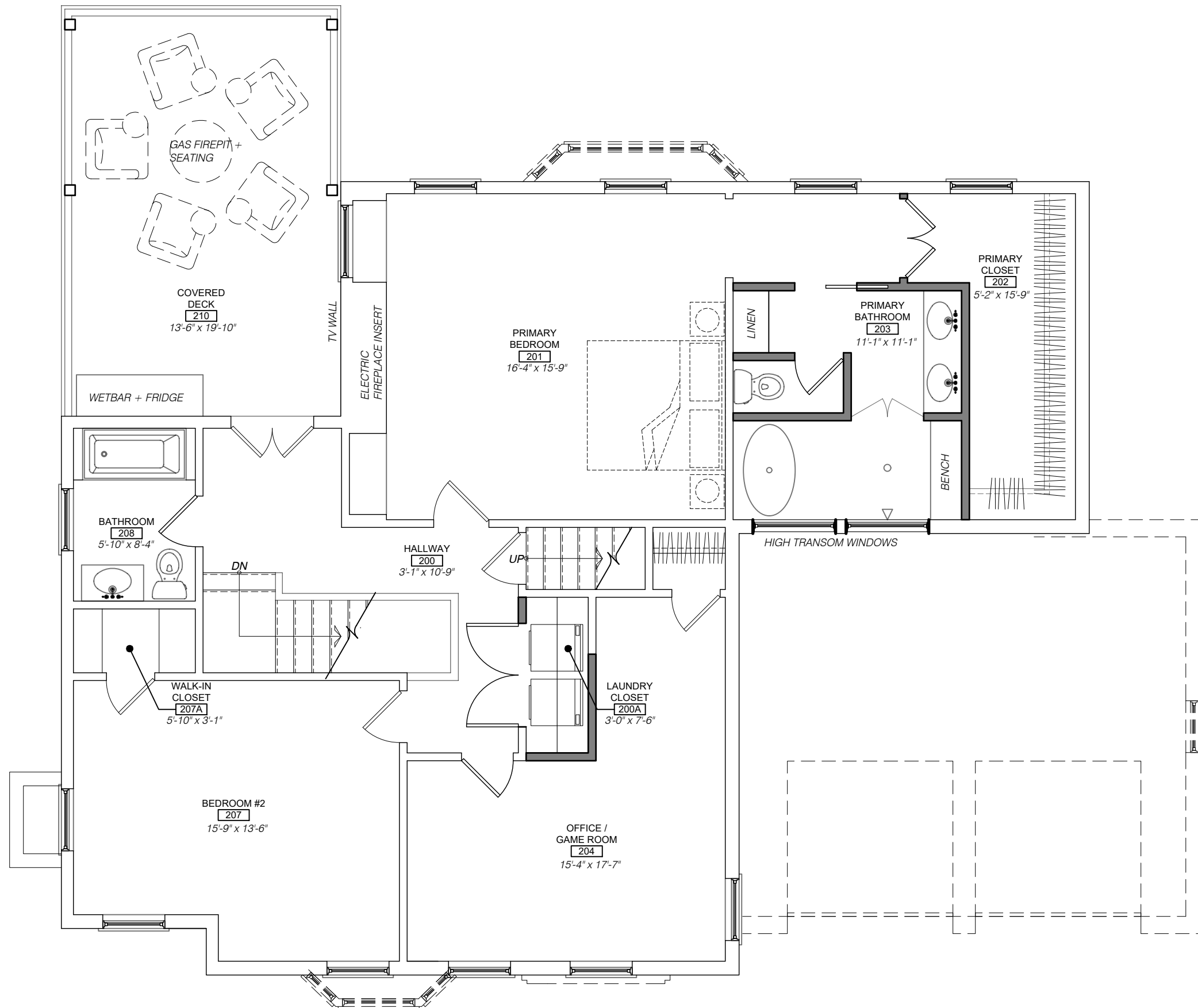
Drawing Title:  
 SITE PLAN

Drawn by: BEY	Date: 05-19-2025
Checked by:	Drawing Number:
Approved:	<b>AS-01</b>
Job Number:	









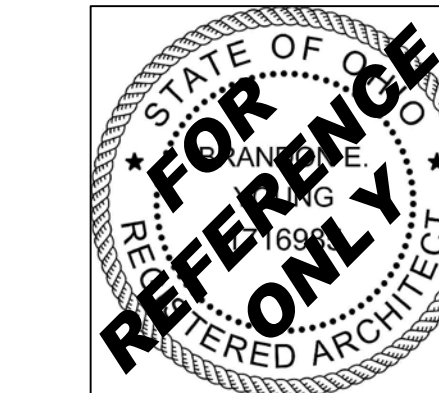
**ELEVATION KEYNOTES**

- |   |  |
|---|--|
| 1. NEW DIMENSIONAL ASPHALT SHINGLES TO MATCH EXISTING. COLOR TO BE SELECTED BY OWNER.                     | 10. NEW FRIEZE MOLDING TO MATCH EXISTING. PAINTED.   |
| 2. NEW INSULATED STEEL 4-PANEL GARAGE DOOR WITH VISION PANEL. SHORT PANEL. COLOR TO BE SELECTED BY OWNER. | 11. NEW PARAPET WALL WITH BRAKE METAL COPING SEE DETAIL.                                   |
| 3. NEW CEMENT BOARD LAP SIDING. COLOR TO BE SELECTED BY OWNER.  | 12. NEW EAVE CORNICE AND TRIM TO MATCH EXISTING. PAINTED.                                  |
| 4. NEW DOWNSPOUTS AND GUTTERS TO MATCH EXISTING. TIE INTO EXISTING STORM DRAIN.                           | 13. EXISTING BRICK VENEER TO REMAIN.   |
| 5. NEW BRICK VENEER TO MATCH EXISTING COLOR, STYLE AND SIZE.  | 14. BRICK CHEEK WALL WITH STONE CAP.   |
| 6. NEW WINDOW TRIM TO MATCH EXISTING.   | 15. NEW 6X6 POST WITH PVC COLUMN WRAP TO MATCH ADJACENT.                                   |
| 7. NEW BRICK VENEER FOUNDATION WALL. BRICK TO MATCH EXISTING.   | 16. NEW BLACK ALUMINUM PICKET RAIL. TOP OF HANDRAIL TO BE MINIMUM 36" FROM TOP OF DECKING. |
| 8. NEW DECORATIVE PVC COLUMN WRAP PAINTED.  |  |
| 9. NEW EXTERIOR SCENCE AS SELECTED BY OWNER.  |  |

**GENERAL NOTES:**

- GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS. EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
- GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
- ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).

Seal:



General Notes:

ISSUES: DATE:

ABR ○ 05-21-25

○
○
○
○
○
○
○
○



15614 Detroit Ave.  
Lakewood, OH 44107

www.youngdesignstudio.com  
p. 216.616.9212

Architecture | Interiors | Urban Design

Roberts  
Residence

1010 Parkside Dr.  
Lakewood, Ohio 44107

Drawing Title:

**EXTERIOR ELEVATIONS**

Drawn by: BEY Date: 05-19-2025

Checked by: Drawing Number:

Approved: **A2-01**

Job Number:

File Name:



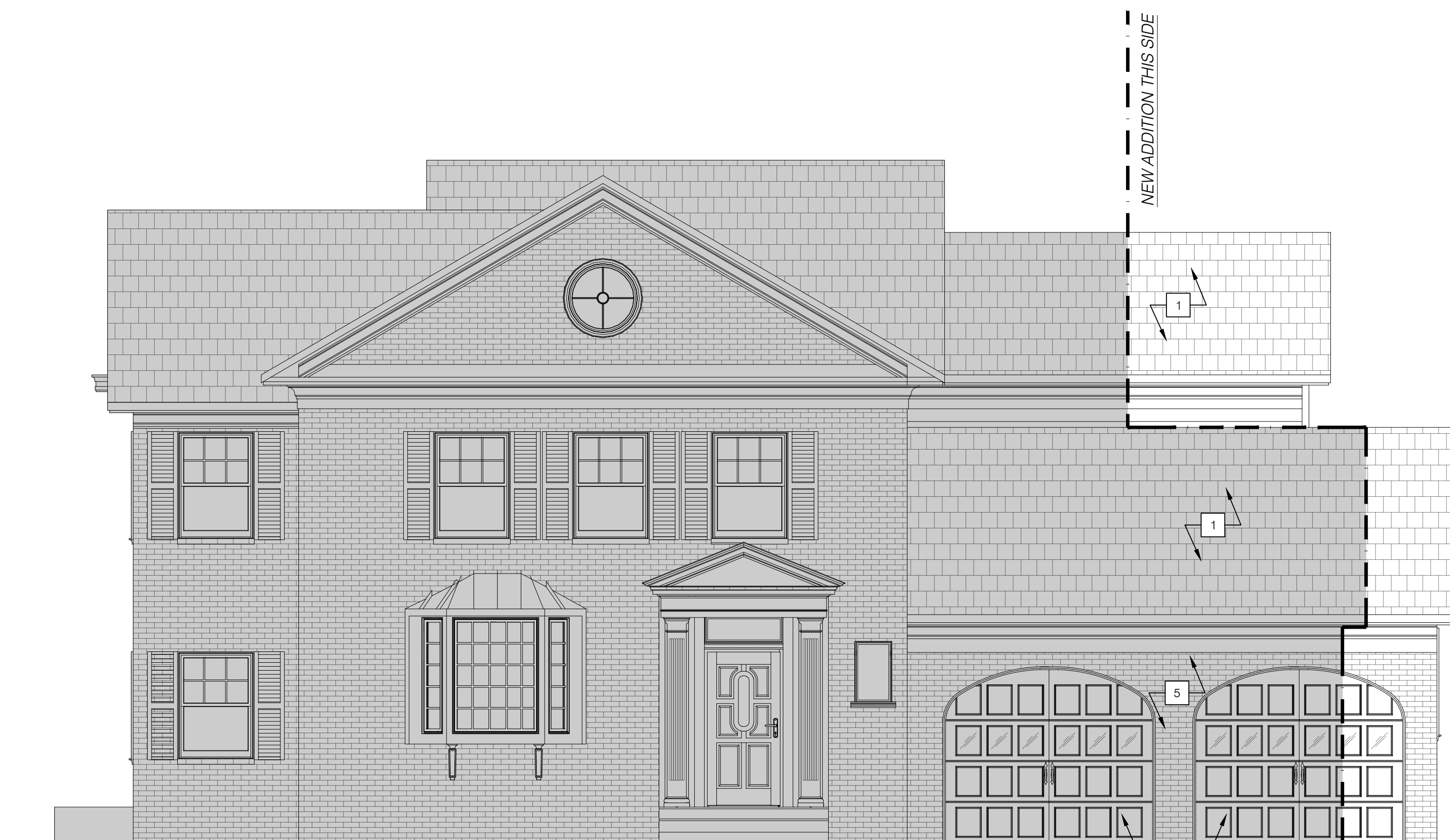
2 WEST (SIDE) ELEVATION  
A2-01 SCALE: 1/4" = 1'-0"



2 WEST (SIDE) ELEVATION  
A2-01 SCALE: 1/4" = 1'-0"



1 SOUTH (FRONT) ELEVATION  
A2-01 SCALE: 1/4" = 1'-0"



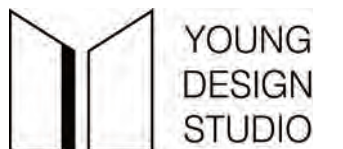
1 SOUTH (FRONT) ELEVATION  
A2-01 SCALE: 1/4" = 1'-0"



**View 01**

**Roberts Residence**

1010 Parkside Dr. Lakewood, Oh 44107





**View 02**

**Roberts Residence**

1010 Parkside Dr. Lakewood, Oh 44107





**View 03**

**Roberts Residence**  
1010 Parkside Dr. Lakewood, Oh 44107





**View 04**

**Roberts Residence**

1010 Parkside Dr. Lakewood, Oh 44107





**View 05**

**Roberts Residence**

1010 Parkside Dr. Lakewood, Oh 44107





**View 05**

**Roberts Residence**

1010 Parkside Dr. Lakewood, Oh 44107