



City of Lakewood  
Board of Building Standards • Architectural Board of  
Review • Sign Review Board

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F: (216) 529-5907  
planning@lakewoodoh.gov

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AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
EAST CONFERENCE ROOM  
JULY 1, 2025  
4:00 P.M.

REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JULY 10, 2025  
5:30 P.M.

1. ROLL CALL
2. APPROVE THE MINUTES OF THE JUNE 12, 2025 MEETING
3. OPENING REMARKS

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

4. Docket No. 06-47-25 (R) 1655 Roosevelt Ave.  
 Approve Christopher Walling  
 Deny 1655 Roosevelt Ave.  
 Defer Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 5)

5. Docket No. 06-48-25 (C) 13345 Madison Ave.  
Commercial Building

- Approve
- Deny
- Defer

Daniel Rothstein  
Northlake Ridgewood LLC  
P.O. Box 773  
Hudson, OH 44236

Applicant proposes a mural on the west side of the building. (Page 12)

**6. Docket No. 06-49-25 (C) 16024 Madison Ave.  
Neighborhood Pediatrics LLC**

- Approve
- Deny
- Defer

Michael Daso  
Daso Properties  
17436 Edgewater Dr.  
Lakewood, OH 44107

Applicant proposes exterior renovations. (Page 17)

**7. Docket No. 06-51-25 (R) 1070 Rosalie Ave.**

- Approve
- Deny
- Defer

Lee Pozek  
Architect  
5222 Coldbrook Dr.  
Mantua, OH 44255

Applicant proposes construction of an addition and attached garage on the north side of an existing residence. (Page 21)

## NEW BUSINESS

## SIGN REVIEW

**8. Docket No. 07-53-25 18206 Detroit Ave.  
Oscar's Pizza**

- Approve
- Deny
- Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave. Ste. 195  
Lakewood, OH 44107

Applicant proposes an illuminated double-sided blade sign. (Page 32)

**9. Docket No. 07-54-25 15709 Detroit Ave.  
The White Moon Soap Co.**

- Approve
- Deny

Steven Foster  
The Sign & Graphics Firm, LLC

Defer

14837 Detroit Ave. Ste. 195  
Lakewood, OH 44107

Applicant proposes the re-covering of an awning and door window graphics with business name and logo. (Page 36)

**10. Docket No. 07-55-25**

**15422 Detroit Ave.  
King's Church**

Approve  
 Deny  
 Defer

Noah Nickel  
King's Church  
15422 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes signage in multiple locations: window and door graphics, monument sign, wayfinding signage. (Page 40)

**11. Docket No. 07-56-25**

**15719 Detroit Ave.  
Armed Services**

Approve  
 Deny  
 Defer

Brooke Thomas  
Armed Services  
15715 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes window graphics. (Page 53)

**ARCHITECTURAL BOARD OF REVIEW**

**12. Docket No. 07-57-25**

**(R)**

**2193 Lakeland Ave.**

Approve  
 Deny  
 Defer

Nick Legg  
Great Day Improvements  
1943 Midway Dr.  
Twinsburg, OH 44087

Applicant proposes the enclosure of a front porch. (Page 58)

**13. Docket No. 07-58-25**

**(R)**

**1040 Nicholson Ave.**

Approve  
 Deny  
 Defer

Marshall Wright  
Marshall L. Wright Construction Inc.  
15538 Drake Rd.  
Strongsville, OH 44136

Applicant proposes the addition of a front porch. (Page 78)

14. Docket No. 07-59-25

(R)

1515 Wayne Ave.

- Approve
- Deny
- Defer

Vincent Valentino  
1515 Wayne Ave.  
Lakewood, OH 44107

Applicant proposes the addition of a dormer on the south side of the roof. (Page 89)

15. Docket No. 07-60-25

(C)

1382 Arthur Ave.

Lakewood Seventh Day Adventist Church

- Approve
- Deny
- Defer

Aleksandra Brankov  
Lakewood Seventh Day Adventist Church  
1382 Arthur Ave.  
Lakewood, OH 44107

Applicant proposes to paint the brick exterior of the church school building to be consistent with the adjacent painted brick wall. (Page 97)

## ADJOURN

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.gov](mailto:michelle.nochta@lakewoodoh.gov)."*



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Application Cover Page

Docket No.: 06-47-25

Permit No.: BBS25-000043

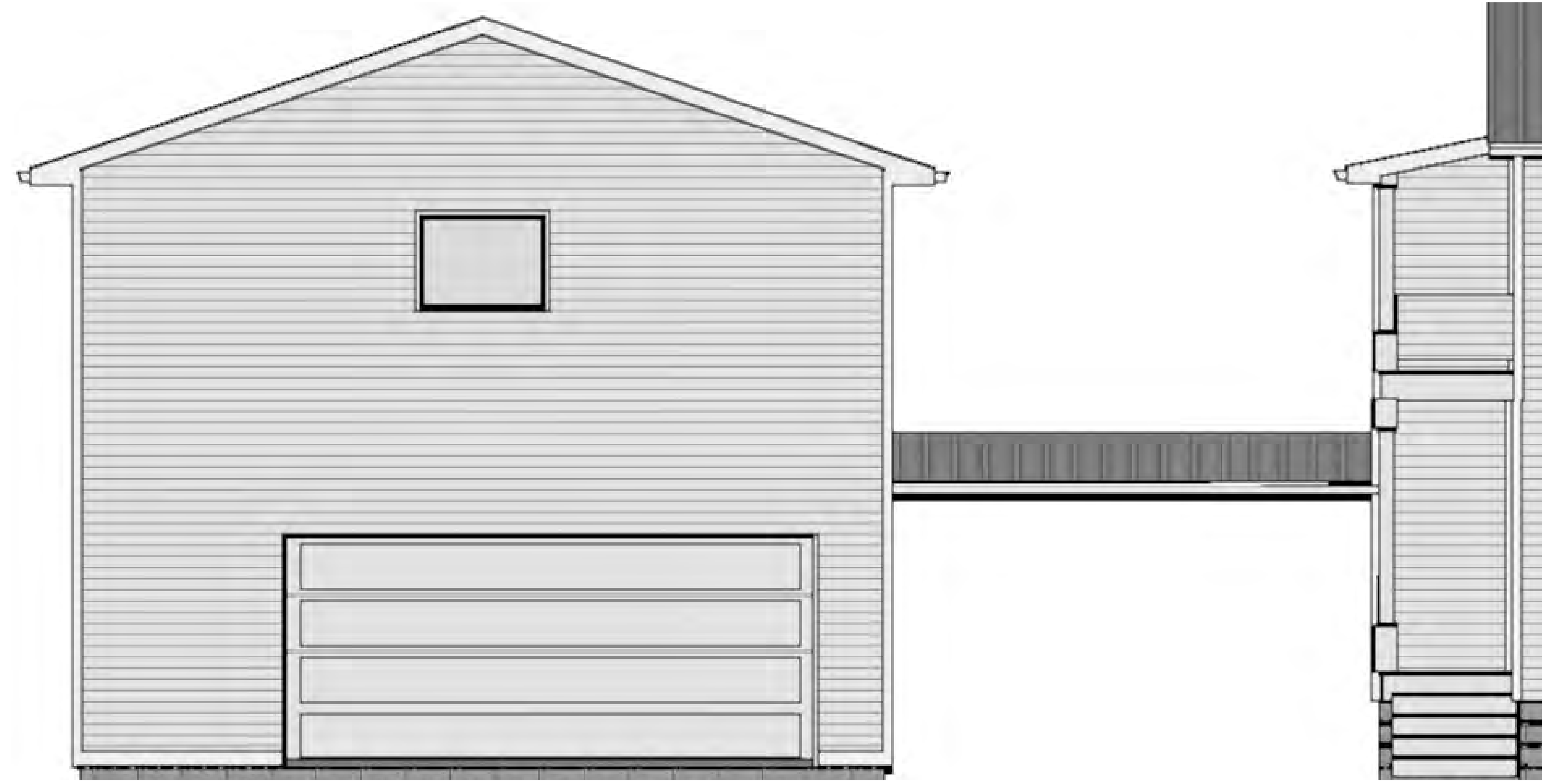
Applicant Name: Christopher Walling

Project Address: 1655 Roosevelt Ave.

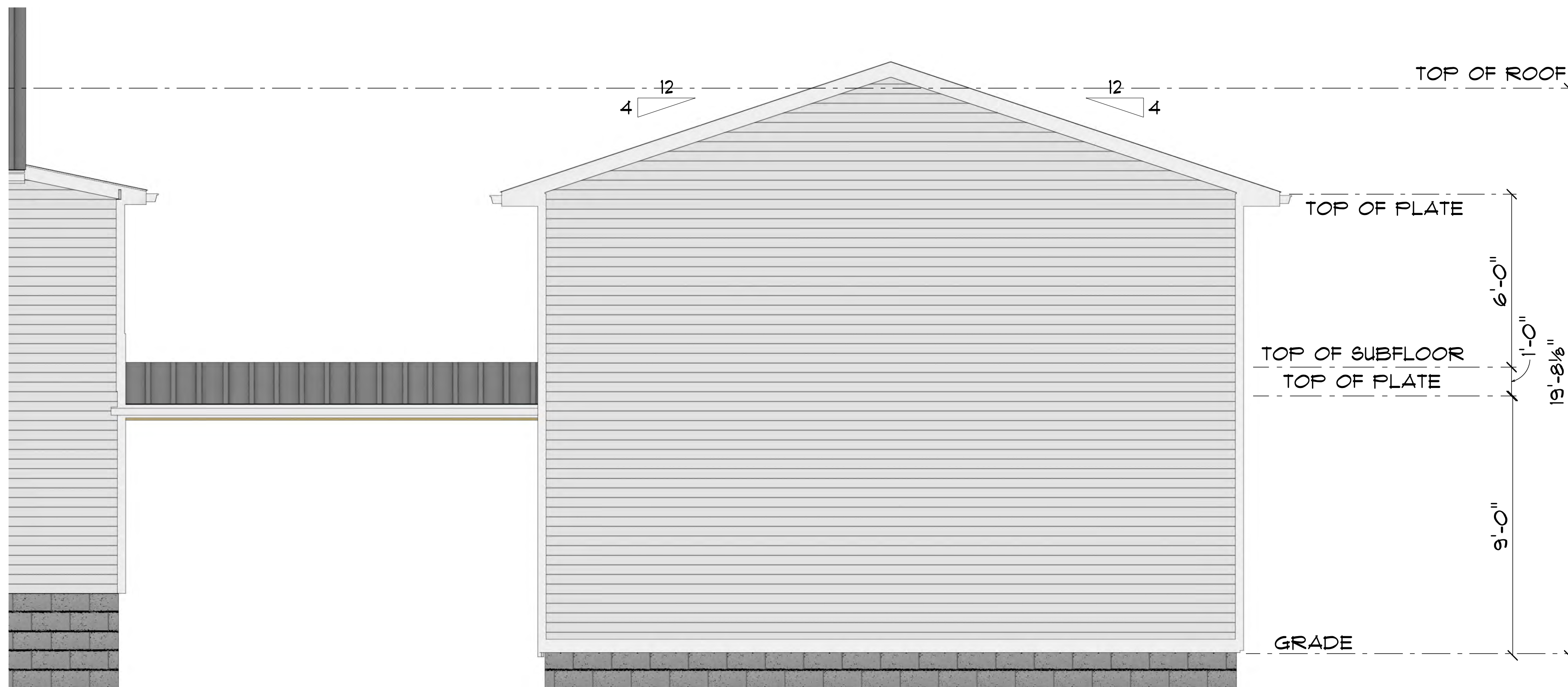
Project Name: n/a

Project: Applicant proposes the construction of a new garage.

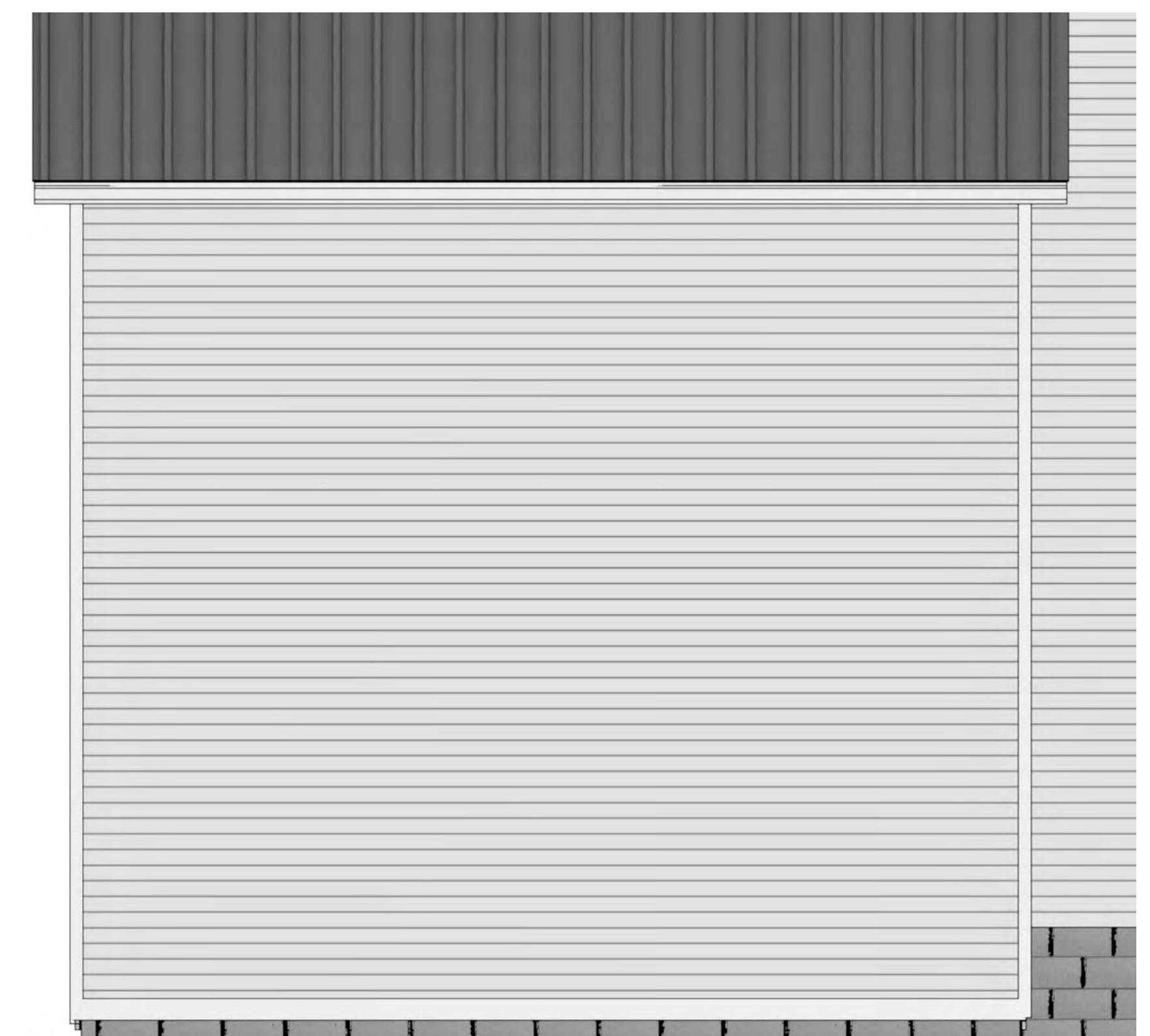




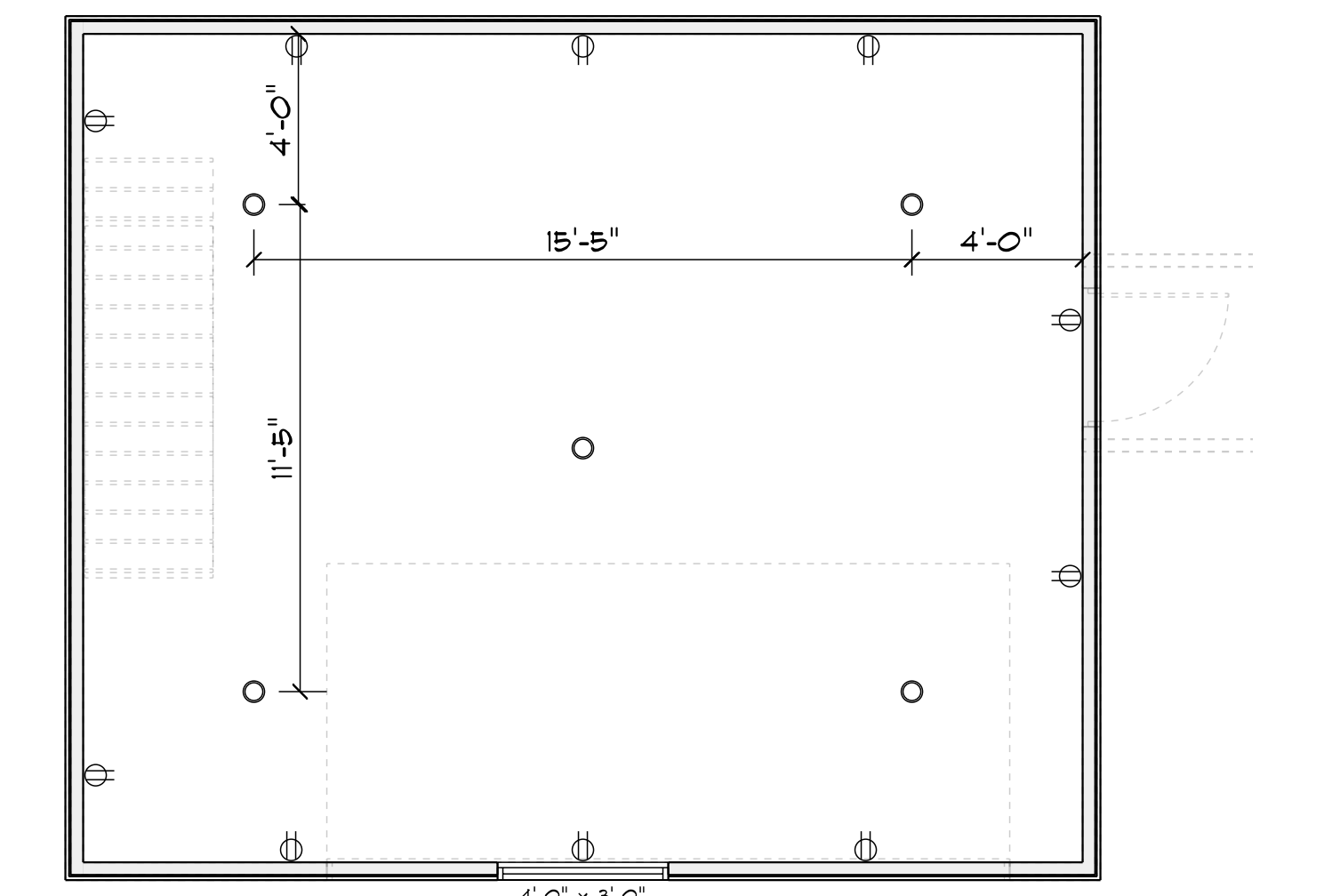
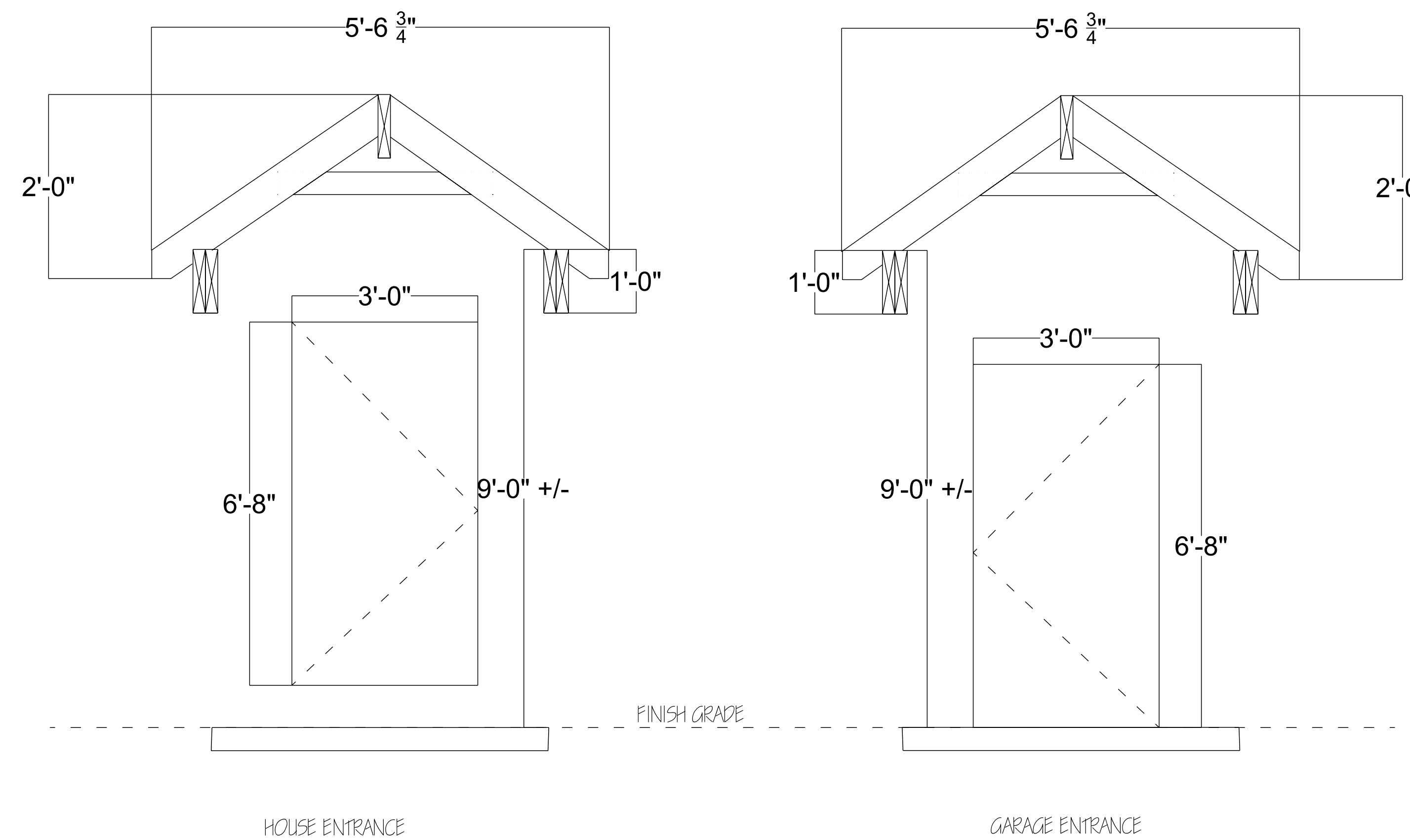
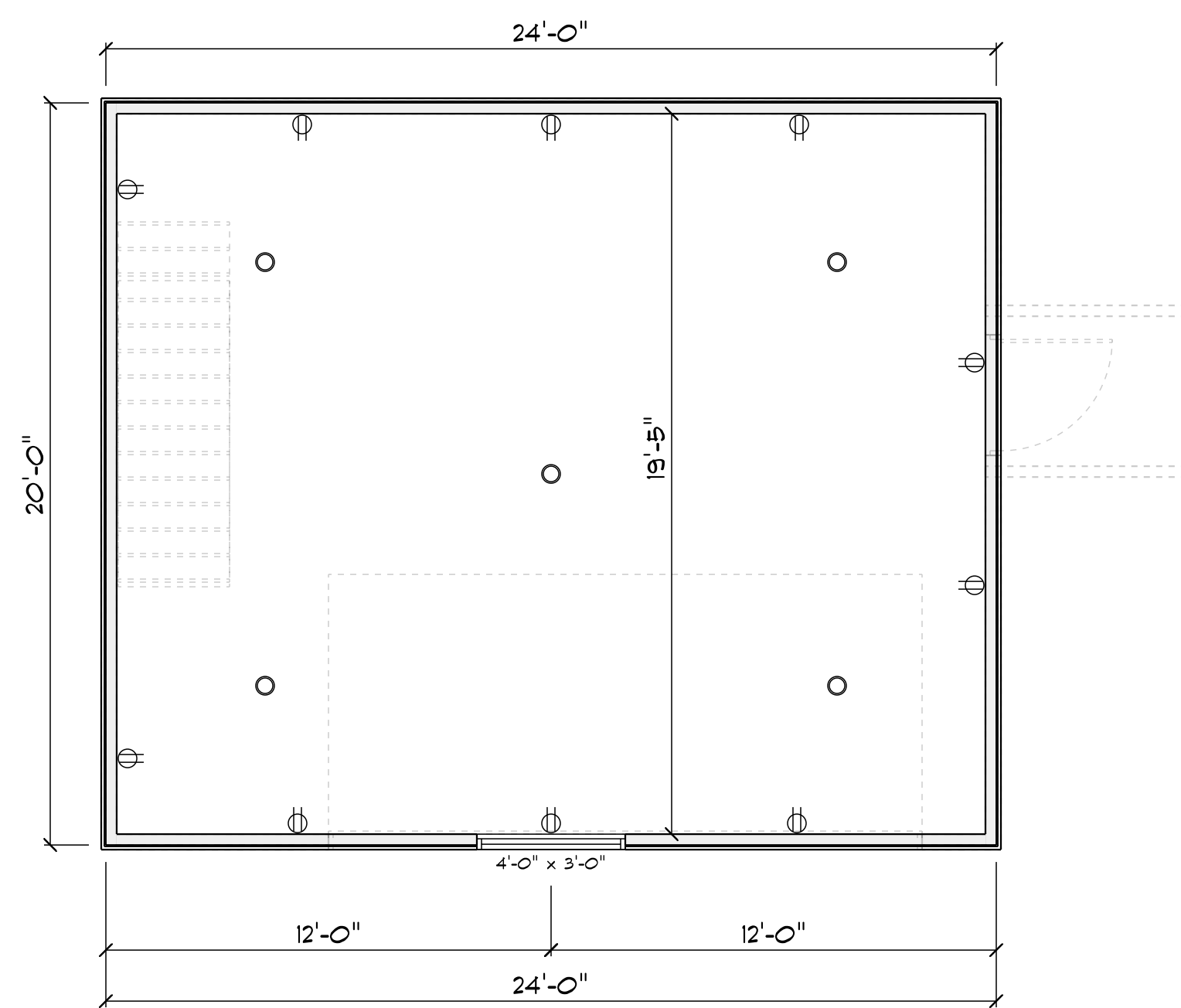
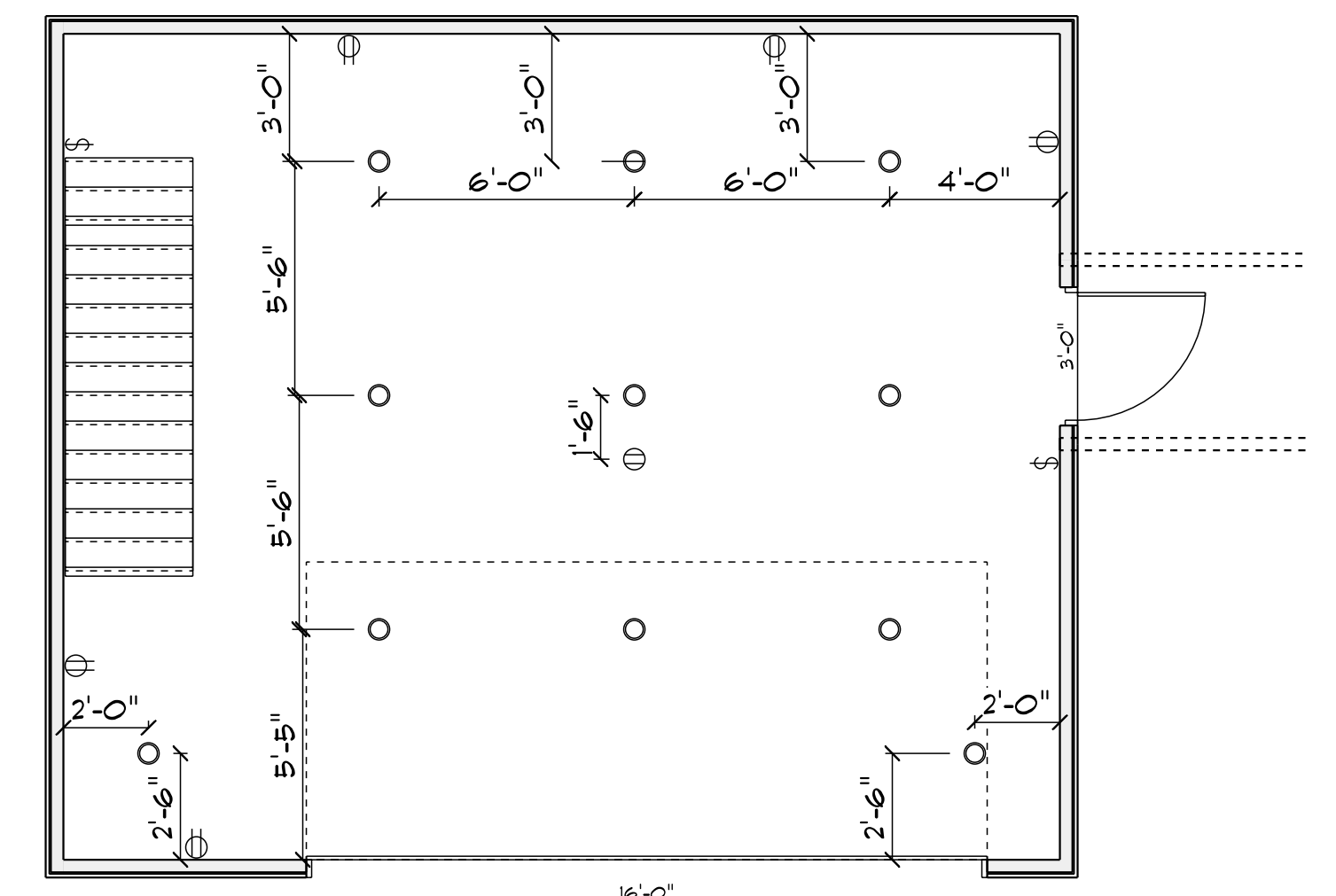
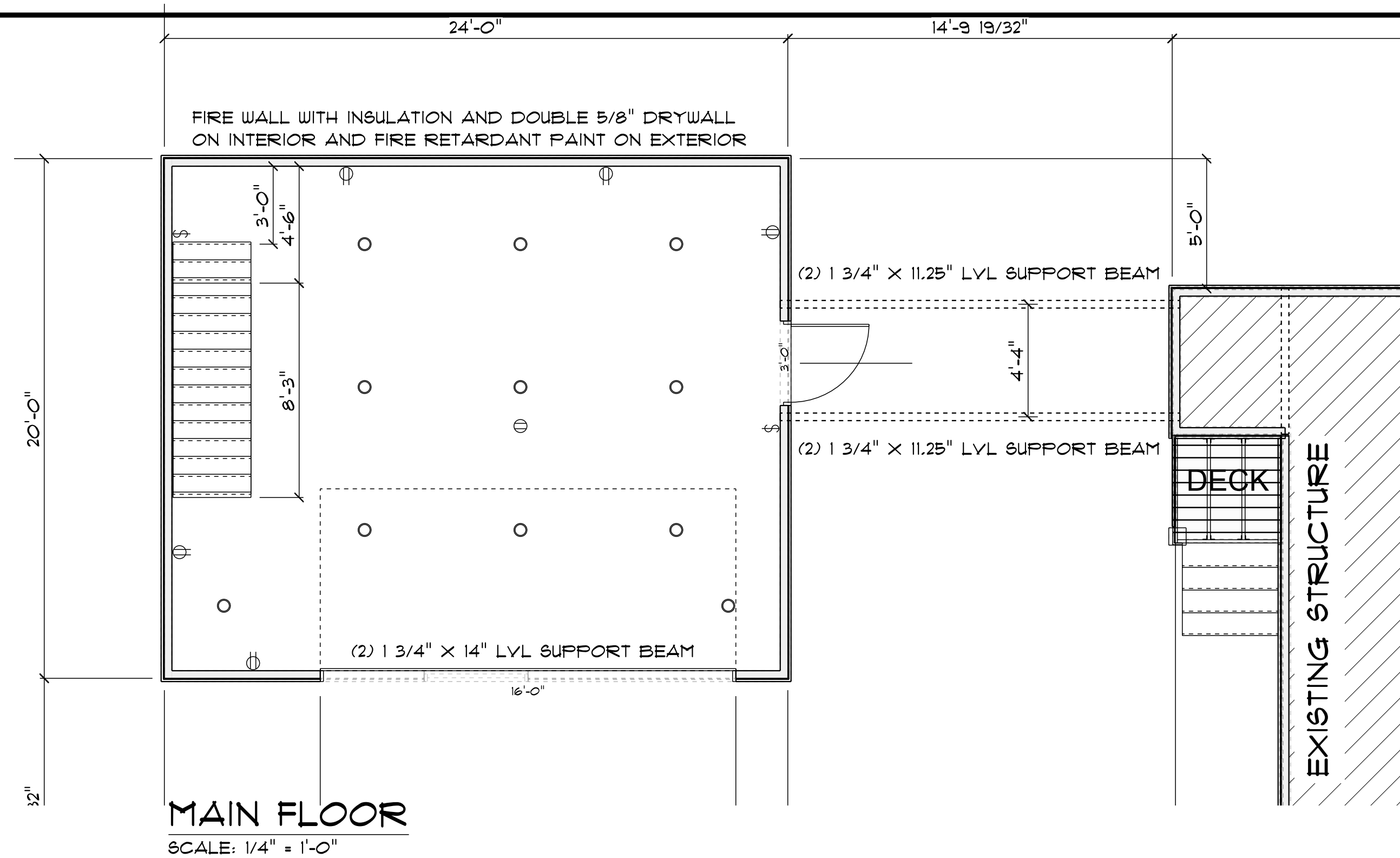
North Elevation  
SCALE: 3/8" = 1'-0"



South Elevation  
SCALE: 3/8" = 1'-0"



East Elevation  
SCALE: 3/8" = 1'-0"



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
can light 6inch	16	o
ceiling receptacle duplex	1	⊖
outlet	15	⊕
switch	2	s

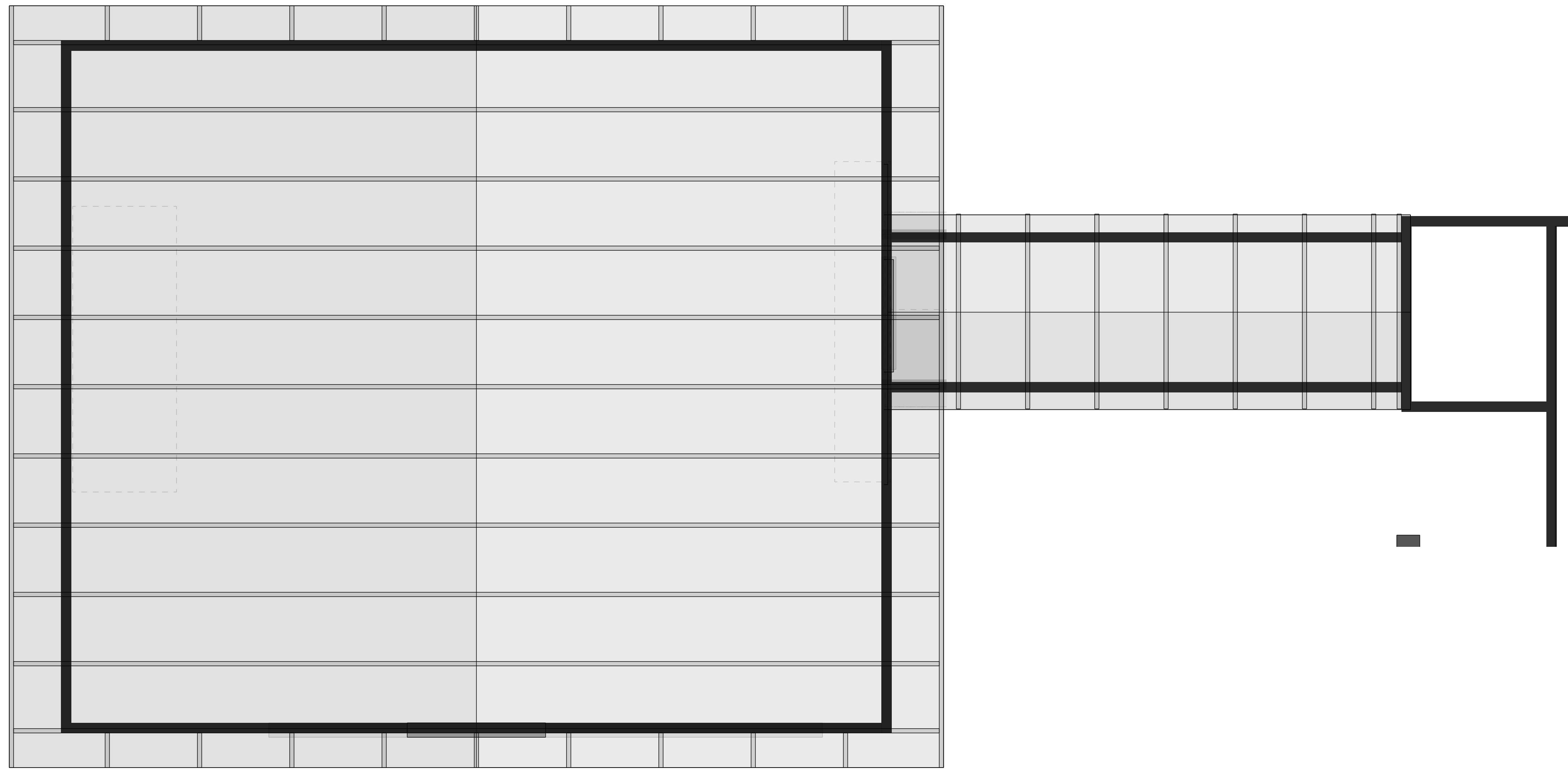
BR DRAFTING & DESIGN LLC  
 104 SOUTH WHITE STREET SUITE #210  
 WAKE FOREST, NC 27587  
 OH 440-703-8010 / NC 919-635-9500  
 info@brddplans.com / brddplans.com

GARAGE ADDITION  
 1655 ROCSEVELT AVE  
 LAKEWOOD, OH

SCALE: As Noted  
 DRAWN BY: BENJAMIN ROGERS  
 DATE: Thursday, April 17, 2025

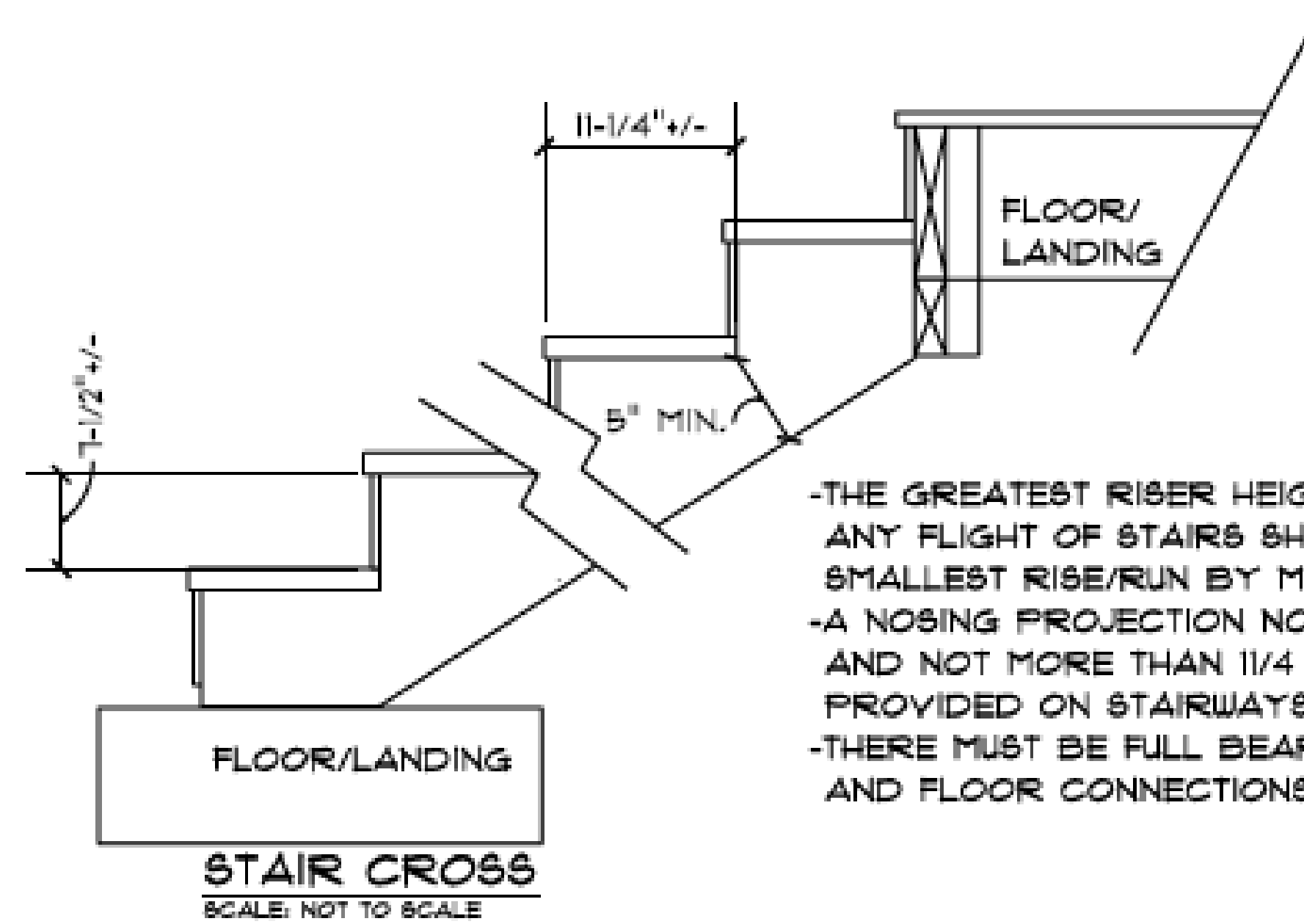
BR DRAFTING & DESIGN LLC

2 / 5  
 LAYOUT

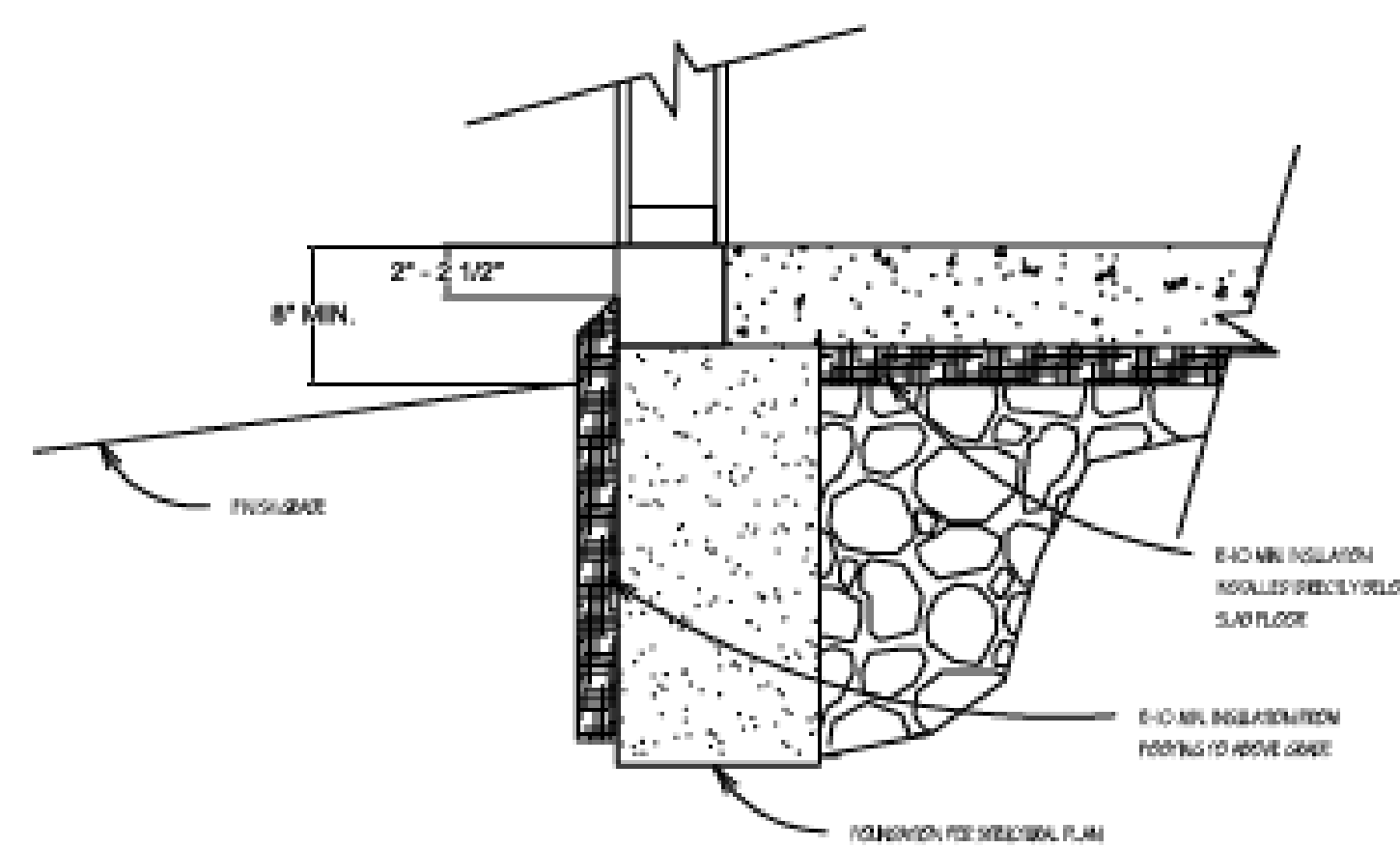


**ROOF OVERVIEW**  
SCALE: 1/2" = 1'-0"

PROPOSED ROOF STRUCTURES SHALL BE FRAMED USING ENGINEERED TRUSSES DESIGNED BY OTHERS.

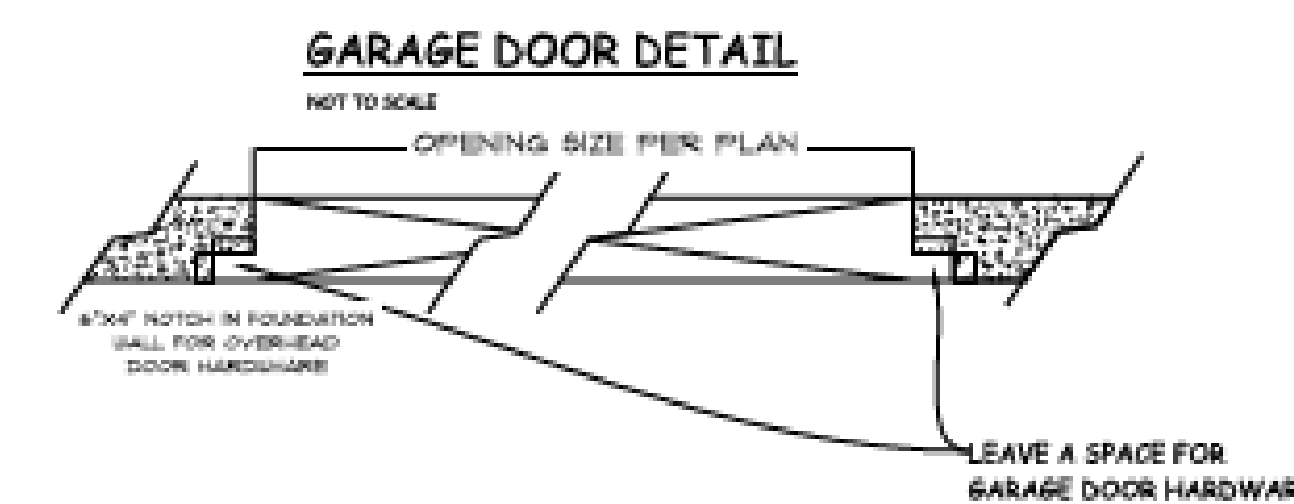
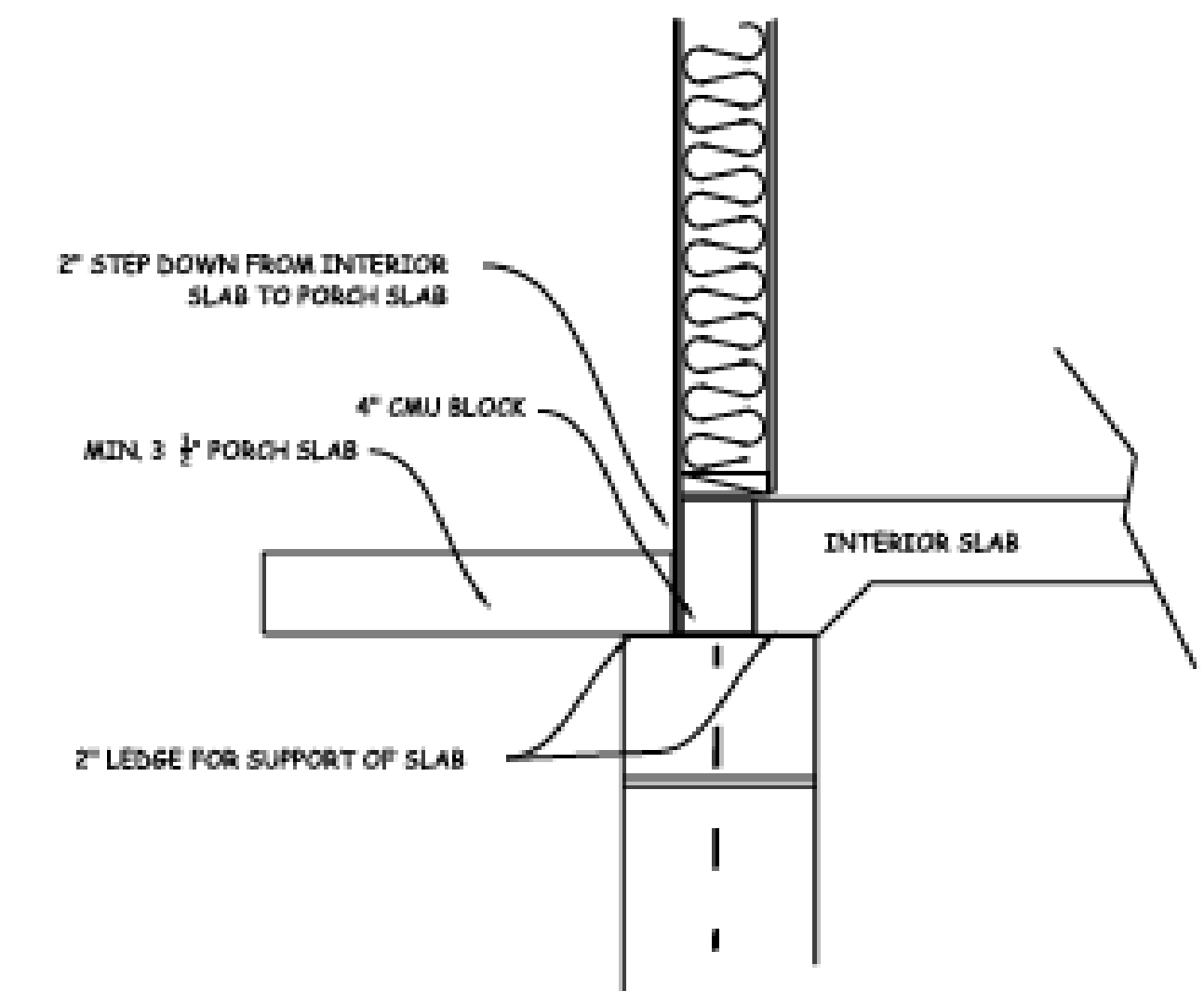


- THE GREATEST RISER HEIGHT OR TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST RISE/RUN BY MORE THAN 3/8".
- A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS
- THERE MUST BE FULL BEARING AT ALL LANDINGS AND FLOOR CONNECTIONS



**SLAB INSULATION DETAIL**  
SCALE: NOT TO SCALE

**FRONT PORCH/GARAGE FLOOR SLAB DETAIL**  
NOT TO SCALE



**GARAGE DOOR DETAIL**  
NOT TO SCALE

1) GENERAL STRUCTURAL NOTES:

- 1.1) THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER BEARS RESPONSIBILITY FOR THE STRUCTURAL COMPONENTS INCLUDING RAFTERS, HIPs, VALLEYS, RIDGES, CEILING AND FLOOR JOISTS, LOAD-BEARING WALLS, BEAMS AND HEADERS, COLUMNS AND POSTS, CANTILEVERS, PIERS, GIRDERS, AND FOOTINGS.
- 1.2) THE SER DOES NOT CERTIFY THE DIMENSIONAL ACCURACY OF THE ARCHITECTURAL DRAWINGS, INCLUDING THE ROOF. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES AND/OR INCOMPLETE INFORMATION.
- 1.3) THE SER IS NOT RESPONSIBLE FOR I-JOIST AND/OR FLOOR AND ROOF TRUSS DESIGN AND LAYOUT. FLOOR AND ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW FINAL TRUSS DRAWINGS PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
- 1.4) THE SER IS NOT RESPONSIBLE FOR VERIFICATION OF ASSUMED FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ASSUMED FIELD CONDITIONS ARE MET OR EXCEEDED PRIOR TO CONSTRUCTION AND NOTIFY THE SER OF ANY DISCREPANCIES.
- 1.5) THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHOULD PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION TO STABILIZE THE STRUCTURE.
- 1.6) THE SER DOES NOT BEAR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, NOR SAFETY PRECAUTIONS IN CONNECTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 1.7) ANY ERRORS DUE TO FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE SER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ANY REVISIONS ISSUED BY THE SER ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS.
- 1.8) THE SER DOES NOT PERFORM PENETRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO THE STRUCTURAL DESIGN. IT IS THE RESPONSIBILITY OF THE ARCHITECTURAL DESIGNER AND/OR CONTRACTOR TO PROVIDE ANY REQUIRED CALCULATIONS OUTSIDE OF THE SCOPE OF THE STRUCTURAL DESIGN.

2) DESIGN SPECIFICATIONS:

- 2.1) BUILDING CODES:
  - 2019 IBC RESIDENTIAL CODE (NRC)
  - ASCE/SEI 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"
- 2.2) DESIGN LIVE LOADS:
 

- ROOF	20 PSF
- UNINHABITABLE ATTICS WITH STORAGE	10 PSF
- UNINHABITABLE ATTICS WITH LIMITED STORAGE	20 PSF
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 PSF
- SLEEPING AREAS	30 PSF
- LIVING AREAS	40 PSF
- DECKS AND BALCONIES	40 PSF
- STAIRS	40 PSF
- PASSENGER VEHICLE GARAGE	50 PSF
- 2.3) DESIGN DEAD LOADS:
 

- ROOF TRUSSES	20 PSF (10 PSF TC, 10 PSF BC)
- SOLID SAWN RAFTERS AND JOISTS	10 PSF
- I-JOISTS	12 PSF
- FLOOR TRUSSES	15 PSF (10 PSF TC, 5 PSF B)
- INTERIOR WALLS	8 PSF
- EXTERIOR WALLS	10 PSF
- BRICK, MASONRY, AND NATURAL STONE VENEER	40 PSF
- CERAMIC TILE FLOORING	10 PSF
- NATURAL STONE TILE FLOORING	32 PSF
- NORMAL WEIGHT CONCRETE	145 PCF
- 2.4) DESIGN SNOW LOADS:
 

- GROUND SNOW LOAD	20 PSF
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- 2.5) DESIGN LATERAL LOADS AND CRITERIA:
 

- ULTIMATE WIND SPEED	UP TO 120 MPH
- WIND EXPOSURE	B
- DESIGN WIND PRESSURE	20 PSF
- SEISMIC DESIGN CATEGORY	B
- 2.6) DESIGN SOIL LOADS:
 

- SOIL BEARING CAPACITY	2000 PSF (MINIMUM, ASSUMED)
- LATERAL SOIL PRESSURE	45 PCF (MAXIMUM, ASSUMED)
- 2.7) DESIGN DEFLECTION LIMITS:
 

	LIVE LOAD	TOTAL LOAD
- ROOF TRUSSES	L/360	L/240
- SOLID SAWN RAFTERS	L/240	L/180
- SOLID SAWN CEILING JOISTS	L/240	L/180
- I-JOISTS AND FLOOR TRUSSES	L/480	L/240
- SOLID SAWN FLOOR JOISTS	L/360	L/240
- BEAMS AND HEADERS	L/240	L/240
- FRAMING SUPPORTING CERAMIC TILE	L/360	L/360
- FRAMING SUPPORTING NATURAL STONE TILE	L/720 ( $\frac{1}{8}$ " MAX)	L/600 ( $\frac{1}{8}$ " MAX)
- LINTELS AND FRAMING SUPPORTING BRICK OR MASONRY	L/600 ( $\frac{1}{8}$ " MAX)	L/600 ( $\frac{1}{8}$ " MAX)

3) FOOTING AND FOUNDATION NOTES:

- 3.1) FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NRC.
- 3.1) VERIFICATION OF THE ASSUMED SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF THE CONTRACTOR. CONCRETE FOOTINGS SHALL NOT BE PLACED UNTIL THE SOIL BEARING CAPACITY HAS BEEN VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER OR BUILDING INSPECTOR. CONSULT THE SER SHOULD THE SOIL BEARING CAPACITY NOT BE MET OR IF ANY OTHER ADVERSE SOIL CONDITION IS ENCOUNTERED.
- 3.2) THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW GRADE OR BELOW THE FROST LINE FOR THE CONSTRUCTION LOCATION, WHICHEVER IS GREATER.
- 3.3) ANY COMPACTED FILL SHALL BE PLACED UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY.
- 3.4) FOOTINGS SHALL BE FREE OF VEGETATION, TOPSOIL, AND FOREIGN MATERIAL. NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING WATER, ICE, FROST, OR LOOSE MATERIAL.

- 3.5) FOOTINGS SUPPORTING FOUNDATION WALLS SHALL HAVE A MINIMUM PROJECTION OF 2" AT ALL SIDES. MAXIMUM FOOTING PROJECTION AT FOUNDATION WALLS SHALL NOT EXCEED THE THICKNESS OF THE FOOTING. WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIA ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT INTO CONCRETE OR SOLID-GROUTED MASONRY SPACED A MAXIMUM OF 6'-0" O.C. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER PLATE SECTION AND ONE ANCHOR BOLT WITHIN 12" OF EACH CORNER. ANCHOR BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SILL PLATE.
- 3.6) FOUNDATION WALLS MAY BE STEPPED AND FRAMED WITH CRIPPLE WALLS WHERE GRADE PERMITS (SEE NOTE 7.14 FOR WALL FRAMING REQUIREMENTS).
- 3.7) PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO DAYLIGHT AS REQUIRED BY SITE CONDITIONS.
- 3.8) THE SITE SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST TEN FEET.
- 3.9) CRAWL SPACES SHALL BE GRADED LEVEL AND CLEAR OF ALL DEBRIS. CRAWL SPACE GRADE SHALL BE LINED WITH MINIMUM 6 MIL APPROVED VAPOR BARRIER WITH ALL JOINTS LAPPED MINIMUM 12" AND SEALED. PROVIDE A MINIMUM ACCESS OPENING MEASURING 18" BY 24".

4) CONCRETE NOTES:

- 4.1) INTERIOR SLABS ON GRADE, EXCEPT FOR GARAGE FLOORS, AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. FOUNDATION WALLS, GARAGE SLABS ON GRADE, AND EXTERIOR SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. ALL CONCRETE SHALL BE CAST IN PLACE.
- 4.2) CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- 4.3) ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED WITH TOTAL AIR VOLUME NOT LESS THAN 5% (OR MORE THAN 7%).
- 4.4) CONCRETE SLABS ON GRADE SHALL BE MINIMUM 4" THICK AND REINFORCED WITH POLYPROPYLENE FIBERS (OR 6x6 WELDED WIRE FABRIC (WWF)). POLYPROPYLENE FIBERS SHALL BE APPLIED AT A MINIMUM RATE OF 1.5 LBS PER CUBIC YARD. WWF SHALL BE PLACED AT THE MID-DEPTH OF THE SLAB.
- 4.5) CONCRETE SLABS ON GRADE SHALL BE PLACED ON MINIMUM 4" THICK GRANULAR FILL COMPACTED TO MINIMUM 95% OF THE MAXIMUM DRY DENSITY. INTERIOR SLABS ARE TO BE PLACED ON A MINIMUM 6 MIL VAPOR BARRIER PLACED ON TOP OF THE GRANULAR FILL.
- 4.6) JOINTS TO DEEP CONTROL JOINTS (SAW-CUT OR TOOLED) ARE TO BE PLACED IN SLABS ON GRADE WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING. CONTROL JOINTS ARE TO BE SPACED APPROXIMATELY 10'-0" O.C.
- 4.7) ALL CAST-IN-PLACE CONCRETE WALLS SHALL CONFORM TO SECTIONS R404 AND/R R608 OF THE 2018 NRC, ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND/OR ACI 318 "CODE REQUIREMENTS FOR RESIDENTIAL CONCRETE".

5) MASONRY NOTES:

- 5.1) CONCRETE MASONRY SHALL CONFORM TO ASTM C90. ALL BRICK SHALL CONFORM TO ASTM #62. ALL MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI.
- 5.2) ALL MORTAR SHALL BE TYPE "S". GROUT AND MORTAR SHALL CONFORM TO ASTM C270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- 5.3) ALL MASONRY WALLS SHALL CONFORM TO SECTION SECTIONS R404 AND/OR R606 OF THE 2018 NRC, NOMA TR68-A "CONSTRUCTION USING CONCRETE MASONRY", AND/OR ACE 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES".
- 5.4) THE UNSUPPORTED HEIGHT OF UNGROUTED HOLLOW MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION. THE UNSUPPORTED HEIGHT OF SOLID OR SOLID-GROUTED MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION.
- 5.5) EACH CRAWL SPACE PIER SHALL BEAR WITHIN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR WITHIN THE MIDDLE THIRD OF THE PIERS. PLASTERS SHALL BE BONDED TO THE PERIMETER FOUNDATION WALL.
- 5.6) THE TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS SHALL BE GROUTED SOLID.
- 5.7) HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GAUGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE IN THE DRAWINGS, AND SHALL CONFORM TO ASTM A951. LAP HORIZONTAL REINFORCEMENT MINIMUM 6" FOR CONTINUOUS WALL APPLICATIONS.

6) REINFORCING STEEL NOTES:

- 6.1) WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185. CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60. REINFORCING STEEL WITHIN FOOTINGS SHALL MAINTAIN MINIMUM 3" CONCRETE COVER AND REINFORCING STEEL WITHIN SLABS SHALL MAINTAIN MINIMUM 1 1/2" CONCRETE COVER. CONCRETE COVER FOR #5 AND SMALLER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 1 1/2" AND CONCRETE COVER FOR #6 AND LARGER REINFORCING BARS WITHIN CONCRETE WALLS SHALL BE MINIMUM 2".
- 6.2) LAP REINFORCING STEEL, AS REQUIRED, A MINIMUM OF 48 TIMES THE BAR DIAMETER (18" FOR #3 BARS, 24" FOR #4 BARS, 30" FOR #5 BARS, 36" FOR #6 BARS, ETC.).

7) WOOD FRAMING NOTES:

- 7.1) SOLID SAWN FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) #2 OR SOUTHERN YELLOW (SYP) #2 WITH THE FOLLOWING MINIMUM DESIGN VALUES:
  - SPF #2: Fb=875 PSI, Fv=135 PSI, E=1,400,000 PSI
  - SYP #2: Fb=750 PSI, Fv=175 PSI, E=1,400,000 PSI
- 7.2) ENGINEERED LUMBER BEAMS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
  - LAMINATED STRAND LUMBER (LSL): Fb=2,325 PSI, Fv=310 PSI, E=1,550,000 PSI
  - LAMINATED VENEER LUMBER (LVL): Fb=2,600 PSI, Fv=285 PSI, E=2,000,000 PSI
  - PARALLEL STRAND LUMBER (PSL): Fb=2,900 PSI, Fv=290 PSI, E=2,000,000 PSI
- 7.3) ENGINEERED LUMBER COLUMNS SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
  - LAMINATED STRAND LUMBER (LSL): Fb=1,700 PSI, Fc=710 PSI, E=1,300,000 PSI
  - LAMINATED VENEER LUMBER (LVL): Fb=2,600 PSI, Fc=750 PSI, E=2,000,000 PSI
  - PARALLEL STRAND LUMBER (PSL): Fb=2,400 PSI, Fc=545 PSI, E=1,800,000 PSI
- 7.4) WOOD IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESURE TREATED IN ACCORDANCE WITH AWPA STANDARD 7-15. ALL OTHER MOISTURE EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD 7-2 (R SHALL BE A NATURALLY DURABLE DECAY RESISTANT WOOD AS DEFINED IN SECTION R202 OF THE 2018 NRC).
- 7.5) NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE AND SHALL CONFORM TO ASTM F1667-05.

- 7.6) BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. INSTALL STANDARD STEEL WASHERS FOR THE NUT AND BOLT HEAD WHEN BOLTING WOOD MEMBERS. HOLES FOR BOLTS SHALL BE 1/16" LARGER THAN THE BOLT DIAMETER UNLESS NOTED OTHERWISE.
- 7.7) LAG SCREWS SHALL CONFORM TO ANSI/ASME B18.2.1. INSTALL STANDARD STEEL WASHERS FOR THE SCREW HEAD. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
- 7.8) INDIVIDUAL STUDS BUILT UP TO FORM A COLUMN SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 6" O.C. STAGGERED. BLOCKING MATCHING OR EXCEEDING THE WIDTH OF THE STUD COLUMN SHALL BE INSTALLED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER THROUGH THE STRUCTURE.
- 7.9) MULTI-PLY SOLID SAWN BEAMS AND HEADERS SHALL BE FASTENED WITH (2) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x8 AND SMALLER OR (3) ROWS OF 10d NAILS @ 16" O.C. STAGGERED FOR 2x10 AND LARGER. APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLYS.
- 7.10) MULTI-PLY ENGINEERED LUMBER BEAMS AND HEADERS SHALL BE FASTENED PER THE MANUFACTURER SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 7.11) BEAMS PERPENDICULAR TO THE SUPPORTING WALL SHALL BEAR THE FULL WIDTH OF THE WALL UNLESS NOTED OTHERWISE AND SHALL BE SUPPORTED BY A COLUMN OF BUILT UP STUDS THAT MATCHES OR EXCEEDS THE WIDTH OF THE BEAM (NOT LESS THAN TWO STUDS).
- 7.12) BEAMS PARALLEL TO THE SUPPORTING WALL SHALL BEAR THE WIDTH OF THE SPECIFIED STUD COLUMN ON THE END OF THE WALL (BEARING SHALL NOT BE LESS THAN 3" TO BEAR OVER TWO STUDS UNLESS NOTED OTHERWISE).
- 7.13) HEADERS SHALL BE SUPPORTED BY JACK STUDS AND KING STUDS BASED ON THE FOLLOWING CONDITIONS UNLESS NOTED OTHERWISE:
 

CLEAR SPAN:	# OF JACK STUDS:	# OF KING STUDS (EXTERIOR):	# OF KING STUDS (INTERIOR):
UP TO 3'-0"	(1)	(1)	(1)
>3'-0" UP TO 6'-0"	(2)	(2)	(1)
>6'-0" UP TO 9'-0"	(3)	(3)	(2)
>9'-0" UP TO 12'-0"	(3)	(4)	(2)
>12'-0" UP TO 15'-0"	(3)	(5)	(3)
>15'-0" UP TO 18'-0"	(4)	(6)	(3)
- 7.14) STUD SPACING FOR EXTERIOR AND INTERIOR BEARING WALLS SHALL BE BASED ON THE FOLLOWING CONDITIONS UNLESS NOTED OTHERWISE:
  - SUPPORTING UP TO ONE STORY ABOVE:
 

UP TO 10'-1 1/2" IN HEIGHT	2x4 @ 16" O.C. OR 2x6 @ 24" O.C.
>10'-1 1/2" UP TO 12'-1 1/2"	2x4 @ 12" O.C. OR 2x6 @ 16" O.C.
  - SUPPORTING UP TO TWO STORIES ABOVE:
 

UP TO 10'-1 1/2" IN HEIGHT	2x4 @ 12" O.C. OR 2x6 @ 16" O.C.
>10'-1 1/2" UP TO 12'-1 1/2"	2x6 @ 12" O.C.
- 7.15) ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 5/8" APA RATED OSB EXPOSURE 1 ATTACHED WITH 8d NAILS @ 6" C.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE.
- 7.16) ROOF SHEATHING SHALL BE MINIMUM 5/8" APA RATED SHEATHING EXPOSURE 1 ATTACHED TO ROOF FRAMING WITH 8d NAILS @ 6" C.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
- 7.17) FLOOR SHEATHING SHALL BE MINIMUM 3/8" APA RATED TONGUE AND GROOVE SHEATHING EXPOSURE 1 ATTACHED TO FLOOR FRAMING WITH 8d NAILS @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE. SHEATHING SHALL HAVE A SPAN RATING THAT MATCHES OR EXCEEDS THE FRAMING SPACING.
- 7.18) EXTERIOR WOOD DECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPENDIX M OF THE 2018 NRC UNLESS NOTED OTHERWISE.
- 7.19) EXTERIOR WOOD POSTS SHALL BE SECURED TO THE BAND AT THE BOTTOM AND BEAM AT THE TOP WITH (1) SIMPSON STRONG-TIE H6 HURRICANE TIE, (2) H2.5A HURRICANE TIES, OR (1) SECTION OF 2"x6" POLY STRAPPING WITH MINIMUM 9" END LENGTHS. FOR MASONRY OR CONCRETE FOUNDATIONS, SECURE POSTS AT THE BOTTOM WITH A SIMPSON STRONG-TIE ABU PLST BASE FOR THE SPECIFIED PLST SIZE.

8) STEEL FRAMING NOTES:

- 8.1) STEEL FRAMING SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - W SHAPES: ASTM A992
  - CHANNELS AND ANGLES: ASTM A36
  - PLATES AND BARS: ASTM A36
  - HOLLOW STRUCTURAL SECTIONS (HSS): ASTM A500, GRADE B
  - PIPES: ASTM A53, GRADE B, TYPE E OR S
- 8.2) STEEL BEAMS SHALL BE ANCHORED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS UNLESS NOTED OTHERWISE:
  - WOOD FRAMING: (2) 1/2" DIAMETER x 4" LONG LAG SCREWS
  - CONCRETE: (2) 1/2" DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS
  - MASONRY (GROUTED SOLID): (2) 1/2" DIAMETER x 4" LONG SST TITEN HD (OR EQUAL) SCREW ANCHORS
  - STEEL COLUMN: (2) 1/2" DIAMETER BOLTS OR 5/8" CONTINUOUS FILLET WELD
- 8.3) ATTACH A 2x NAILER TO THE TOP FLANGE OF STEEL BEAMS WITH (2) ROWS OF 1/2" DIAMETER CARRIAGE BOLTS @ 48" O.C. STAGGERED UNLESS NOTED OTHERWISE.
- 8.4) FLITCH BEAMS SHALL BE BOLTED WITH (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" C.C. STAGGERED.

9) SUPPORT OF MASONRY OR NATURAL STONE VENEER:

- 9.1) VENEER ABOVE OPENINGS SHALL BE SUPPORTED BY STEEL ANGLES AS FOLLOWS UNLESS NOTED OTHERWISE:
 

CLEAR SPAN:	SIZE OF STEEL ANGLE:
UP TO 3'-0"	3x3x1/4
>3'-0" UP TO 6'-0"	5x3 1/2x1/4 (LONG LEG VERTICAL)
>6'-0" UP TO 8'-0"	6x4x1/4 (LONG LEG VERTICAL)
- 9.2) VENEER ABOVE OPENINGS WITH A CLEAR SPAN EXCEEDING 8'-0" SHALL BE SUPPORTED BY A 6x4x1/4 STEEL ANGLE FASTENED TO THE HEADER WITH (2) ROWS OF 1/2" DIAMETER LAG SCREWS @ 16" O.C. UNLESS NOTED OTHERWISE.
- 9.3) STEEL ANGLES SHALL BE EMBEDDED MINIMUM 4" INTO THE VENEER AT EACH SIDE OF THE OPENING.
- 9.4) VENEER ABOVE ROOF LINES SHALL BE SUPPORTED BY A 6x4x1/4 STEEL ANGLE FASTENED TO (2) 2x10 BLOCKING WITH (2) ROWS OF 1/2" DIAMETER LAG SCREWS @ 16" O.C. BLOCKING TO BE FASTENED TO WALL STUDS AT EACH END WITH (4) 10d LAG NAILS PER PLY. FOR ROOF SPLICES EXCEEDING 7:12, WELD 3"x3"x1/4" STEEL PLATE STOPS @ 24" O.C. TO STEEL ANGLE.

COMMON ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALT	ALTERNATE	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
BRC	BEARING	NTS	NOT TO SCALE
BTM	BOTTOM	C.C.	CENTER TO CENTER
CP	CAST-IN-PLACE	PCF	POUNDS PER CUBIC FOOT
CLR	CLEAR	PLF	POUNDS PER LINEAR FOOT
CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
CR	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONN	CONNECTION	PSL	PARALLEL STRAND LUMBER
CONT	CONTINUOUS	PT	PRESSURE TREATED
DBL	DOUBLE	CJ	QUADRUPLE JOIST
DIA	DIAMETER	REINF	REINFORCE
DJ	DOUBLE JOIST	SER	STRUCTURAL ENGINEER OF RECORD
DSP	DOUBLE STUD POCKET	SF	SQUARE FEET
EA	EACH	SJ	SINGLE JOIST
EC	EQUAL	SP	SPACE (SPACING)
FLR	FLOOR	SPC(S)	SPECIFICATION(S)
FND	FOUNDATION	SPF	SPRUCE-PINE-FIR
FTG	FOOTING	SST	SIMPSON STRONG-TIE
GA	GAUGE	SYP	SOUTHERN YELLOW PINE
HDC	HOT-DIPPED GALVANIZED	TJ	TRIPLE JOIST
HDR	HEADER	TRPL	TRIPLE
HGR	HANGER	TSP	TRIPLE STUD POCKET
HORIZ	HORIZONTAL	TYP	TYPICAL
ICF	INSULATED CONCRETE FORMS	UN	UNLESS NOTED OTHERWISE
INFO	INFORMATION	VERT	VERTICAL
LBS	POUNDS	W/	WITH
LSL	LAMINATED STRAND LUMBER	WWF	WELDED WIRE FABRIC
LVL	LAMINATED VENEER LUMBER	XJ	EXTRA JOIST

LEGEND

■ (#)	STUD COLUMN AT POINT LOCATIONS THAT REQUIRES SOLID BLOCKING TO GIRDER OR FOUNDATION (#) DENOTES NUMBER OF STUDS. (2) STUDS REQUIRED IF NOT SPECIFIED
■	OFFSET POINT LOAD FROM ABOVE TO BE SUPPORTED BY GIRDER, BEAM, HEADER, JOIST, OR BLOCKING AS SPECIFIED
	BEARING WALL
= = = =	OFFSET BEARING WALL ABOVE
- - - -	BEAM, GIRDER, OR HEADER AS SPECIFIED
- - - -	JOIST, RAFTER, OR TRUSS AS SPECIFIED
	MECHANICAL FASTENER (REFER TO SCHEDULE BELOW)
	FULL HEIGHT MASONRY OR NATURAL STONE VENEER
= = = =	MASONRY OR NATURAL STONE VENEER WATERTABLE BELOW
	PLUMBING OR APPLIANCES ABOVE (FOR REFERENCE ONLY, REFER TO ARCHITECTURAL PLANS)
	SOLID GROUTED MASONRY
= = = =	ROOF SUPPORT BELOW
- - - -	FULL HEIGHT BRICK VENEER BELOW ROOF

MECHANICAL FASTENERS

ALLOWABLE I-JOIST SUBSTITUTIONS

BEAM SIZE:	FASTENER:	SPECIFIED SERIES:	EQUIVALENT SERIES:
(2)-2x6 (R)-(2)-2x8	LUS26-2	TJI 110	BCI 4500s 1.8
(2)-2x10 OR (2)-2x12	LUS210-2	TJI 210	BCI 5000s 1.8, BU 40, LPI 20PLUS, NI-40x
(1)-PLY LSL OR LVL	HUS1.81/10	TJI 230	BCI 6000s 1.8, LPI 32PLUS
(2)-PLY LSL OR LVL	HHUS410	TJI 360	BCI 60s 2.0, BU 60, LPI 36, NI-60
(3)-PLY LSL OR LVL	HHUS5.50/10	TJI 560	BCI 90s 2.0, BU 80, LPI 56, NI-80
(4)-PLY LSL OR LVL	HHUS7.25/10		

- NOTES:
- MECHANICAL FASTENERS TO BE INSTALLED BASED ON THIS SCHEDULE UNLESS NOTED OTHERWISE.
  - ALL SPECIFIED MECHANICAL FASTENERS ARE SIMPSON STRONG-TIE BRAND. OTHER BRAND FASTENERS WITH EQUIVALENT OR BETTER CAPACITY MAY BE SUBSTITUTED.
  - ALL MECHANICAL FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR EQUIVALENT CORROSIVE RESISTANT COATING.
- NOTES:
- MAINTAIN SPECIFIED JOIST DEPTH, DIRECTION, AND SPACING.
  - JOISTS NOT LISTED IN THIS SCHEDULE MAY BE SUBSTITUTED PROVIDED THEY MEET OR EXCEED THE PROPERTIES OF THOSE LISTED.

SCALE: 0.1502" = 1'-0"

DRIVEN BY: BENJAMIN ROGERS

DATE: Thursday, April 17, 2025

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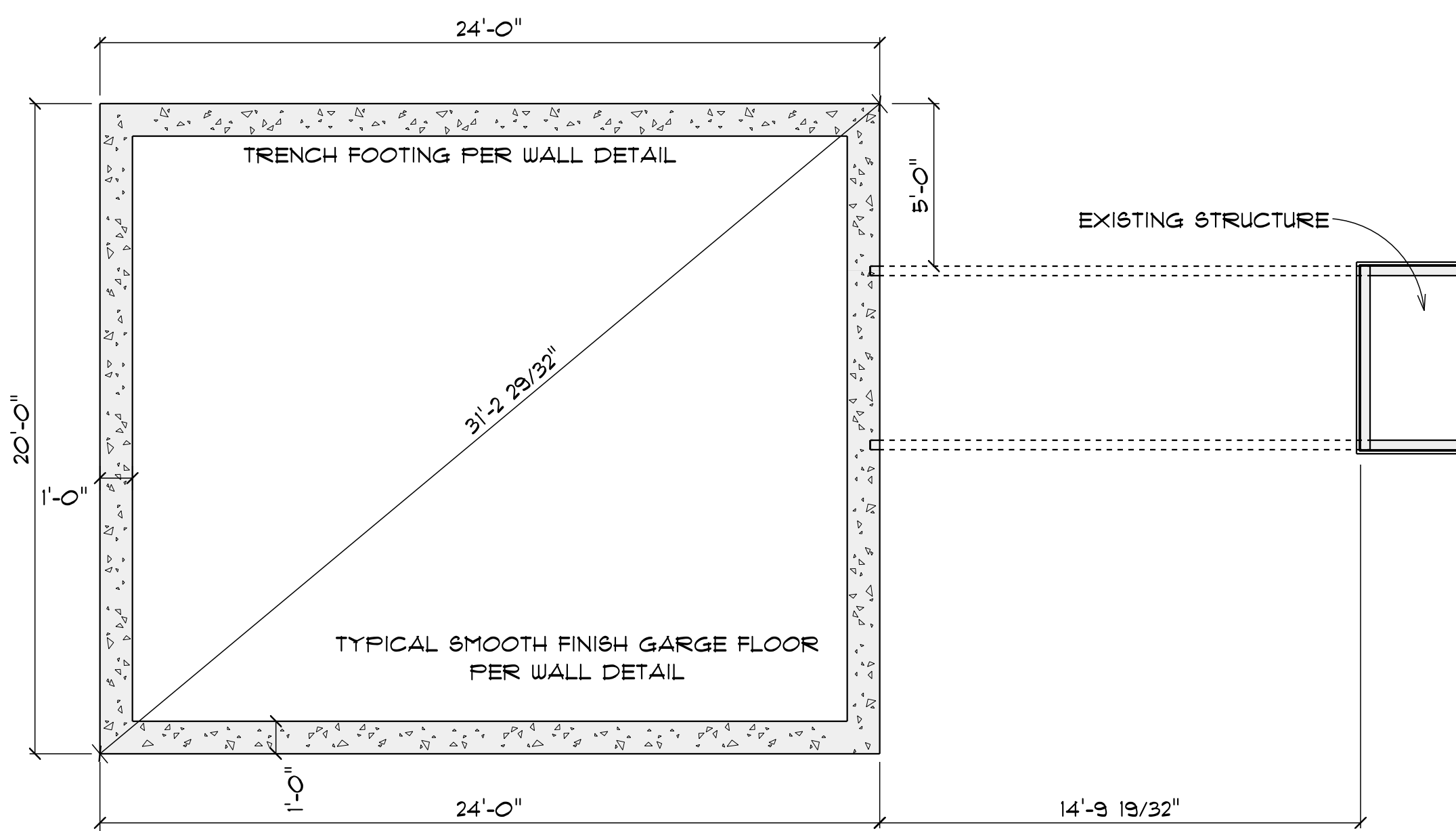
**BR DRAFTING & DESIGN LLC**  
 104 SOUTH WHITE STREET SUITE #210  
 WAKE FOREST, NC 27587  
 OH 440-703-8010 / NC 919-635-9900  
 info@brddplans.com / brddplans.com

**BR RAFTING DESIGN**

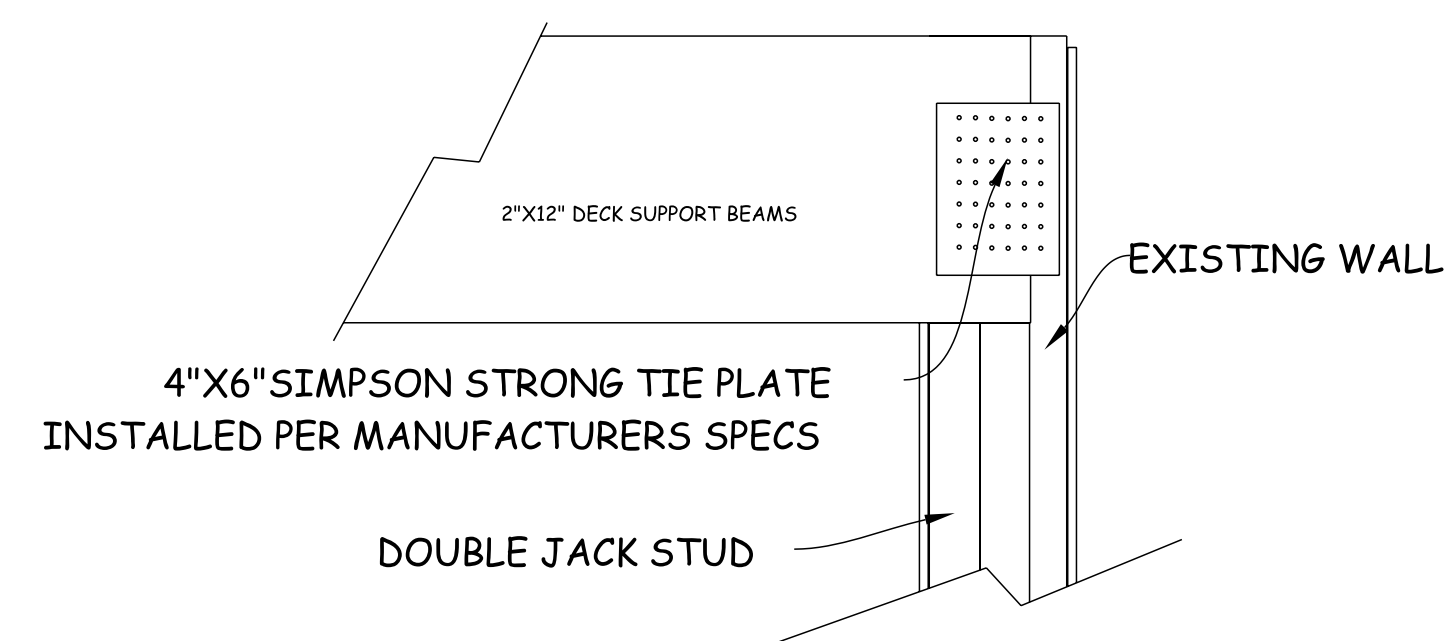
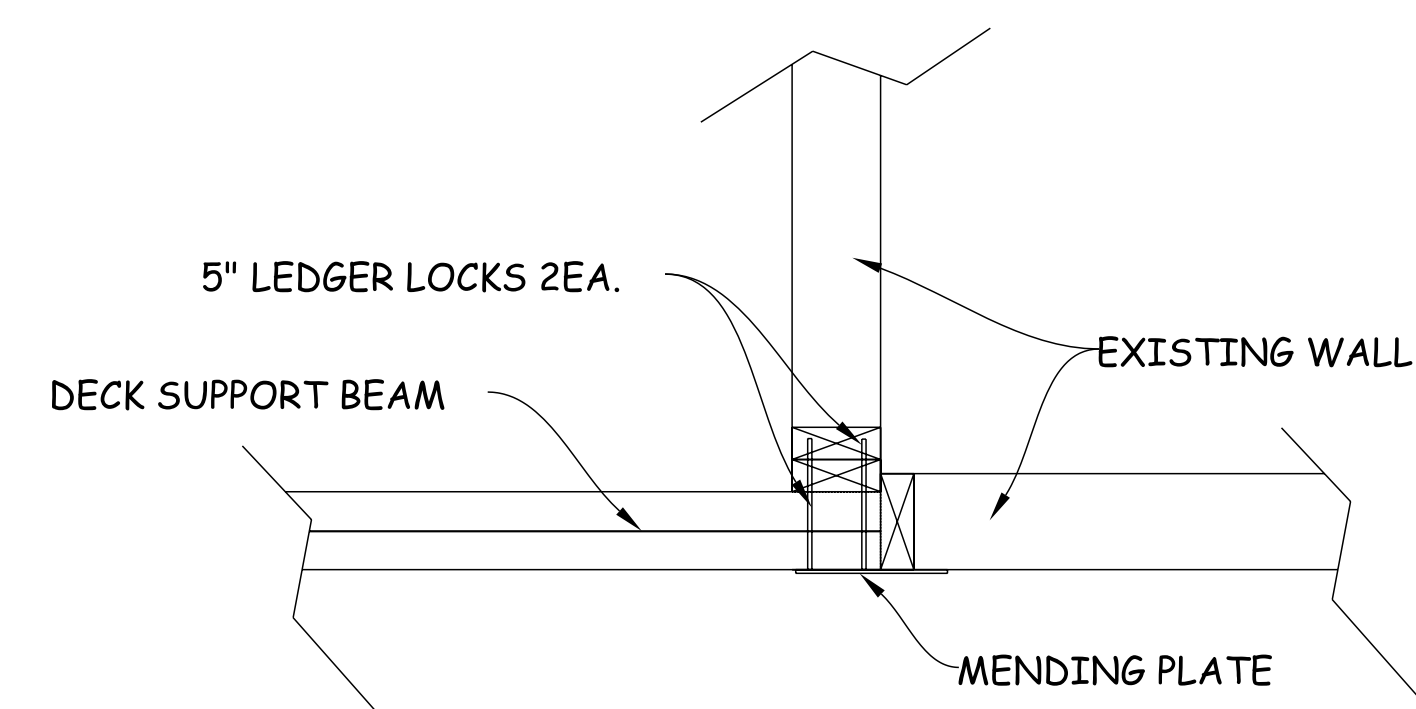
**BR**

4 / 5

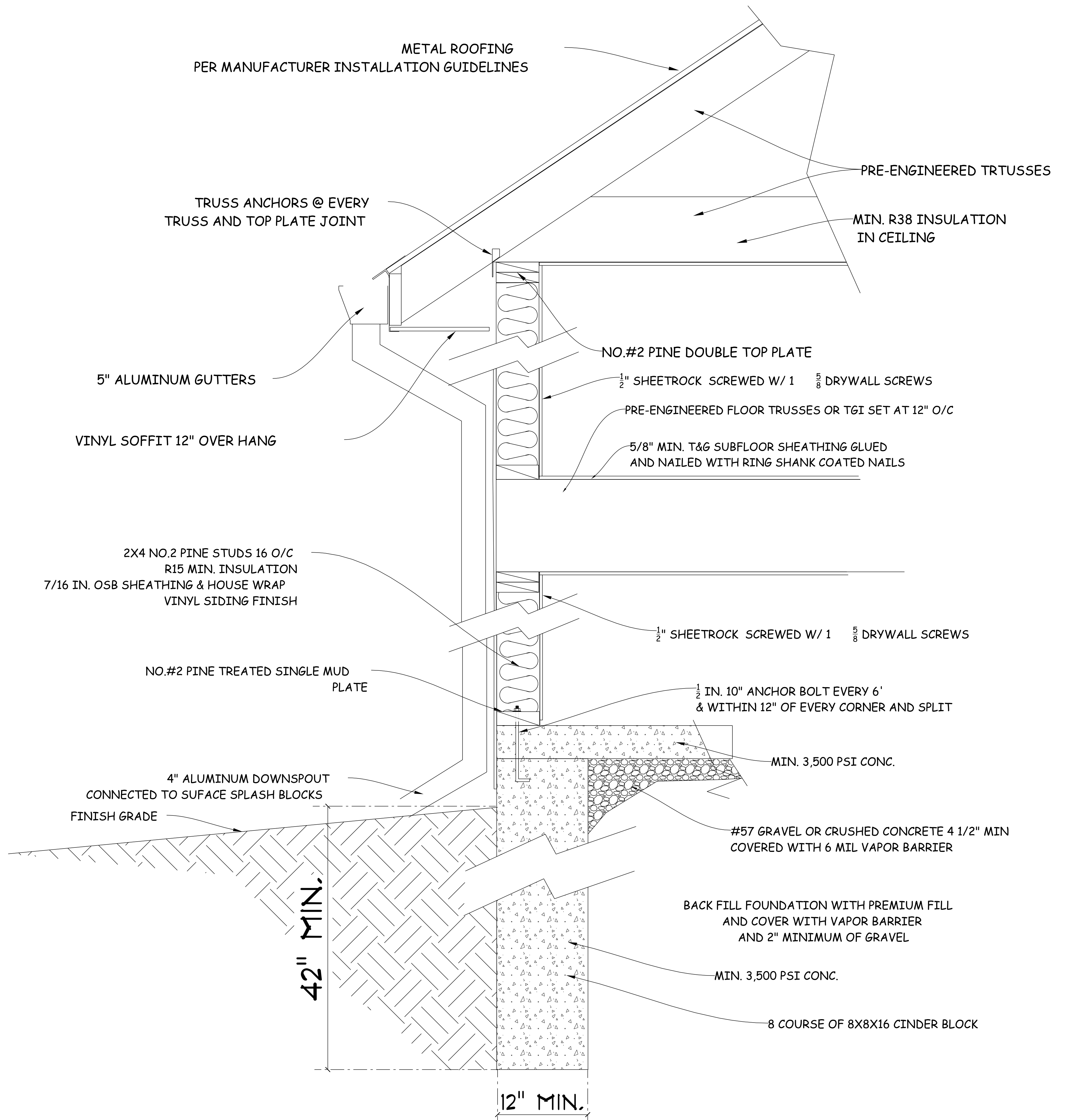
S-1



**FOUNDATION**  
SCALE: 1/4" = 1'-0"



**BEAM CONNECTION**  
SCALE: NOT TO SCALE



**WALL DETAIL**  
SCALE: NOT TO SCALE

BR DRAFTING & DESIGN LLC  
 104 SOUTH WHITE STREET SUITE #210  
 WAKE FOREST, NC 27587  
 OH 440-703-8010 / NC 919-635-9500  
 info@brddplans.com / brddplans.com

GARAGE ADDITION  
 1655 ROCBEVELT AVE  
 LAKEWOOD, OH

SCALE: As Noted  
 DRAWN BY: BENJAMIN ROGERS  
 DATE: Thursday, April 17, 2025

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5 / 5  
 S-2



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P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 06-48-25

Permit No.: BBS25-000044

Applicant Name: Daniel Rothstein, Northlake Ridgewood LLC

Project Address: 13345 Madison Ave.

Project Name: Commercial Building

Project: Applicant proposes a mural on the west side of the building.

Handwritten signature in blue ink, appearing to read "K. J. [unclear]".



MTN 94 is probably the most versatile aerosol on the market. Thanks to an extensive color range, quick-drying ability, and low pressure, it is a suitable tool for practically any type of creative work that requires a matte finish.

It has never before been so easy to paint with aerosol. Its low pressure and smooth valve system make MTN 94 an extremely easy aerosol paint to handle. Its ability to dry quickly prevents drips and also allows for almost immediate repainting. However, one of the most important aspects of the 94 range is its wide array of high-opacity colors. The ample selection will make it easy for you to find the optimal tone to suit your needs.

Modified alkyd; oil based synthetic enamel

**COLOR SWATCHES ARE ALL TAKEN DIRECTLY FROM MTN. THEY ARE APPROXIMATE AND CAN LOOK DIFFERENTLY BASED ON SCREEN RESOLUTION. THESE WILL NOT BE PERFECT MATCHES.**



### About This Product

The BEHR Masonry, Stucco and Brick Paint is a high-quality, satin acrylic latex paint with a 20-year customer satisfaction guarantee. This interior/exterior, self-priming, alkali and mildew resistant finish also provides excellent adhesion, coverage and water repellency and color retention. Ideal for use on properly prepared interior or exterior vertical surfaces such as stucco, masonry, concrete, concrete block and brick as well as adjacent wood and metal.

### Highlights

- Excellent hide, coverage, adhesion and water repellency
- Durable satin finish
- Alkali and mildew resistant finish (ideal for new or weathered stucco)
- 250 sq. ft. - 400 sq. ft. of coverage per gallon
- Easy clean up with soap and water
- Self-priming, acrylic latex paint
- Actual paint colors may vary from on-screen and printer representations
- Online Price includes a PaintCare fee in the following states: CA, CO, CT, DC, ME, MN, NY, OR, RI, VT, WA
- Click here to learn more about [Eco Options and Clean Air](#)
- [Click here to find matching caulk to complete your project](#)
- California residents see Prop 65 WARNINGS



Through sun  
and rain, you'll  
bloom all the  
same



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Application Cover Page

Docket No.: 06-49-25

Permit No.: BBS25-000047

Applicant Name: Michael Daso, Daso Properties

Project Address: 16024 Madison Ave.

Project Name: Neighborhood Pediatrics LLC

Project: Applicant proposes exterior renovations.

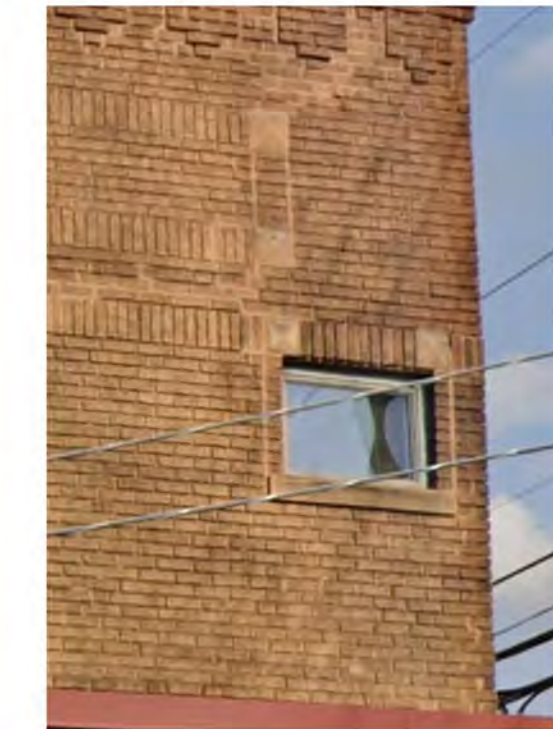
3/2 case



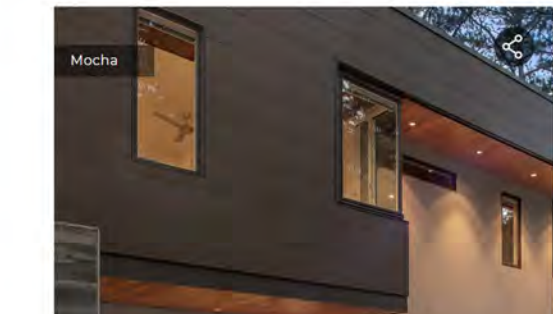
1 SOUTH ELEVATION- MADISON AVENUE  
SCALE: 3/16" = 1'-0"



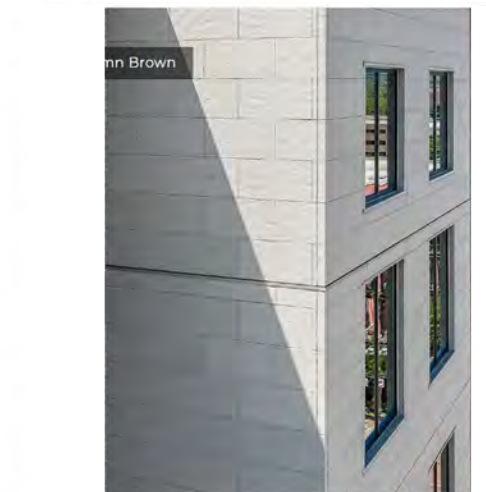
2 WEST ELEVATION - NORTHLAND AVE  
SCALE: 3/16" = 1'-0"



Existing Brick



DARK BROWN/ BRONZE COMPOSITE PANEL  
Nichiha Architectural Block Modern Series - Mocha



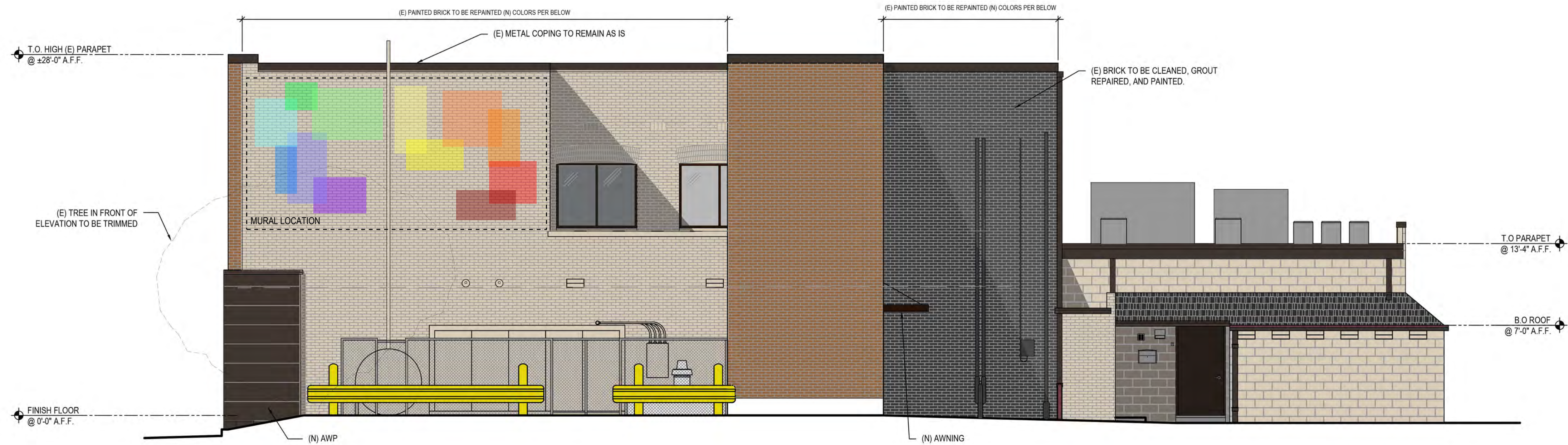
FAUX STONE COMPOSITE PANEL  
Nichiha Architectural Block Modern Series - Autumn Brown



PROPOSED SCONCE  
Luminis Syrios SY302 - Steel Gray

REVISIONS	
#	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PRELIMINARY EXTERIOR ELEVATIONS  
DATE 4/29/25  
JOB NO. 24472  
**EL-1**  
SHEET NO.



1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

REVISIONS

#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY  
EXTERIOR  
ELEVATIONS

DATE 4/29/25

JOB NO. 24472

**EL-2**

SHEET NO.



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Application Cover Page

Docket No.: 06-51-25

Permit No.: BBS25-000050

Applicant Name: Lee Pozek, Architect

Project Address: 1070 Rosalie Ave.

Project Name: n/a

Project: Applicant proposes the construction of an addition and attached garage on the north side of an existing residence.

To Whom it may concern,

5/20/2025

Please note that my wife, Yang Lu Alexander and I own the property located at 1070 Rosalie Ave in Lakewood, OH. We authorize Mr. Lee Poze K, Architect to submit/Present documents on our behalf for this project in the city of Lakewood, OH.

Thank you very much for your consideration.

Sincerely,

Michael Alexander

Michael B. Alexander

OWNER

1070 Rosalie Ave.

Lakewood, OH 44107

Lee Pozak

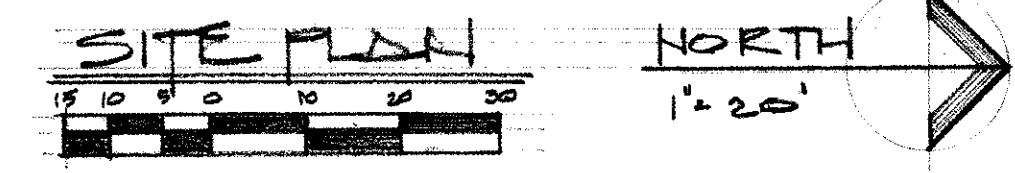
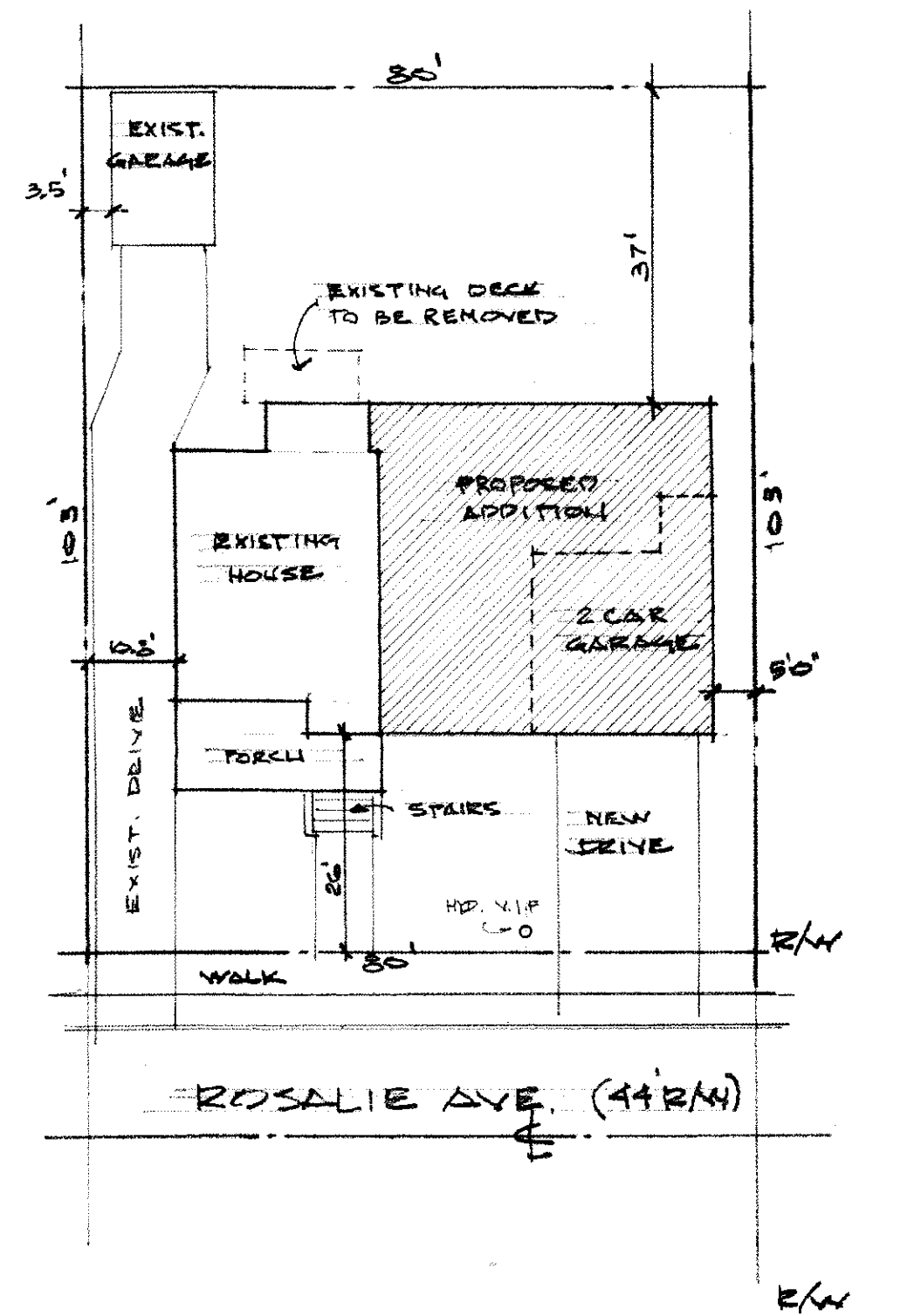
**GENERAL NOTES:**

- All work to conform to local codes, building code, and codified ordinances of the village / city with jurisdiction.
- Contractor is responsible for obtaining all required permits and scheduling following inspections.
- Contractor to review the existing conditions and accept them as base bid. Review with the owners area of work; route of access; material storage location; limits of disruption and replacement of landscaping.
- Contractor to submit proposed schedule for start and completion of this project with his bid to the owner. Review hours of work, length of services interruption and areas of construction equipment storage.
- Contractor to remove all debris from site at completion of job and dispose of property as required.
- All work to be completed in craftsmanlike manner using new first quality materials installed with the manufacturer's specifications. Contractor to provide all required fasteners, couplings, connectors to complete project in proper manner.
- Contractor to notify architect of any change, error or newly discovered condition which conflict with the design. The architect will review and offer a solution, any work under taken without the architect's approval will be the sole responsibility of the contractor and done at his risk and expense.
- Contractor will select method of construction and assumes all risks in bracing, shoring, blocking and fencing to keep construction area and the existing site safe during construction.
- Contractor to review with the owners the selection of finish materials. The installation of all finishes requires the installer to fully review and accept the base materials and structure as adequate prior to finish installation. The performance of the selected finishes is solely the installer's responsibility.

MEC / PERSCRIPTIVE METHOD

CLIMATE ZONE 13  
 GLAZING U 0.35 MAX  
 CEILING R-3.5 MIN  
 WALLS R-13 MIN  
 BASEMENT R-10 MIN

HOUSE DATA	EXST.	ADDITION
BASEMENT	720 SF	990 SF
FIRST FLOOR	824 SF	990 SF
SECOND FLOOR	792 SF	-
GARAGE	-	500 SF



INFORMATION TAKE FROM SURVEY SUPPLIED BY OWN. ASSUMED CORRECT. CONTRACTOR TO VERIFY IN FIELD PRIOR TO START OF CONSTRUCTION.

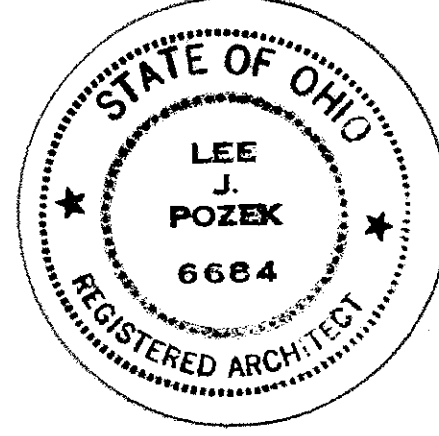
DRAWING INDEX

- 1 TITLE SHEET SITE PLAN
- 2 EAST ELEVATION
- 3 NORTH ELEVATION
- 4 WEST ELEVATION CROSS SECTION
- 5 FOUNDATION PLAN
- 6 FLOOR PLAN
- 7 SECTIONS DETAIL
- 8 MECHANICAL PLANS

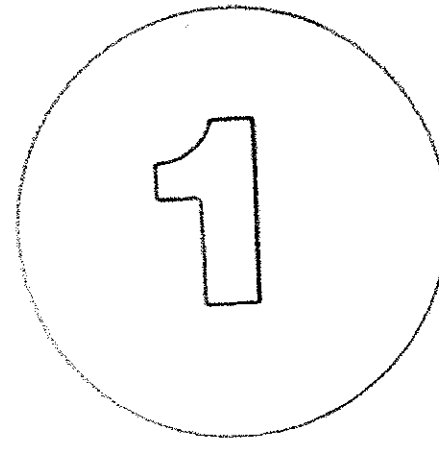
LEE. J. POZEK ARCHITECT  
 5222 Coldbrook Drive  
 Mantua, Ohio 44255  
 330-274-2889

PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKENOOD, OHIO

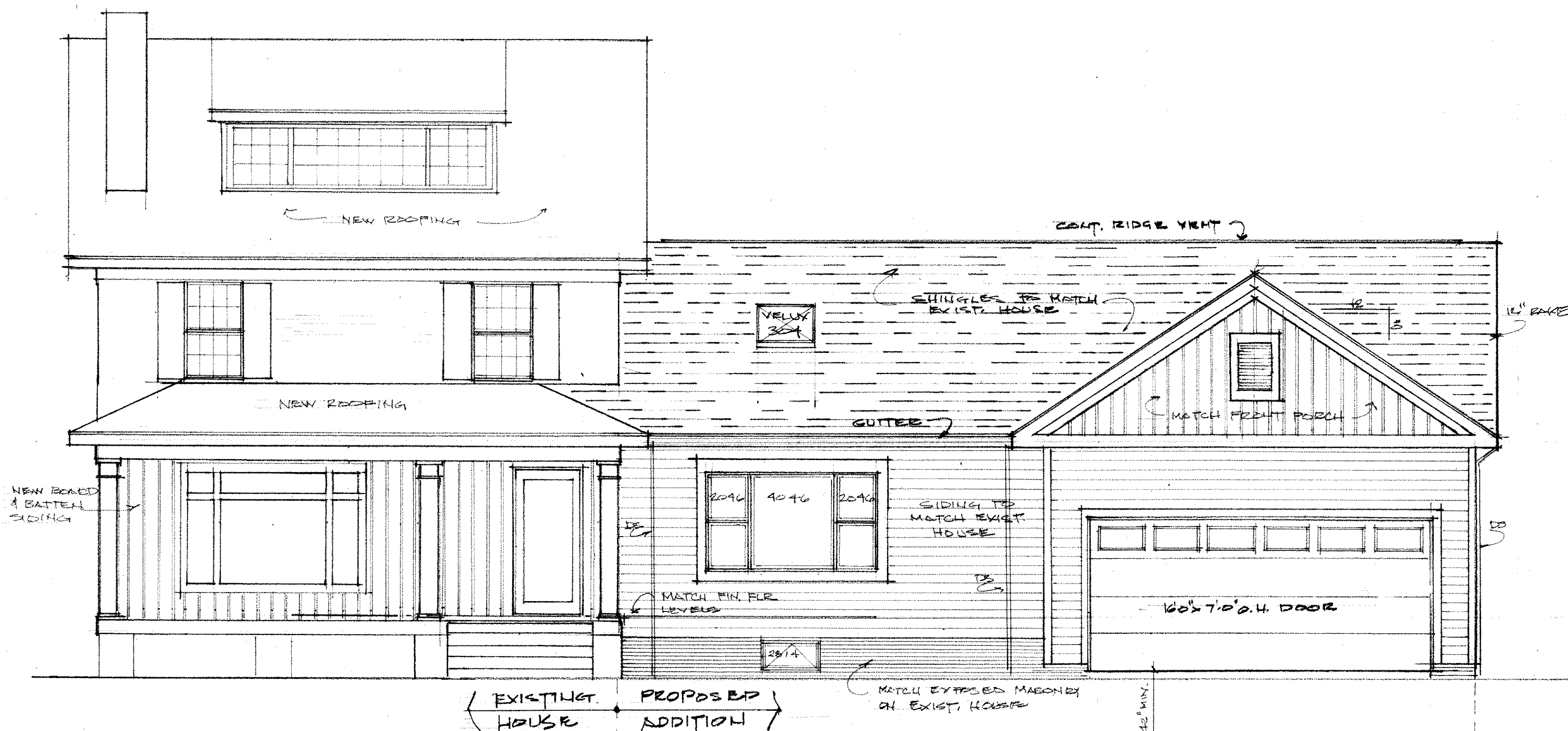
5-18-25 423



25002



PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKewood, OHIO

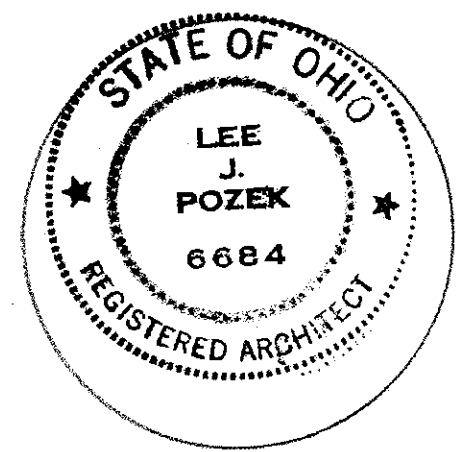


**EAST ELEVATION**  
 SCALE 1/4"=1'-0"

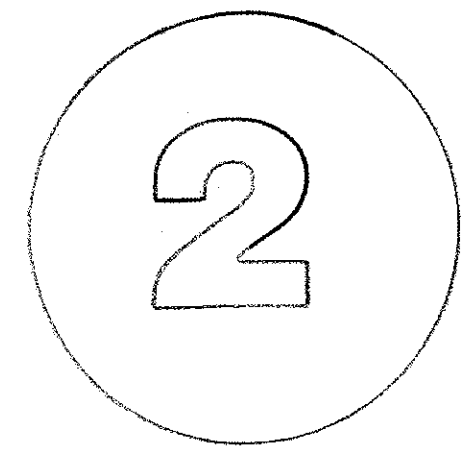
**COLOR SCHEDULE**

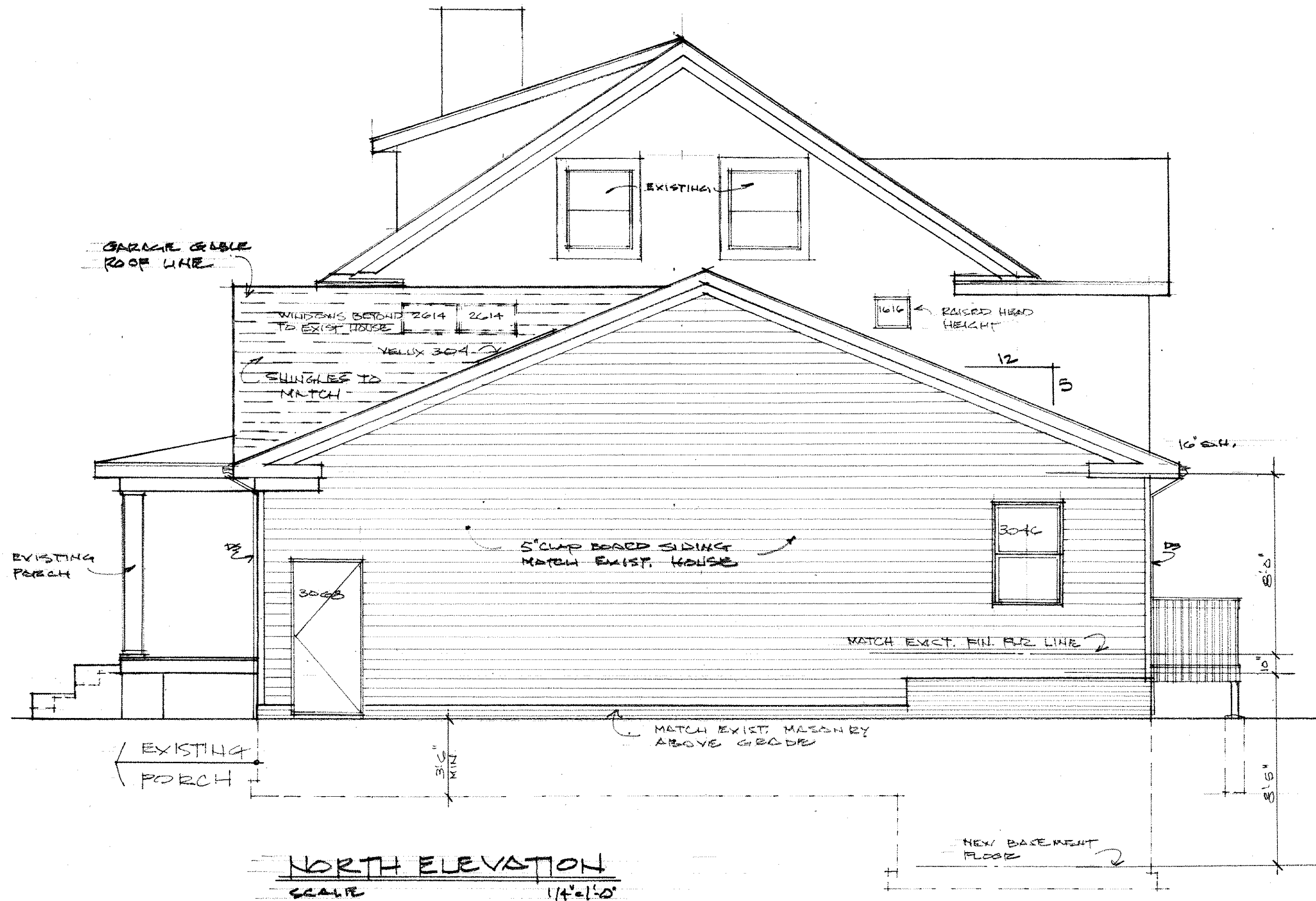
BRICK	RED - MATCH EXIST.
SIDING	5" CLAP BOARD OXFORD BLUE
ACCENT SIDING	7" BOARD & BATTEN DEEP MINERAL
WINDOWS	PACIFIC BLUE
TRIM	PACIFIC BLUE
GUTTER & DS	PACIFIC BLUE
ROOFING	CARBON HOUSE

S-18-25 ABB



23002



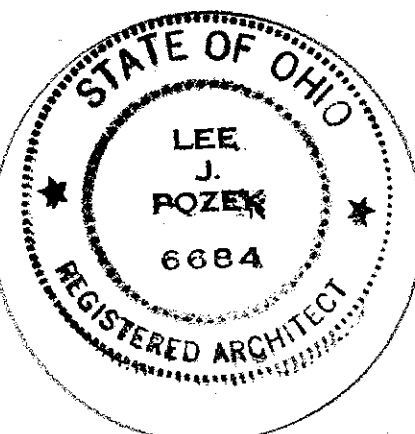


**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

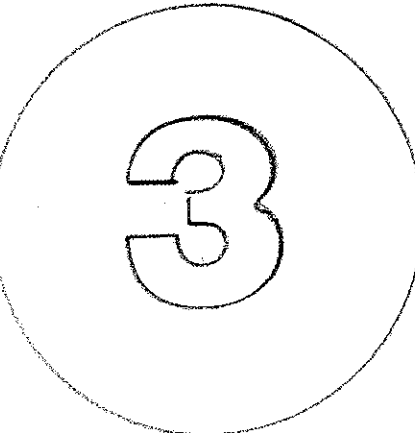
LEE J. POZEK ARCHITECT  
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330-274-2889

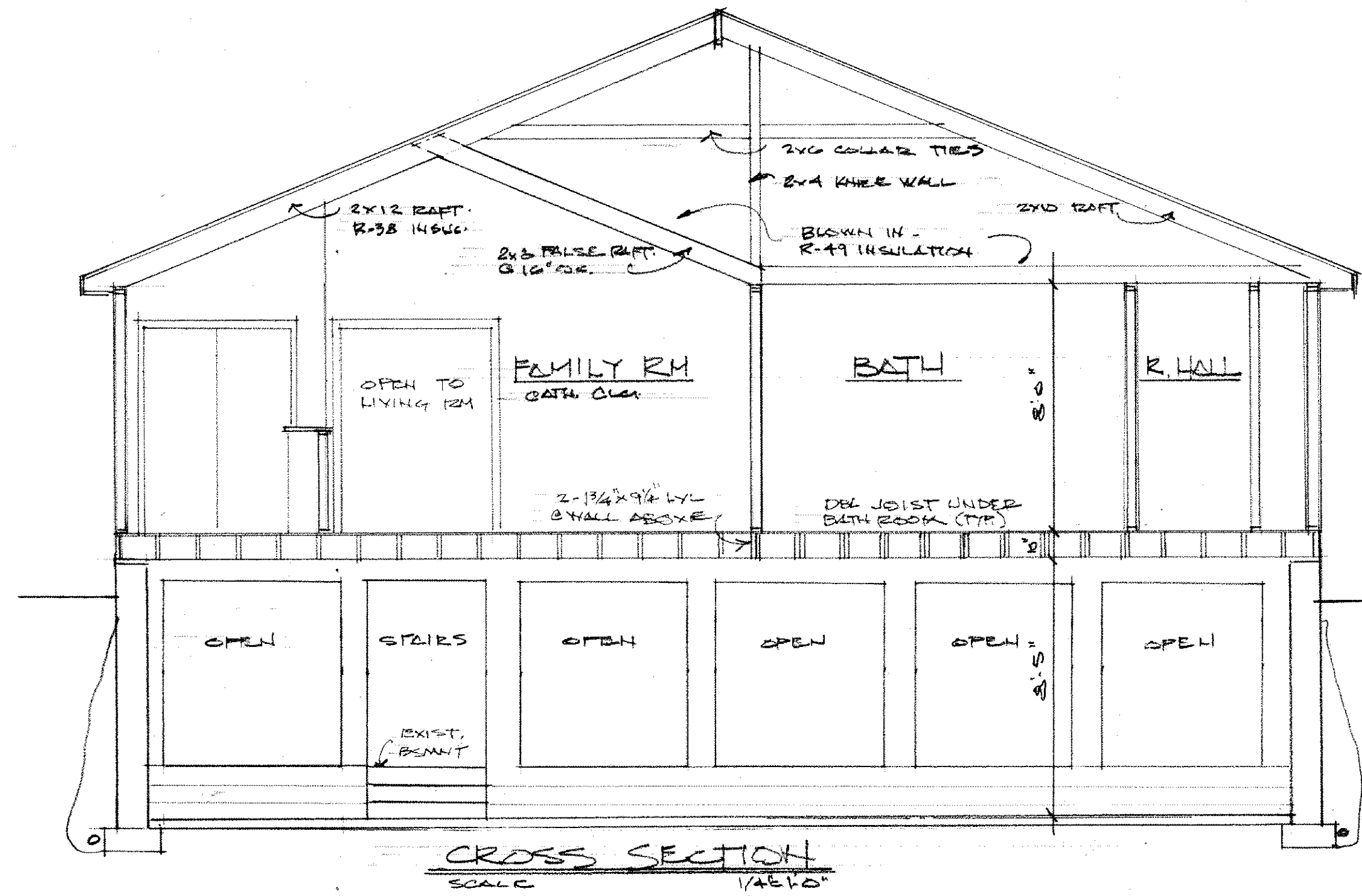
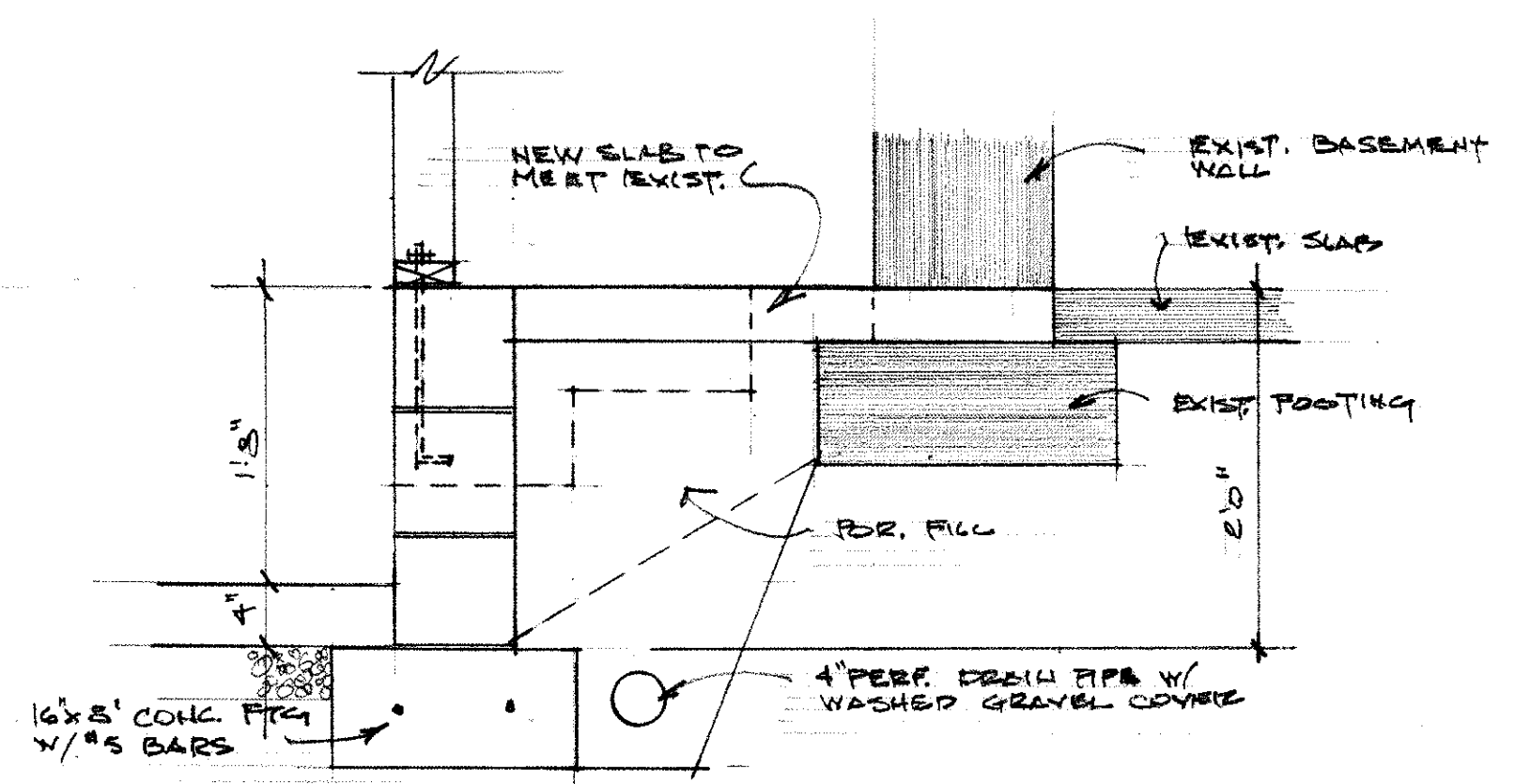
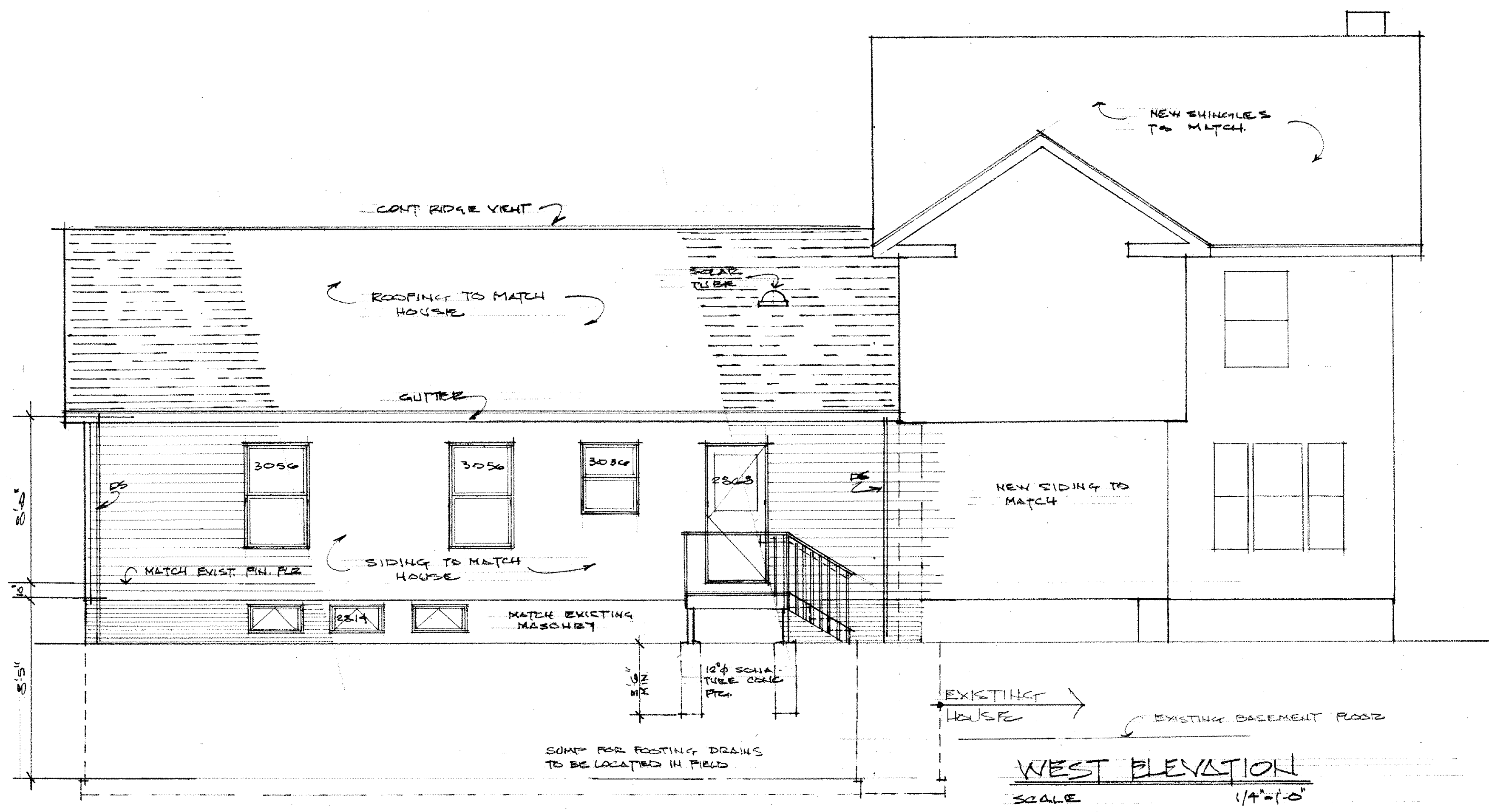
PROPOSED ADDITION  
ALEXANDER FAMILY  
1070 ROSALIE AVE  
LAKEWOOD, OHIO

5-18-25 AEB



25002



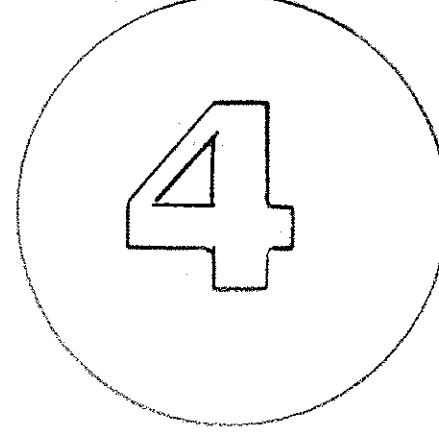


PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

5-18-25 ARB



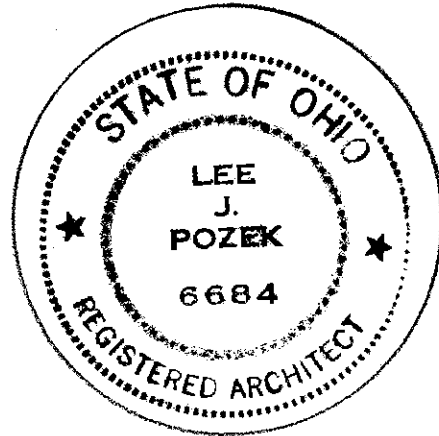
25002



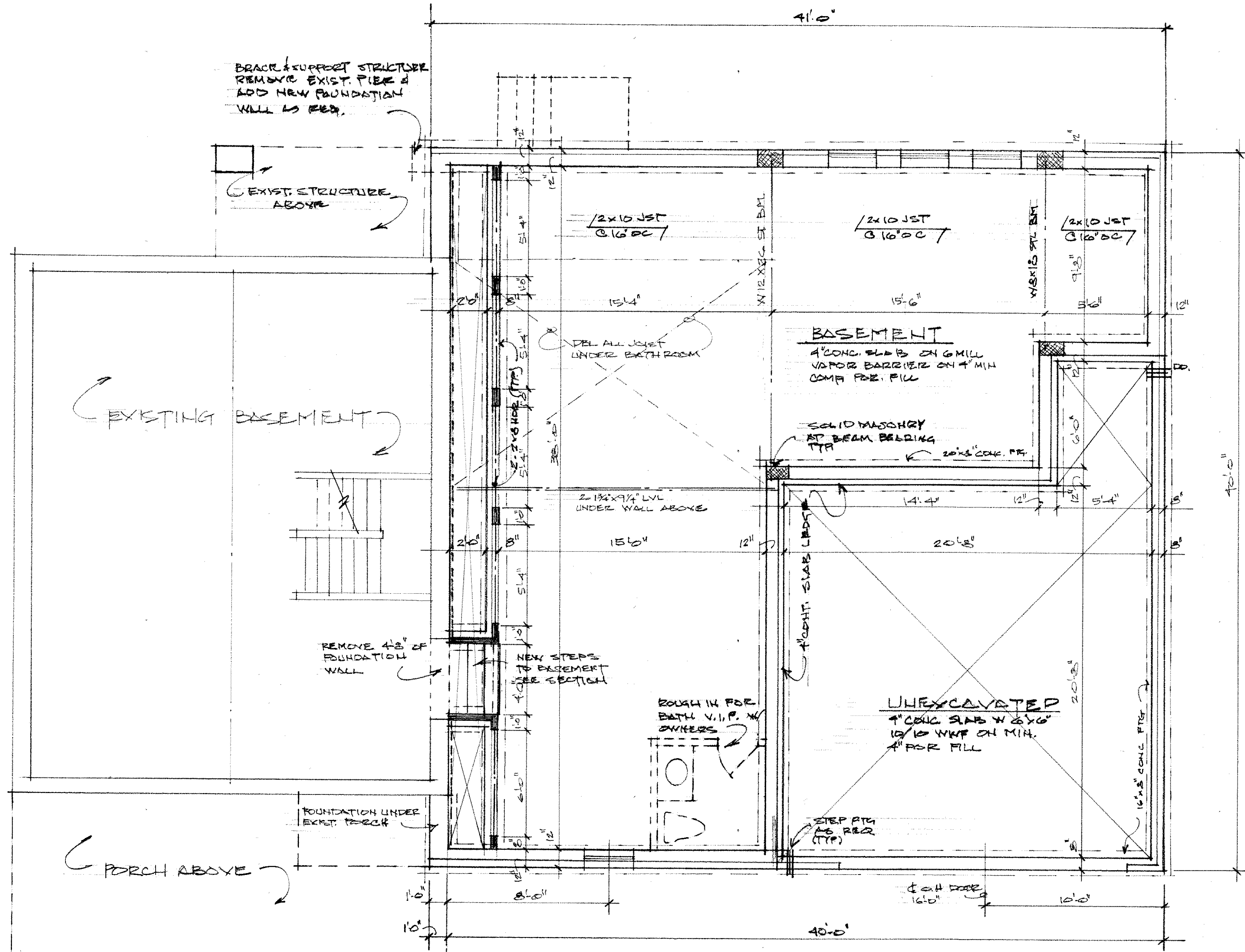
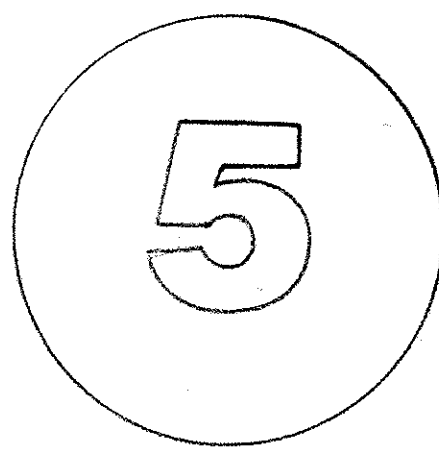
— NEW CONSTRUCTION  
 — EXISTING TO REMAIN

PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

5-18-25 ARB



25002



BRACE & SUPPORT STRUCTURE  
 REMOVE EXIST. PIER &  
 ADD NEW FOUNDATION  
 WALL AS REQ.

EXIST. STRUCTURE  
 ABOVE

EXISTING BASEMENT

REMOVE 4'-0" OF  
 FOUNDATION  
 WALL

NEW STEPS  
 TO BASEMENT  
 SEE SECTION

ROUGH IN FOR  
 BATH V.I.P. W/  
 OWNERS

FOUNDATION UNDER  
 EXIST. PORCH

PORCH ABOVE

FOUNDATION PLAN  
 SCALE 1/4" = 1'-0"

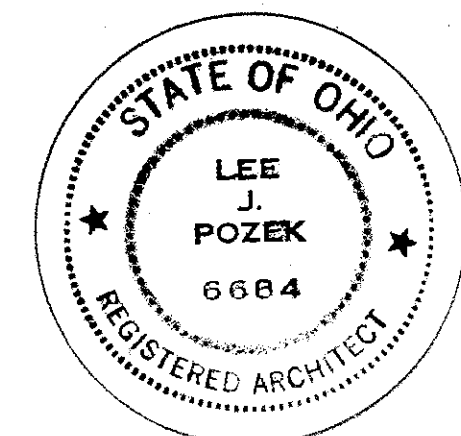
PLUMBING NOTE  
 VERIFY W/ OWNER LOCATION OF  
 SUMP PUMP FOR FOOTING DRAINS  
 PER 1012 TO INSTALLATION.

FOUNDATION NOTES:  
 Foundation design assumes minimum 2500# PSF soil  
 bearing capacity on stable ground. This to be  
 field verified by excavating contractor.  
 All steel beams to rest on solid masonry pockets.

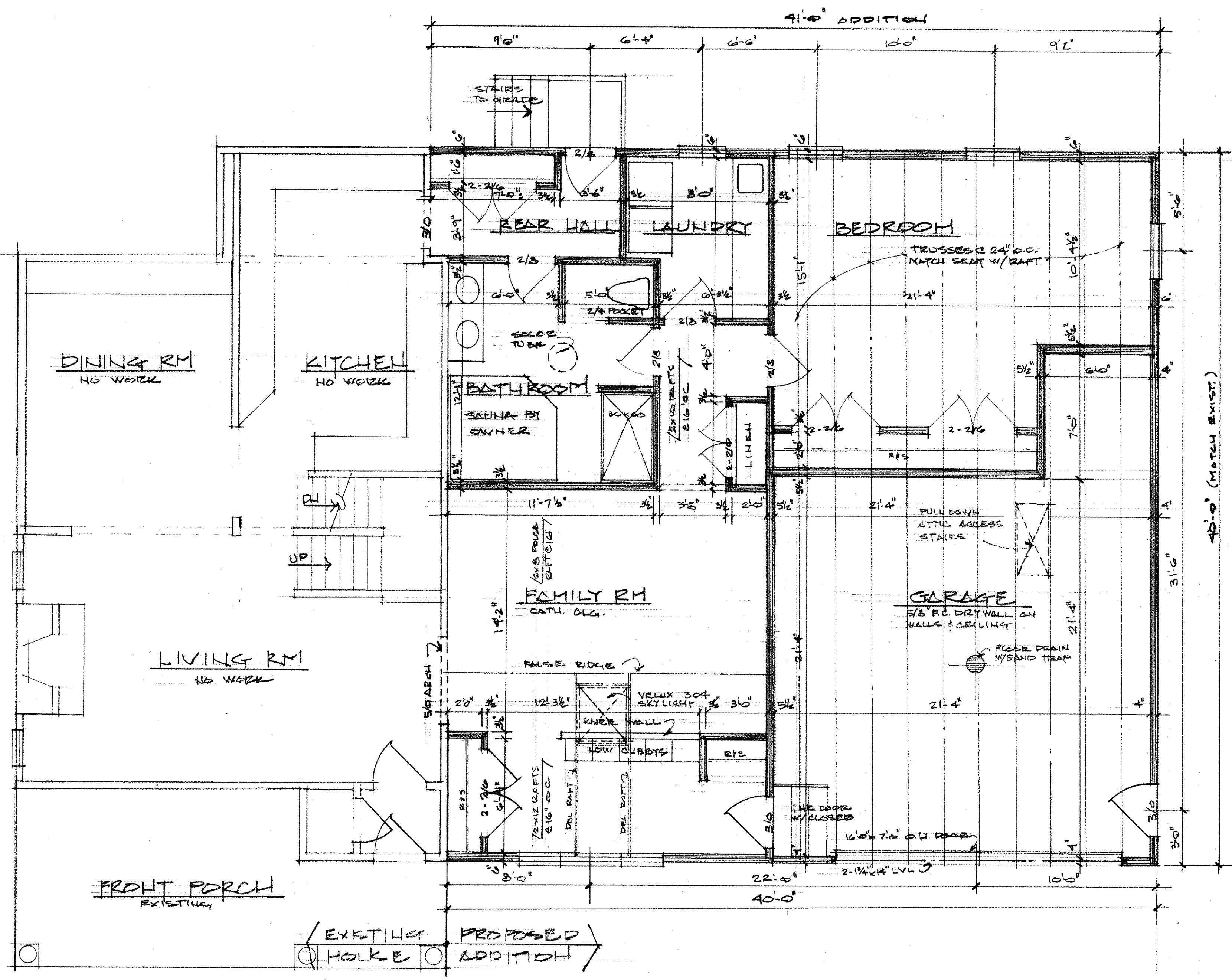
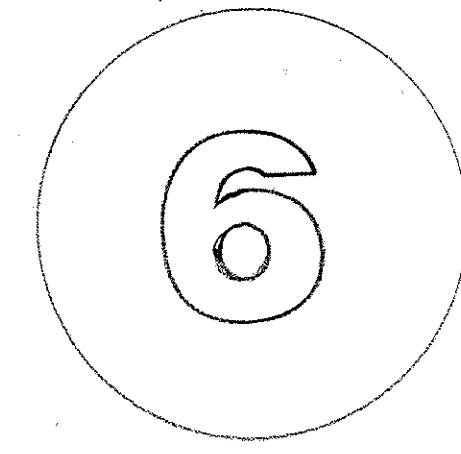
CONCRETE NOTES:  
 All concrete to be 4000 PSI in 28 days typical.  
 Control joints to be evenly spaced at a maximum 15' -0"  
 o. c. each way typical.  
 Air entrained 6% concrete for slabs exposed to weather.

PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

5-18-25 ARB  
 JAN 29, '25



25002



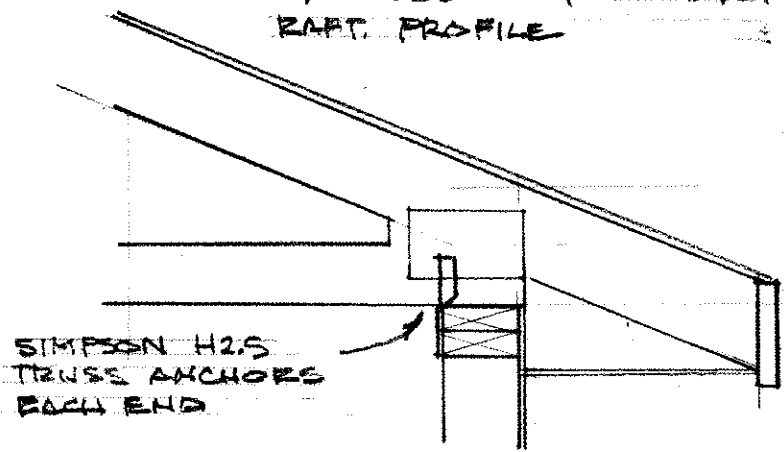
EXISTING FLOOR PLAN  
 SCALE 1/4" = 1'-0"  
 ———— EXISTING TO REMAIN  
 ===== NEW CONSTRUCTION

ADDITION PLAN  
 SCALE 1/4" = 1'-0"

FRAMING NOTES:  
 All framing material used for structural framing to be minimum Fb 1200 PSI, kiln dried and dimensionally stable.  
 All headers to be on edge with 1/2" plywood plate unless noted otherwise.  
 Double all joists under tubs, spas and parallel partitions and any area as noted.  
 Balloon frame all open walls over 8'-0" unless noted otherwise. 2 x 6 studs for any wall over 12' - 0"

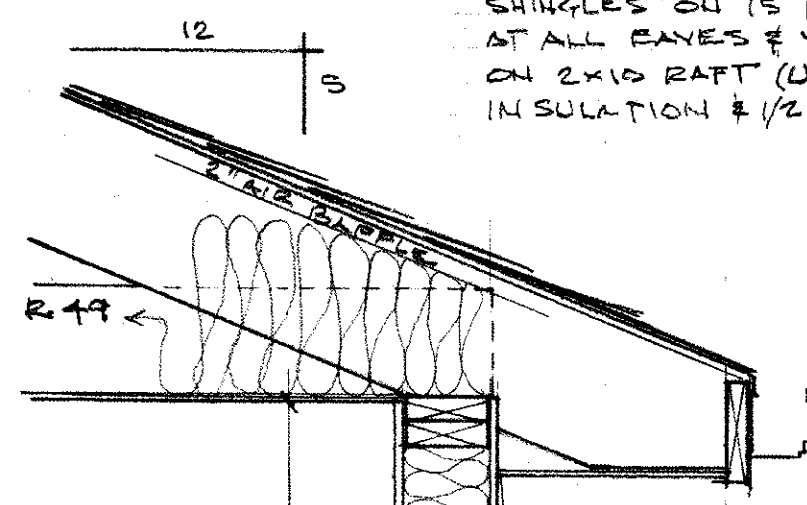
PROPOSED ADDITION FAMILY  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

NOTE:  
 PRE-ENGINEERED TRUSS  
 W/ RAISED SEAT TO MATCH  
 RAFT. PROFILE



TRUSS OPTION  
 SCALE 1"=1'-0"

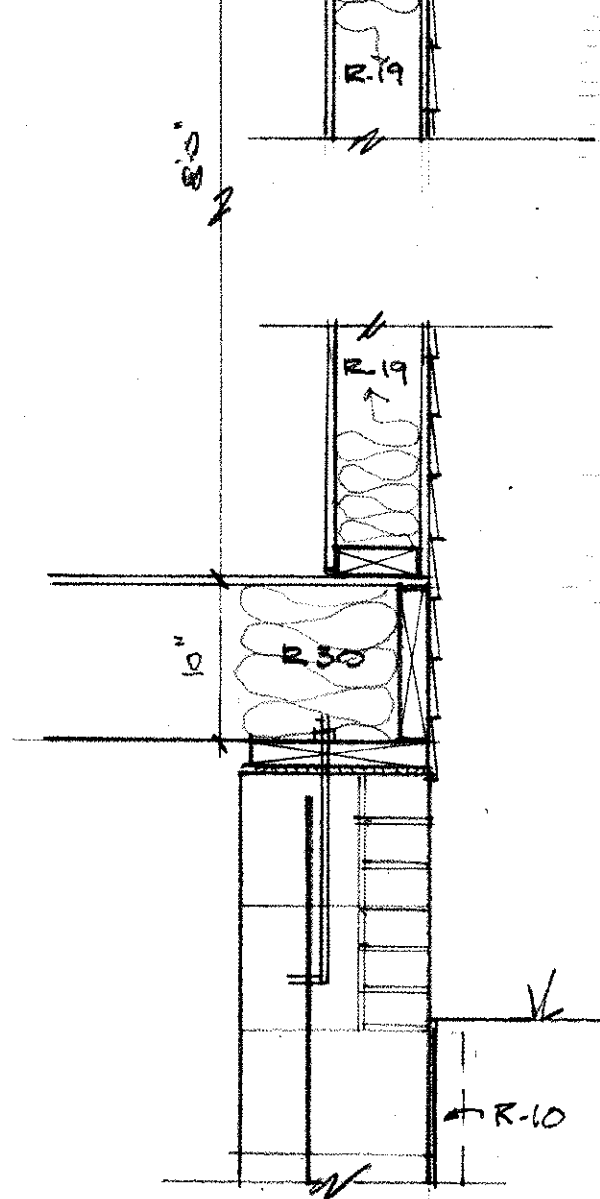
SHINGLES ON 15" FELTS - 36" ICE GUARD  
 AT ALL BAYES & VALLEYS - ON 1/2" OSB  
 ON 2x10 RAFT (LINO) W/ R-19 BLOWN  
 INSULATION & 1/2" D.W. CEILING



DRIP EDGE FLASHING ON  
 WRAPPED 2x6 FACIA W/  
 5" CONT. BLUM. GUTTER  
 AND VENTED SOFFIT  
 SYSTEM.

VINYL SIDING ON TYEK  
 WRAP ON 1/2" OSB ON 2x6  
 STUDS W/ R-19 INSULATION  
 1/2" DRYWALL

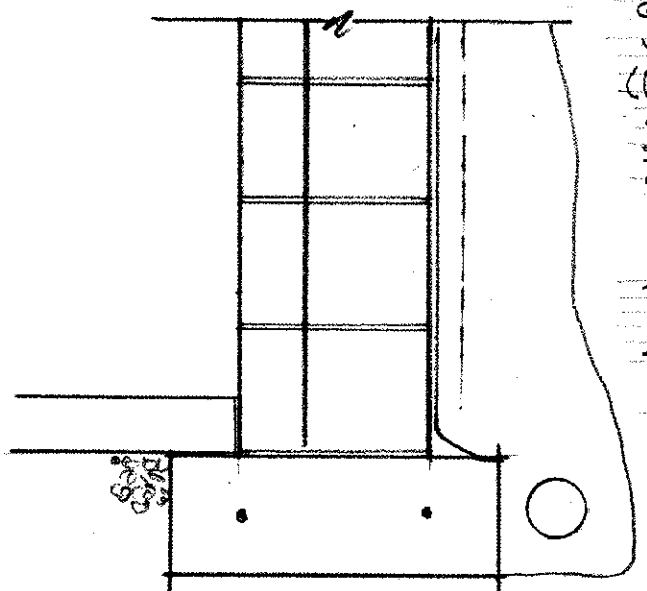
3/4" T&G STURDI FLOOR ON  
 2x10 JOIST W/ R-30 BOX END  
 INSULATION ON 2x12 MUD SILL  
 W/ 1/2" FLEX CELL 1/2" x 1/2"  
 A.B. C 6" OC MAX (2'-0" OFF  
 CORNERS)



FACE BRICK ABOVE GRADE  
 TO MATCH EXISTING BRICK

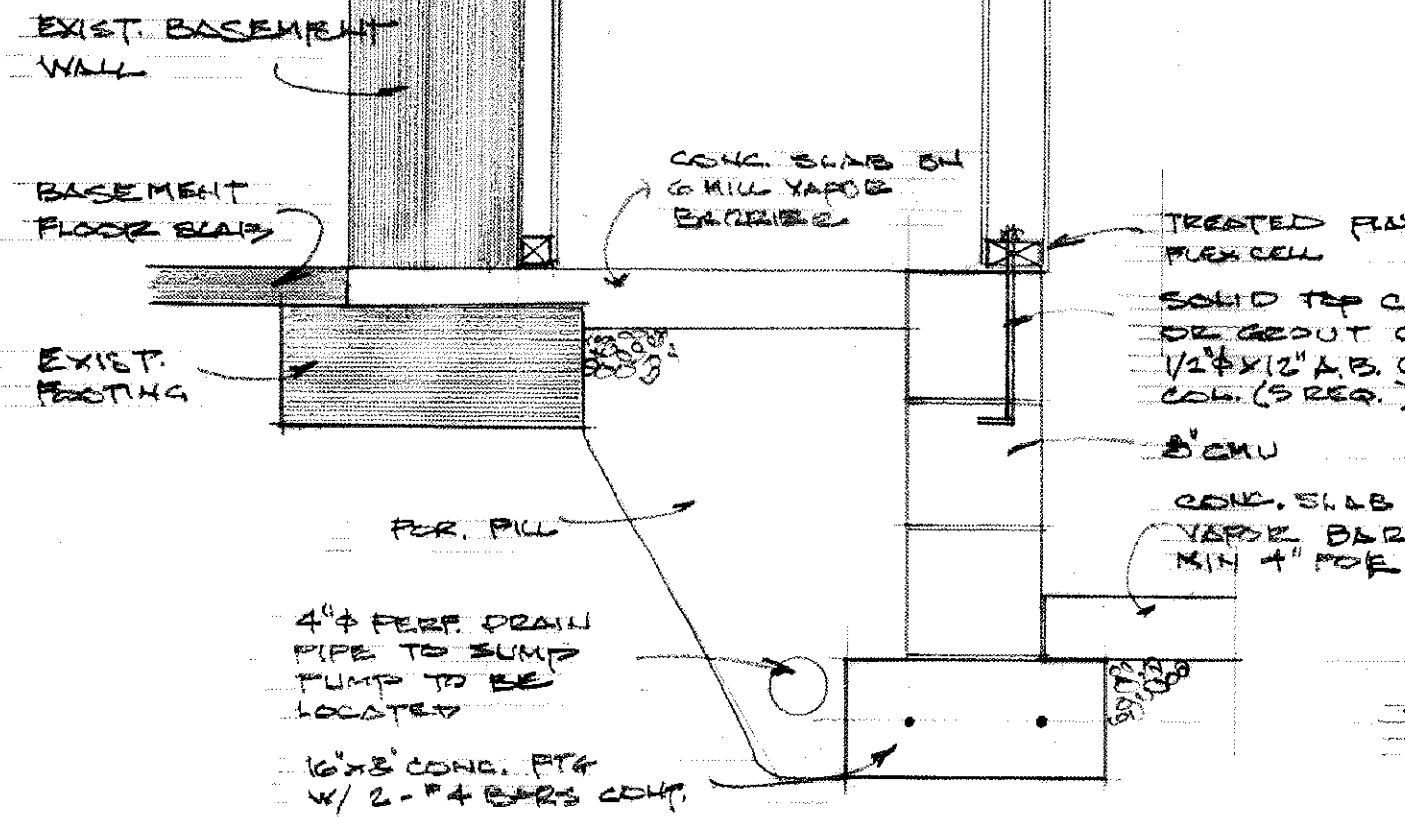
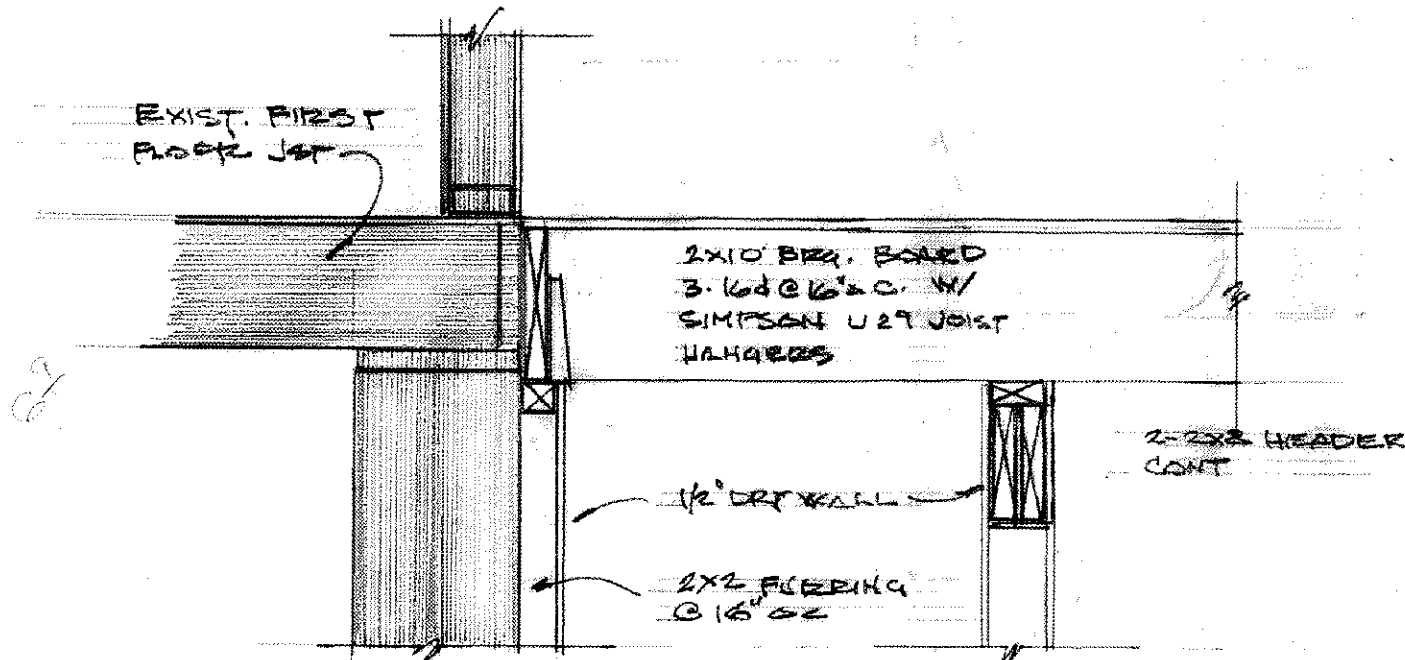
FINISH GRADE (TO REMAIN)

12" CMU W/ 4 VERT BARS @  
 6" OC GROUTED SOLID  
 W/ R-10 INSULATION M.I.H.  
 (INSULATING DRAIN BOARD  
 OR FOAM FILL CORES)  
 SPRAY ON WATER PROOFING  
 MEMBRANE

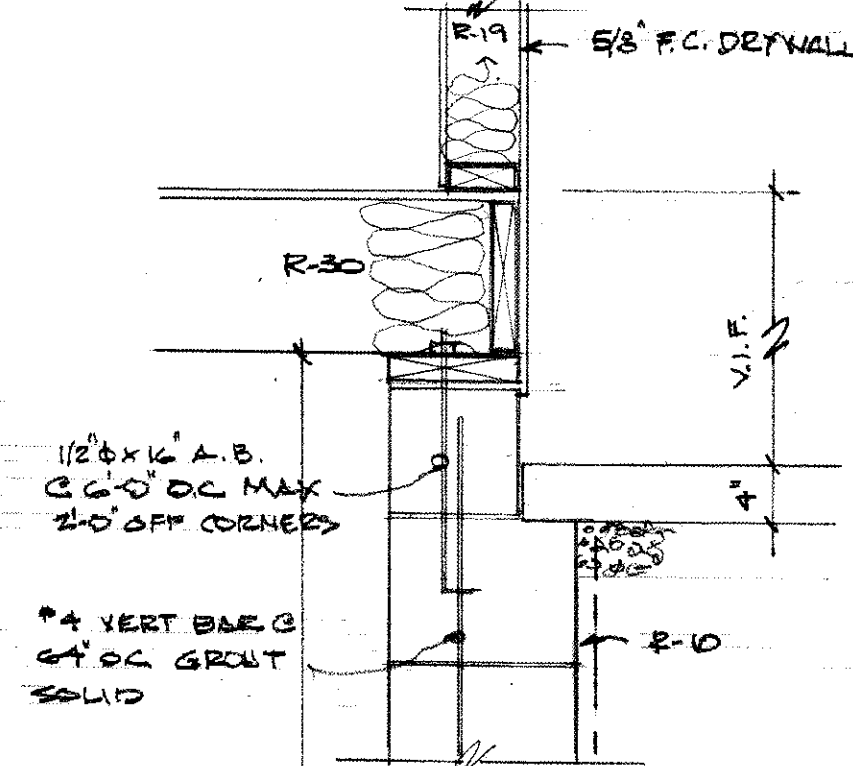


4" CONC. SLAB ON 6 MILL  
 VAPOR BARRIER ON MIN.  
 4" PER. FILL  
 20"x8" CONC. FTG. W/ 2 #4  
 BARS CONT.  
 4" PER. DRAIN PIPE TO  
 SUMP. WASHED GRAVEL  
 COVER TO 6" FIN. GRADE

TYPICAL WALL SECTION  
 SCALE 1"=1'-0"



BASEMENT STEP DOWN  
 SCALE 1"=1'-0"



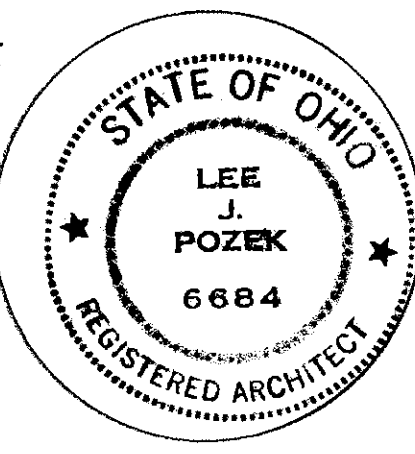
GARAGE WALL  
 SCALE 1"=1'-0"

INSULATING DRAIN  
 BOARD OR FOAM CORES  
 PROVIDE R-10 INSULATION  
 ON BASEMENT WALLS

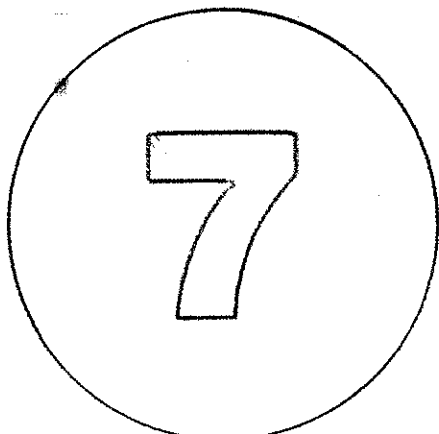
20"x8" CONC. FTG.  
 W/ 2 #4 BARS

4" PER. DRAIN PIPE  
 TO NEW SUMP

S-18-25 AEB

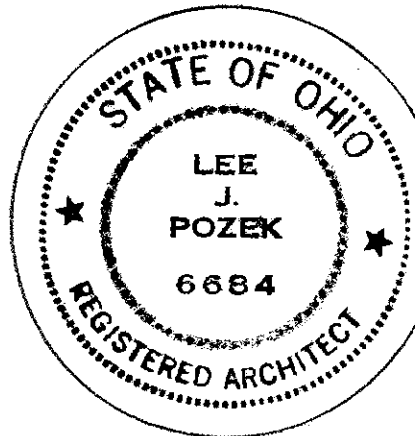


25002

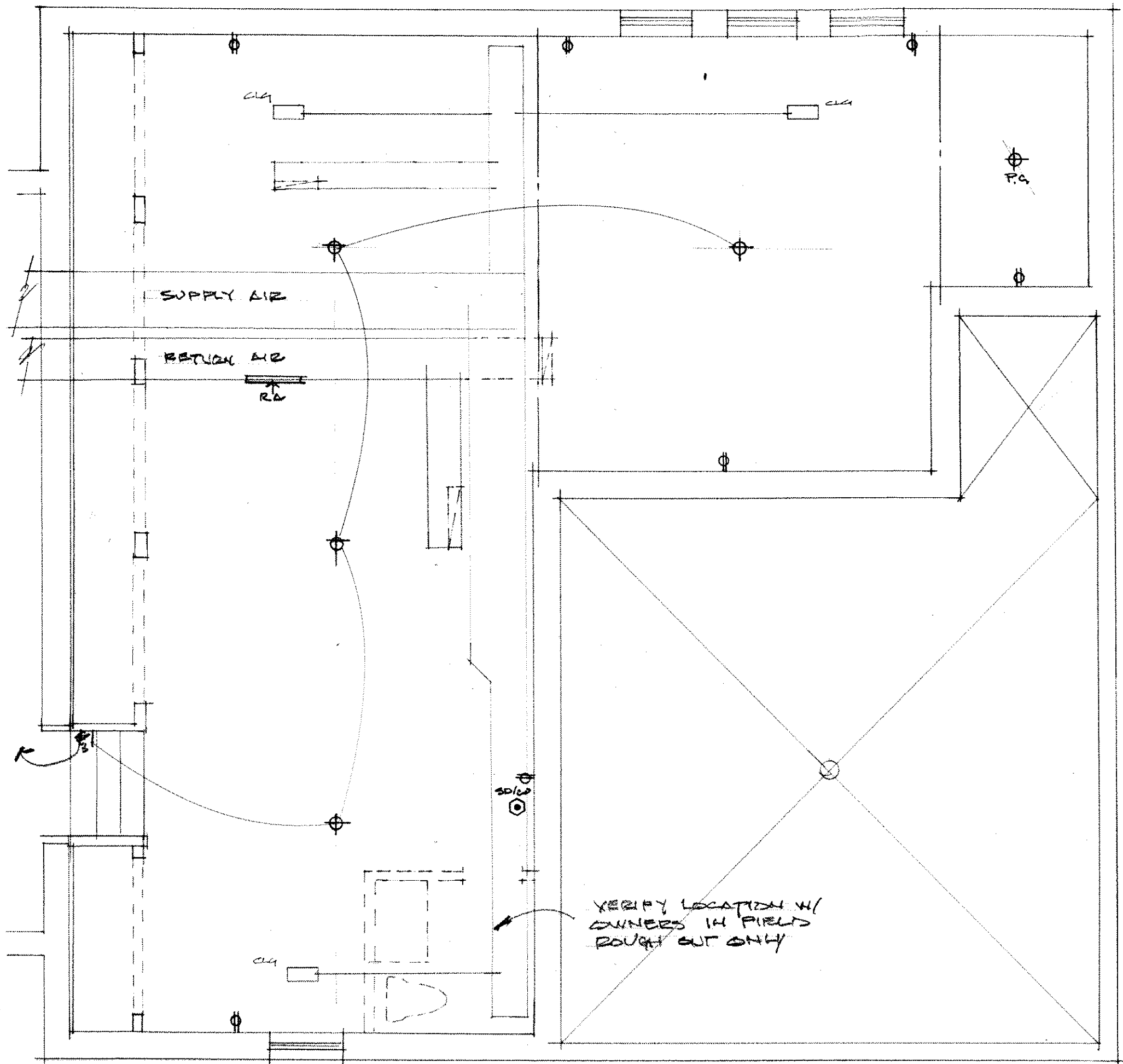
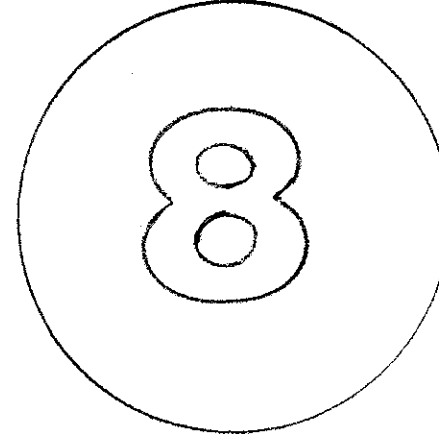


PROPOSED ADDITION  
 ALEXANDER FAMILY  
 1070 ROSALIE AVE  
 LAKEWOOD, OHIO

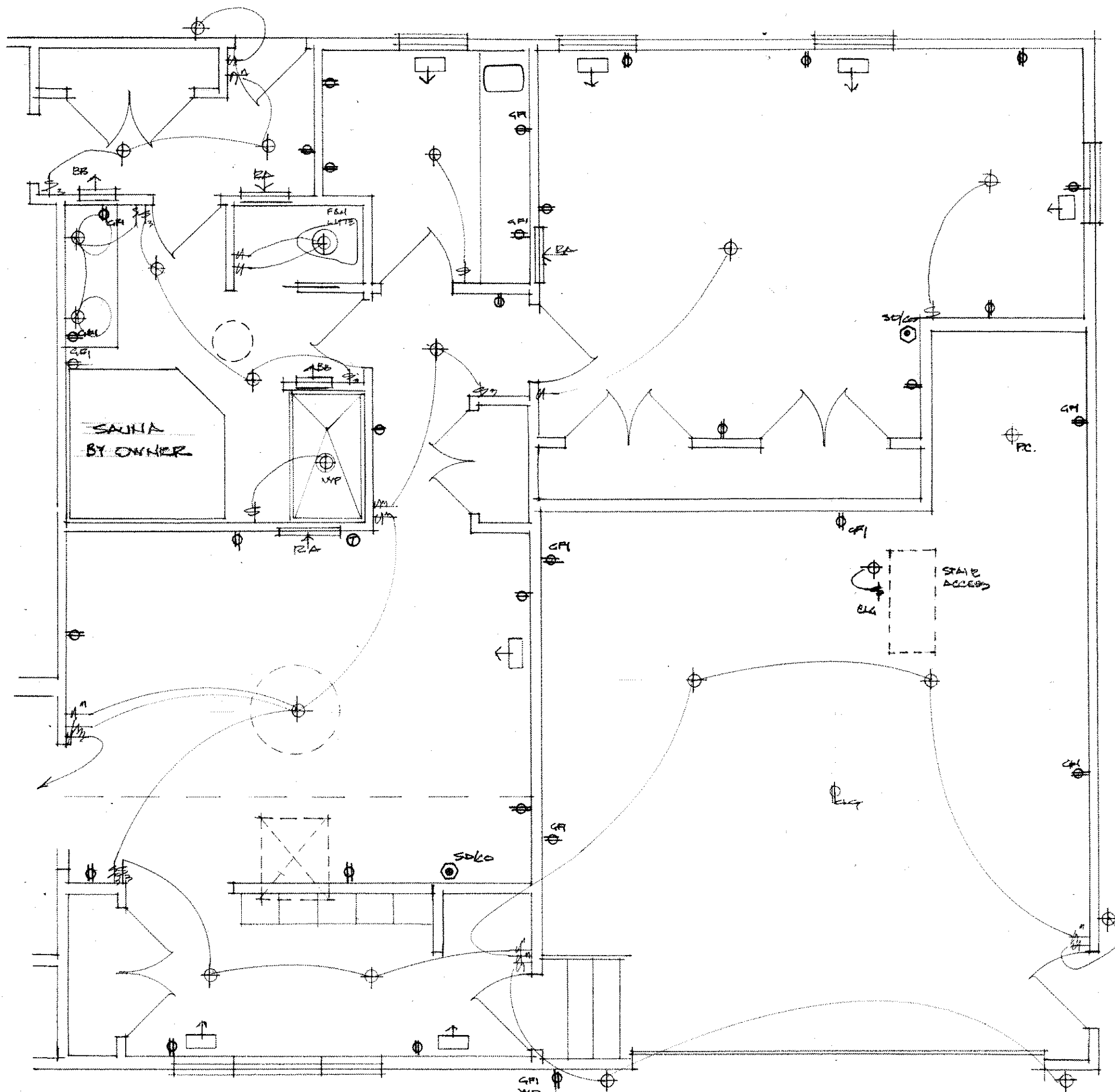
5-13-25 ARB



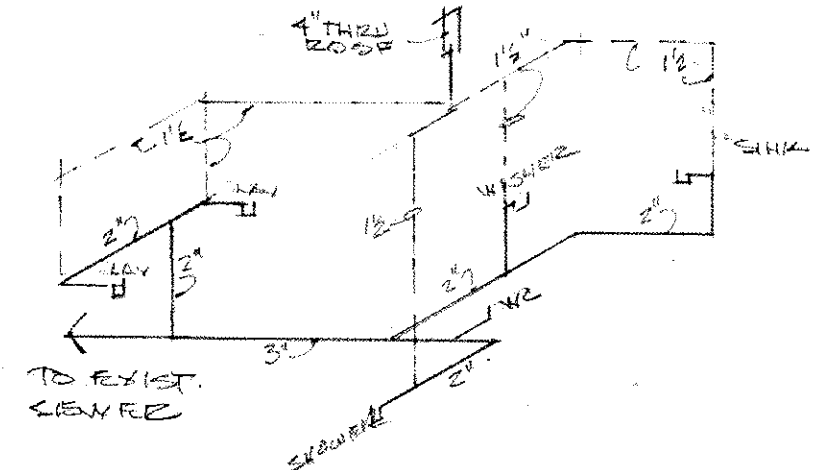
25002



**BASEMENT MECHANICALS**  
 SCALE 1/4" = 1'-0"



**FIRST FLOOR MECHANICAL**  
 SCALE 1/4" = 1'-0"



**PLUMBING IS.**  
 N.T.S.

- HVAC LEGEND**
- ↑ SUPPLY DIFFUSER 12"x3" THROAT W/ DAMPER
  - ↓ RETURN AIR GRILL (SIZES VARY)
  - ⊙ THERMO STAT - AUTO SET BACK
  - ⊙ SMOKE DETECTOR - CARBON MONOXIDE DETECTOR - HARD WIRED - INTERCONNECTED WITH BATTERY BACK UP.
  - CLG CEILING FIXTURE
  - BB BASE BOARD DIFFUSER
  - EF EXHAUST FAN - DUCTED DIRECT TO EXTERIOR

**NOTE:** EXTEND EXISTING DUCT WORK HVAC UNIT SIZED FOR THIS ADDITION.

- ELECTRICAL LEGEND**
- ⚡ SINGLE POLE SWITCH
  - ⚡ THREE WAY SWITCH
  - ⚡ DUPLEX OUTLET (ARCH FAULT PROTECTED)
  - ⚡ LIGHT FIXTURE OUTLET
  - GFI GROUND FAULT CIRCUIT INTERRUPTER
  - WP WEATHER PROTECTED

ALL WORK TO CONFORM TO NATIONAL ELECTRIC CODE AS REQ. CIRCUITS TO BE ARCH FAULT PROTECTED WHERE REQ. REVIEW FIXTURE LOCATIONS WITH OWNER PRIOR TO PULLING WIRE.  
 REVIEW EXISTING SERVICE & USE SPACES AS NEEDED. UP GRADE SERVICE IF REQ. FIELD VERIFY AT BASE BLD. INSTALL SUB-PANEL IF REQ. N.Y.F.



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Sign Review Board

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planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 07-53-25

Permit No.: BBS25-000057

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 18206 Detroit Ave.

Project Name: Oscar's Pizza

Project: Applicant proposes an illuminated double-sided blade sign.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, stylized "S" and "F".

Steve Foster

*The Sign & Graphics Firm*

(216) 390-0198



As far as

**BEFORE**

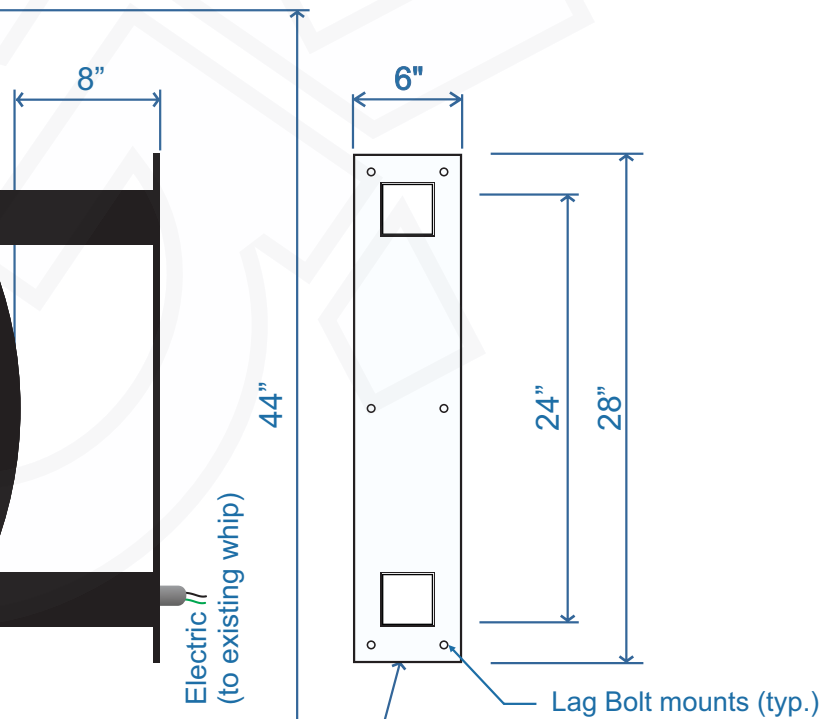


**PROPOSED**



Double-sided Blade Sign  
(LED-illuminated)

Black aluminum cabinet,  
polycarb / translucent vinyl faces,  
bright white LEDs



Painted 3" welded alum. tube,  
frame, 1/2" mounting plate,  
1/4" tapcon fasteners

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

**SGF**  
THE SIGN & GRAPHICS FIRM

Business Name: **OSCAR'S PIZZA**

Address: 18206 Detroit Ave.  
Lakewood, OH 44107

Steven Foster  
216.390.0198  
sgfoster09@gmail.com

1  
6-16-25



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Application Cover Page

Docket No.: 07-54-25

Permit No.: BBS25-000058

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 15709 Detroit Ave.

Project Name: The White Moon Soap Co.

Project: Applicant proposes the re-covering of an awning and door window graphics with business name and logo.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive, flowing style.

Steve Foster

*The Sign & Graphics Firm*

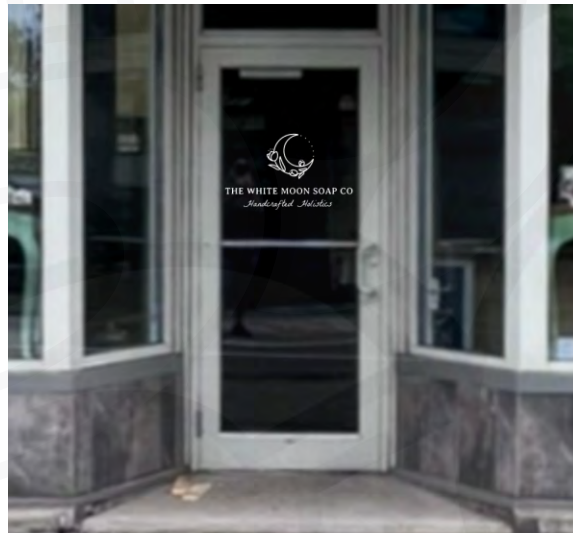
(216) 390-0198



As far as



**PROPOSED LOGO AWNING RE-COVER**



**PROPOSED VINYL LOGO DECAL**

NOTE: Renderings are approximate representations of final production.

**Steven Foster**  
216.390.0198  
sgfoster09@gmail.com

**THE SIGN & GRAPHICS FIRM**

BUSINESS NAME:  
**The White Moon Soap Co.**

ADDRESS:  
15709 Detroit Ave.  
Lakewood, OH 44107

**1**  
6-16-25

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Application Cover Page

Docket No.: 07-55-25

Permit No.: BBS25-000059

Applicant Name: Noah Nickel, King's Church

Project Address: 15422 Detroit Ave.

Project Name: King's Church

Project: Applicant proposes signage in multiple locations: window and door graphics, monument sign, wayfinding signage.

Don Hunter

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Letters  
11' x 12.375"

PROPOSED



Letters  
11' x 12"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



PROPOSED



Glass on doors  
36" x 54"

Above Window Pane  
55" x 46"

Vinyl Decal (letters)  
41" x 13"

Vinyl Decal (crown)  
24" x 15"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



PROPOSED



Wayfinding Sign  
18" x 32"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



PROPOSED



Welcome Sign  
7' x 4'

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Glass on door  
68.5" x 25.5"

PROPOSED



Crown decal  
12" x 10"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Glass on door  
68.5" x 25.5"

PROPOSED



Crown decal  
12" x 10"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Window Panes  
29" x 89"

PROPOSED



Wayfinding Decals  
30" x 20"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Glass on door  
27.5" x 81"

PROPOSED



Crown decal  
12" x 10"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Glass on door  
68.5" x 25.5"

PROPOSED



Crown decal  
12" x 10"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



Glass on door  
68.5" x 25.5"

PROPOSED



Address/King's Church Decals  
20" x 8"

# King's Church — Signage

15422 Detroit Ave, Lakewood, OH 44107

CURRENT



45.75" x 55"

PROPOSED



King's Church Sign  
45.75" x 55"



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Sign Review Board

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Application Cover Page

Docket No.: 07-56-25

Permit No.: BBS25-000060

Applicant Name: Brooke Thomas, Armed Services

Project Address: 15719 Detroit Ave.

Project Name: Armed Services

Project: Applicant proposes window graphics.

The owner of this property is Jim Miketo. My name is Brooke Thomas, I work for the Army Corps of Engineers as the property manager for the recruiters working out of the recruiting stations.

The graphics are used as a security feature so that the recruiters can see out while others couldn't see into the space. This nationwide procedure was put into place after the Chattanooga shooting at a recruiting center in 2015.

The previous lessor at this location did not allow graphics. Jim told me we could with approval from the city. Right now, the recruiters use roller shades as their security. These shades are meant to always stay down since graphics could not be installed. Having the roller shades down can make the office appear closed.









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Application Cover Page

Docket No.: 07-57-25

Permit No.: BBS25-000053

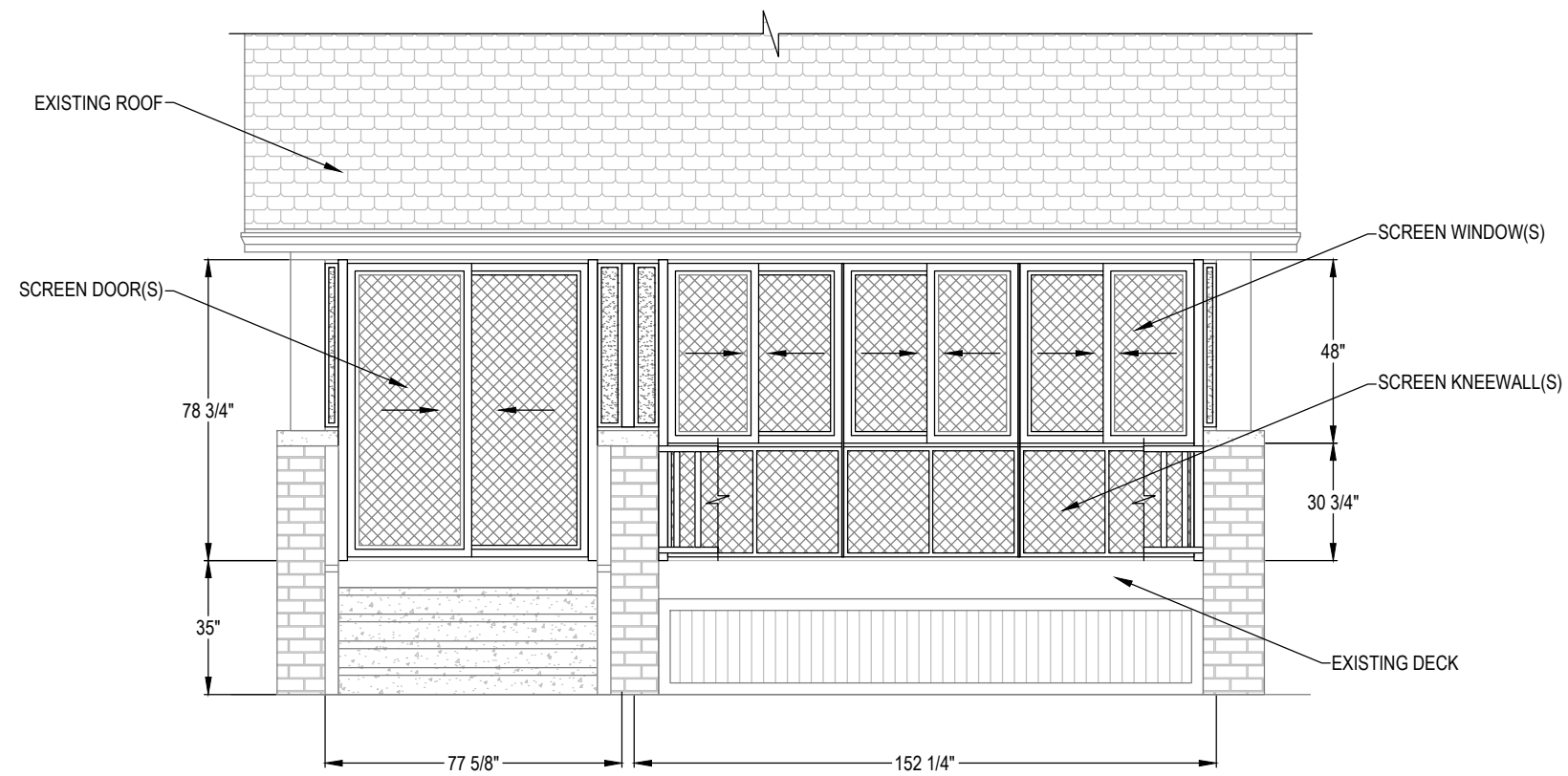
Applicant Name: Nick Legg, Great Day Improvements

Project Address: 2193 Lakeland Ave.

Project Name: n/a

Project: Applicant proposes the enclosure of a front porch.

Kfwe



ELEVATION - "B" WALL

**NOTES:**

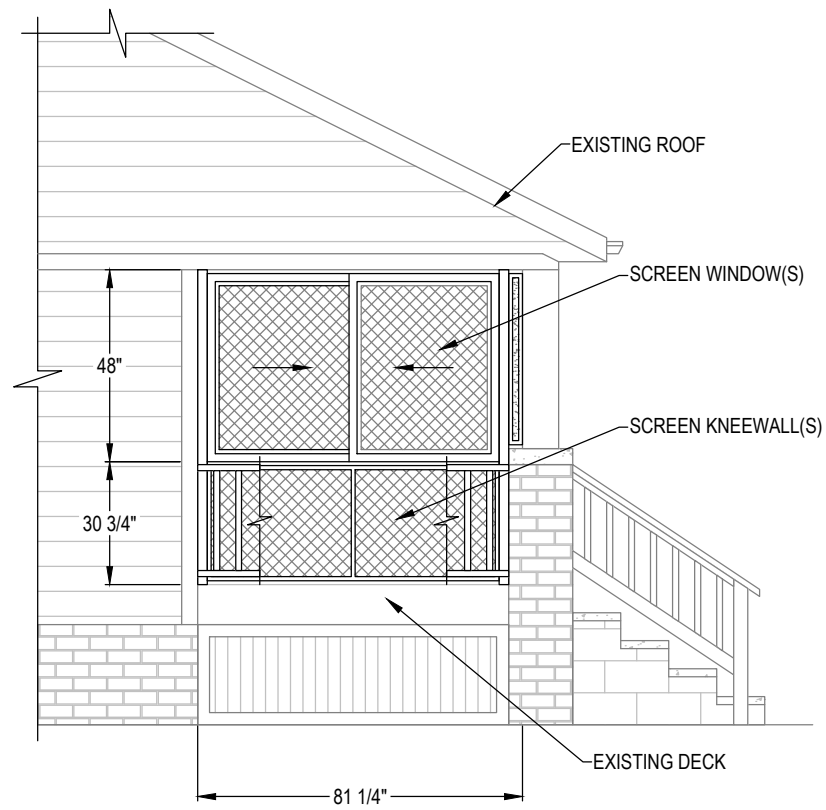
1. ALLVIEW (AVS) SCREEN SUNROOM; WHITE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING DECK AND UNDER EXISTING ROOF
3. NO ELECTRICAL BY GDI

DATE	5/21/25	-
DRAWN	MTS	-
SCALE	1/4" = 1'-0"	-
SHEET	1 OF 4	-

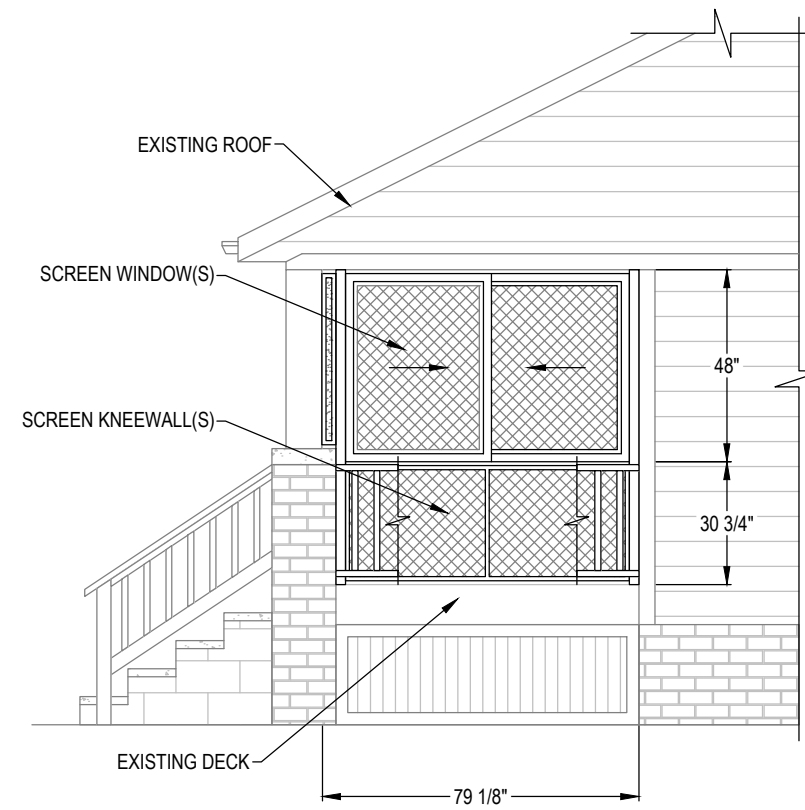
REBECCA URBIZONDO  
 2193 LAKELAND AVENUE  
 LAKEWOOD, OH 44107  
 JOB #44444

PATIO ENCLOSURES  
 CLEVELAND  
 1943 MIDWAY DRIVE  
 TWINSBURG, OH 44087  
 330-467-4267





ELEVATION - "A" WALL



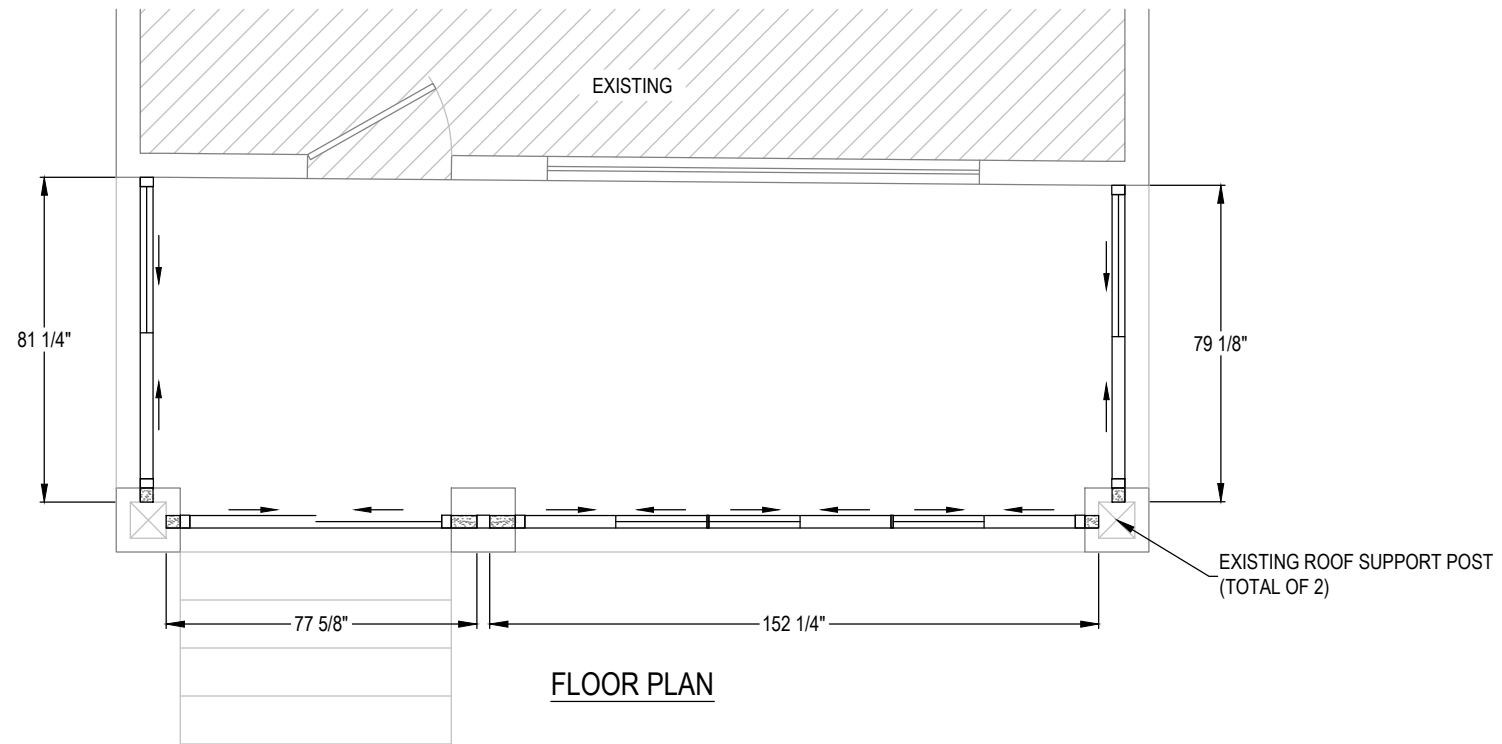
ELEVATION - "C" WALL

DATE	5/21/25	-
DRAWN	MTS	-
SCALE	1/4" = 1'-0"	-
SHEET	2 OF 4	-

REBECCA URBIZONDO  
 2193 LAKELAND AVENUE  
 LAKEWOOD, OH 44107  
 JOB #44444

PATIO ENCLOSURES  
 CLEVELAND  
 1943 MIDWAY DRIVE  
 TWINSBURG, OH 44087  
 330-467-4267





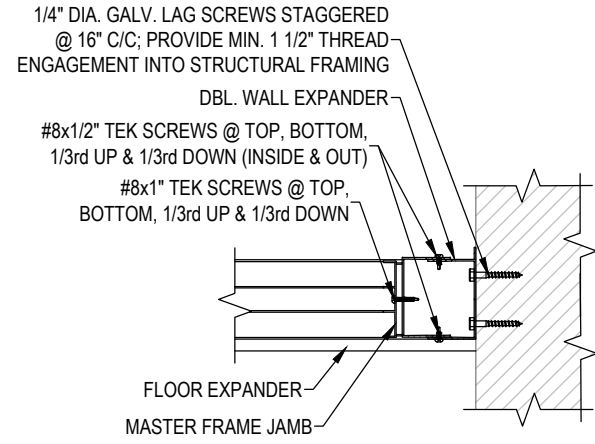
DATE	5/21/25	-
DRAWN	MTS	-
SCALE	1/4" = 1'-0"	-
SHEET	3 OF 4	-

REBECCA URBIZONDO  
 2193 LAKELAND AVENUE  
 LAKEWOOD, OH 44107  
 JOB #44444

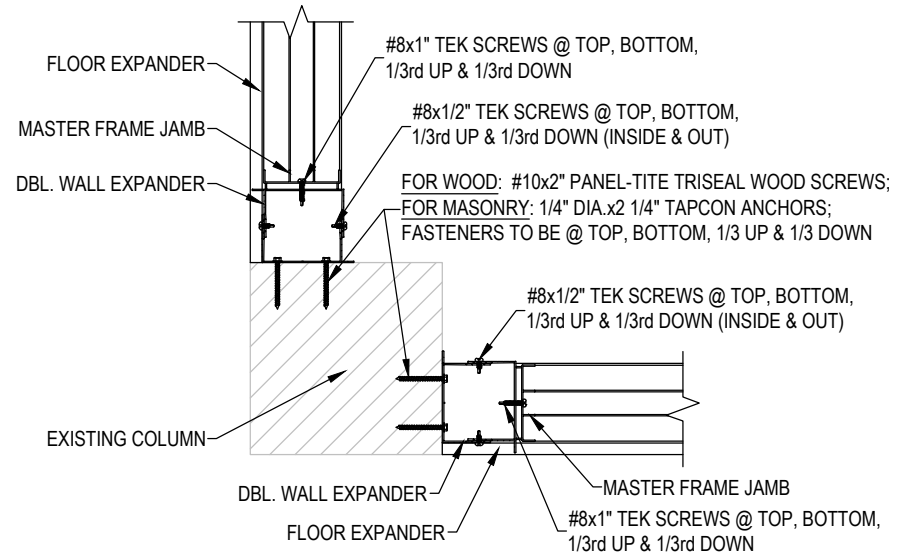
PATIO ENCLOSURES  
 CLEVELAND  
 1943 MIDWAY DRIVE  
 TWINSBURG, OH 44087  
 330-467-4267



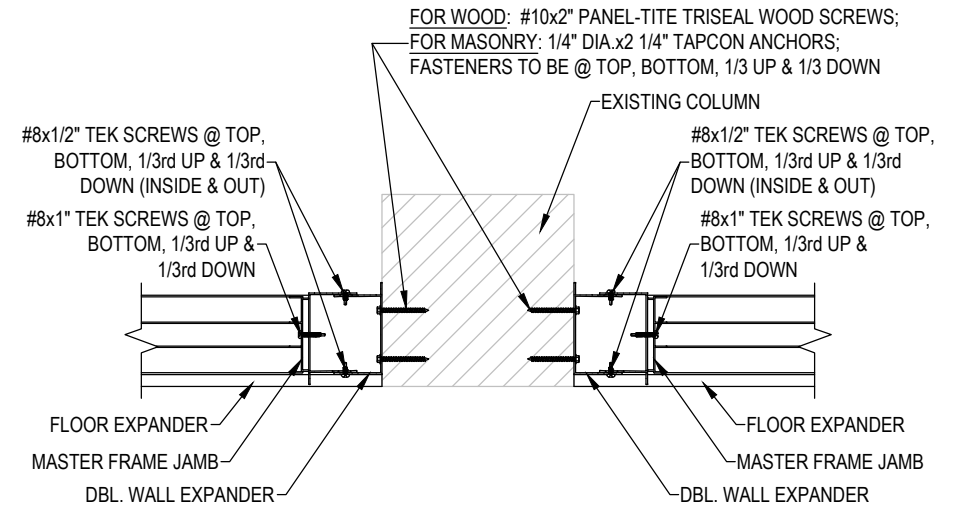
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, L.L.C., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



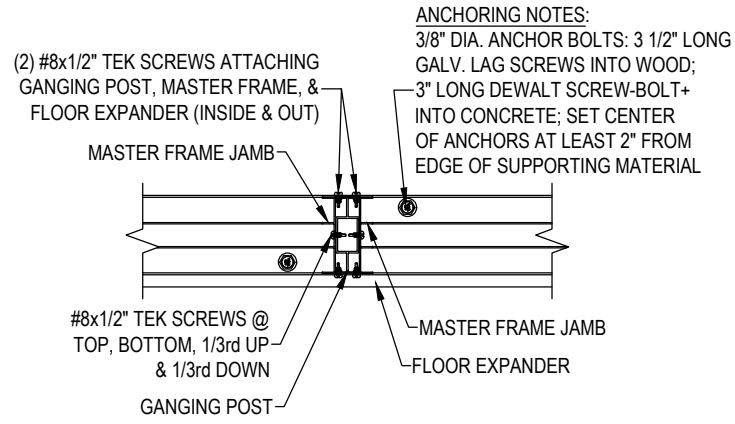
PLAN VIEW OF MASTER FRAME JAMB & DBL. EXPANDER CONNECTION @ EXISTING WALL



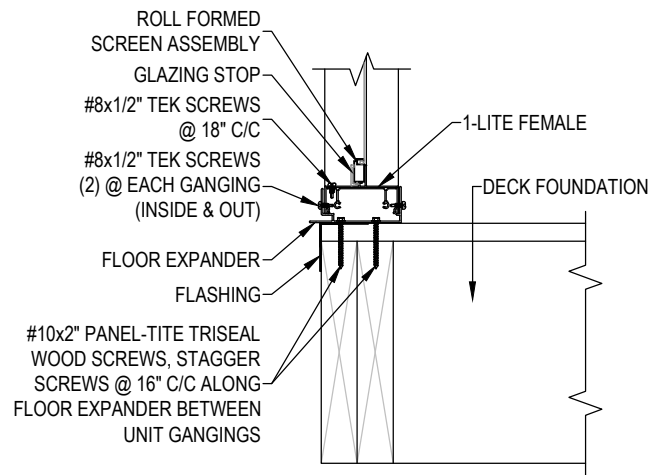
PLAN VIEW OF MASTER FRAME JAMB & DBL. EXPANDER CONNECTION @ EXISTING COLUMN



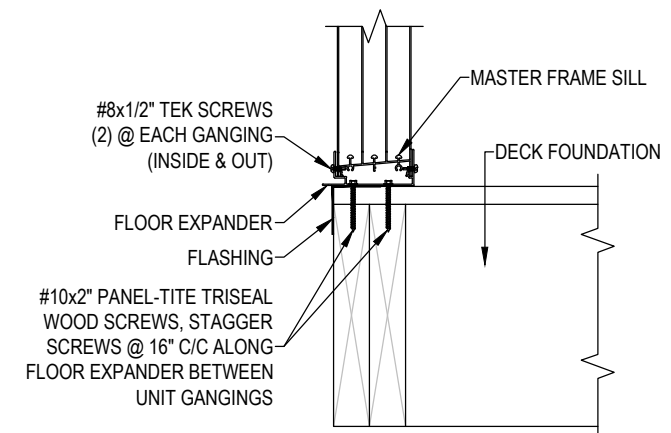
PLAN VIEW OF MASTER FRAME JAMB & DBL. EXPANDER CONNECTION @ EXISTING COLUMN



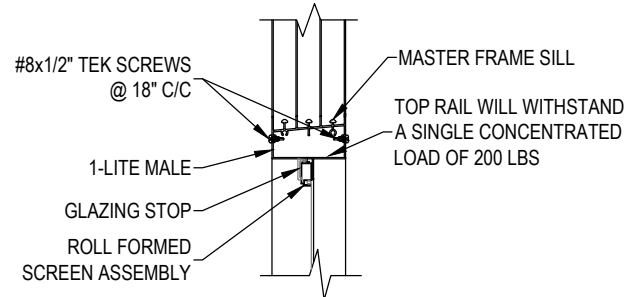
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ GANGING POST



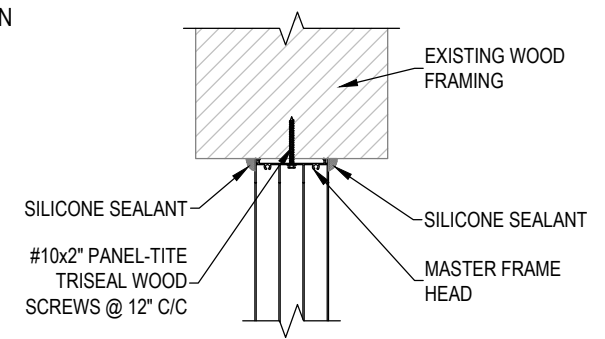
SECTION THROUGH SCREEN KNEEWALL CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME SILL CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME SILL CONNECTION @ SCREEN KNEEWALL



SECTION THROUGH MASTER FRAME HEAD CONNECTION @ EXISTING HEADER

DATE	5/21/25
DRAWN	MTS
SCALE	1 1/2" = 1'-0"
SHEET	4 OF 4

REBECCA URBIZONDO  
2193 LAKELAND AVENUE  
LAKEWOOD, OH 44107  
JOB #44444

PATIO ENCLOSURES  
CLEVELAND  
1943 MIDWAY DRIVE  
TWINSBURG, OH 44087  
330-467-4267



THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, L.L.C., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



1943 Midway Drive , Twinsburg, OH 44087  
 Cleveland@greatdayimprovements.com  
 Main: (800) 589-4200 | Fax: (440) 526-4470

# Contract

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

I, we hereby accept your proposal to furnish all labor and material necessary to perform the following work on the premises of the

Owner **Rebecca Urbiztondo**

located at **2193 Lakeland Ave**

in the City of **Lakewood** State of **OH** Zip **44107** Phone **(216) 541-3341**

Customer email address **rucaninedoc570@gmail.com** Phone \_\_\_\_\_

Sales representative **Jeffrey Leonard** License # **N/A** (if applicable)

This contract shall be considered non-cancelable after legal cancellation period has expired.

**THE WORK TO CONSIST OF:**

Manufacture and professionally install custom-made AllView Screen Room walls under an existing roof:

- Dimensions to be approximately 7.0' x 24.0' x 7.0' x 0.0' x 0.0' with an approximate 7.0' wall height.
- Color: White - commercial grade aluminum, 3-1/8" wall depth.
- Includes 7/8" extruded screen frame with black aluminum screen mesh.
- A Wall to include: One screen units and screen knee walls
- B Wall to include: One sliding screen door and three screen units and screen knee wall
- C Wall to include: One screen unit with screen knee walls
- No Permit per homeowner
- No h.o.a

Great Day Improvements will NOT warranty existing structure and is not responsible for pre-existing conditions.

Work to start approximately 4 to 6 weeks from the date of this contract and to be completed approximately 1 to 3 weeks after commencement if not delayed by building permit, delivery of materials, weather, strikes, fires, or other conditions beyond Seller's control. The completion date is not of the essence.

**WHERE REQUIRED, HOMEOWNER TO GET PERMIT.**

Contract Price	\$22,039.76
Down Payment	\$6,611.93
Upon Order of Manufactured Material	\$6,611.93
at Start of Installation	\$6,611.93
at Substantial Completion	\$2,203.97

Source of Sale

**Inquiry-Unset Postcard**

**THE DOWN PAYMENT SHALL BE A NONREFUNDABLE DEPOSIT ONCE THE THREE-DAY CANCELLATION PERIOD HAS EXPIRED.**

**THIS CONTRACT CONSTITUTES THE ENTIRE UNDERSTANDING OF THE PARTIES.**



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# Contract

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

## TERMS OF SALE

**1. ADDITIONAL WORK AUTHORIZATION.** Owner may not make changes to the Work of this Contract without Great Day Improvements, LLC ("Contractor") agreement. Owner must timely request any desired change to permit scheduling and completion with minimum interruption and cost increase. A change to the Work of this Contract will be agreed to by Owner and Contractor and shall be memorialized in a written Additional Work Authorization signed by Owner and Contractor. Payment in full for the Additional Work Authorization shall be due and payable upon execution unless otherwise agreed in the Additional Work Authorization.

**2. CONDENSATION & MOLD.** Condensation on windows is a natural result of moisture in the home and may vary with changes in temperature or humidity. Contractor cannot give any warranties that condensation will not occur. Similarly, mold is a natural result of a warm, moist environment. To control mold growth, moisture and water infiltration must be controlled. Proper maintenance and ventilation are required to remedy potential moisture problems. Contractor shall not be responsible for, and does not provide any warranties, express or implied, against mold growth.

**3. CEMENT.** Contractor will take preventive measures to insure proper workmanship; however, there is NO GUARANTEE or warranty, express or implied, that cement and masonry will not be subject to pitting, peeling, cracking, spalling, scaling and/or curling.

**4. ADDITIONAL WORK DISCLAIMER.** Unless otherwise specified in the Contract, no painting or staining of any kind is to be included in this Contract, and no electrical, plumbing, heating or air conditioning or any other non-stated items are included in this Contract. If any governmental agency or building official requires additional work not included in this Contract, Owner shall be responsible for performing said work at Owner's expense and the estimated date for completion shall be extended accordingly.

**5. PERMIT/PERFORMANCE BOND.** If the Owner is performing or contracting out any work on the sunroom they will be responsible for obtaining the building permit in their name. If the municipality requires the Contractor to obtain the permit, the Owner agrees to pay directly to the municipality the cost of any performance bond required.

**6. CONCEALED CONDITIONS.** After Contract execution, Contractor may discover latent defects in the existing structure (such as soil conditions that may require extraordinary work, inadequate structural support, termite/wood rot or other concealed, unusual or unknown conditions to the existing structure) that could not have been observed by Contractor prior to beginning the Work. If such a latent defect is discovered by Contractor, Owner agrees that the Contract Price shall be adjusted accordingly to equitably cover any additional costs, including all expenses incurred by Contractor in preparing an estimate, such as engineering fees. Said adjustments, whether performed by Contractor or Owner, shall be memorialized in a written Additional Work Authorization. Owner has the option to do this work, contract with another party or authorize Contractor to perform the work by signing the Addi-

tional Work Authorization and paying Contractor for the cost of the Additional Work Authorization including all labor and material expenses, engineering fees and reasonable overhead and profit.

**7. EXISTING SIDING, SHINGLES, MATCHING MATERIALS.** Contractor cannot guarantee that siding and shingles will match exactly, since dye lots and availability from manufacturers are subject to change without notice. Contractor will use reasonable efforts to match old and new materials and to patch damage to existing materials where they join new materials; however, the points of connection and patched areas may be visible. Contractor is not responsible for causing the old and new materials to look identical or joints to be invisible.

**7.1 EXISTING SIDING, STUCCO, TILES.** If existing window flanges are embedded in the wall with stucco, Contractor may be required to damage the stucco to remove the old window. Contractor shall re-stucco, whether inside or outside, if such damage is necessary. If Contractor chips or cracks a tile sill during installation, Contractor shall replace such chipped or cracked tile sill. However, Contractor does not guarantee to match siding, stucco and tiles exactly, since dye lots and availability from manufacturers are subject to change without notice.

**8. WARRANTY IS VOID.** Owner's failure to fully pay Contractor's invoices according to the terms of this Contract, shall render any and all warranties null and void.

**9. PAYMENT.** Owner agrees not to deduct any money for any reason whatsoever from the agreed Contract Price. Owner authorizes Contractor to conduct a credit history inquiry if needed and request reasonable evidence that Owner has secured financing to pay the Contract Price and any Additional Work Authorizations executed after the date of this Contract in excess of \$1,000.00. Failure of Owner to furnish Contractor with reasonable evidence that Owner can fulfill its payment obligations to Contractor under this Contract will entitle Contractor to suspend the Work until Owner furnishes Contractor with financial assurances acceptable to Contractor or terminate this Contract for Contractor's convenience by providing written notice to Owner ("Notice of Termination for Convenience"). Contractor's Notice of Termination for Convenience shall include an itemized statement of the unpaid balance of the Contract Price properly performed and completed by Contractor and shall be payable by Owner to Contractor upon receipt of the Notice of Termination for Convenience. Payments, in whole or in part, that remain outstanding after thirty (30) days of the date of Contractor's Invoice shall accrue interest at the rate of one percent (1%) per month until the balance is paid in full.

**10. DISPUTES.** All disputes arising out of, or related in any way to, this Contract, any breach hereof or the goods sold or services rendered pursuant hereto shall be settled as follows: (1) disputes falling within the jurisdiction of the Small Claims Court located closest to the Contractor's branch through which this Contract is entered shall have exclusive jurisdiction and shall finally resolve such disputes; and (2) all disputes other than those covered by condition (1) hereof shall be resolved through final and binding ar-



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# Contract

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

## TERMS OF SALE, continued

bitration. If there is a dispute greater than the maximum allowed by the Small Claims Court and less than \$10,000 filed by the Owner, it will be administered pursuant to the consumer arbitration rules of the American Arbitration Association. All arbitration claims filed by Contractor and all disputes greater than \$10,000 will be administered pursuant to the Construction Industry Arbitration Rules of the American Arbitration Association. For more details, contact your local American Arbitration Association Office, or visit their website at [www.adr.org](http://www.adr.org). The arbitration shall be administered by the American Arbitration Association and conducted at the American Arbitration Association office located closest to the Contractor's branch through which this Contract is entered. This Contract shall be deemed to have been formed at the Contractor's branch through which this Contract is entered, and the sale transaction shall be deemed to have occurred at such offices for all purposes, including jurisdiction, venue and the law of the State that shall govern the resolution of all disputes.

Owner and Contractor expressly acknowledge, agree and understand that neither will at any time defame, disparage or impugn the reputation of the other party. "Defame, Disparage, Impugn" as used in this Contract means to make any written statement, including but not limited to, electronic versions of writings posted on electronic websites and/or social blogs that casts in a negative light or implies or attributes any negative quality to the other party related to this Contract. Owner and Contractor understand and agree that this non-disparagement provision is a material term of this Contract and are continuing obligations that survive the performance, cancellation or termination of this Contract.

**11. OWNER'S OBLIGATIONS AND CONTRACTOR'S REMEDIES.** If Owner breaches this Contract, the Owner agrees to pay Contractor for any damages which Contractor will suffer as a result of such breach including but not limited to lost profits, expenses incurred and collection costs. Breach of contract is the failure of Owner to perform a material term of this Contract, including, but not limited to, failure to follow payment terms as outlined in the Contract, including agreed Additional Work Authorizations, failure to comply with the non disparagement provisions of this Contract, failure to perform agreed upon work by Owner or Owner's separate contractors in the agreed timeframe, failure to perform work or make improvements as required by any government body or any type of Home Owner's Association in order to obtain a permit or approval to build, failure to provide Contractor with access to perform work or, failure to make decisions, approvals or authorizations in a timely manner that cause unnecessary delays.

If the Owner should refuse to permit Contractor to proceed with work herein, or if the Owner, without the written consent of the Contractor, attempts in any manner to cancel, rescind or repudiate this Contract (except as provided in the notice of cancellation form attached hereto) Owner agrees to pay to the Contractor as liquidated damages consisting of Contractor's reasonable approximation of Contractor's actual damages at the time this Contract was entered into, including: (1) the Down Payment and (2) all costs and expenses incurred by the Contractor in excess of the

Down Payment for permit and variance fees, engineering fees, labor, materials, and commissions incurred by Contractor, for the preparation to fulfill and perform this Contract. In addition to the above, Owner shall pay Contractor on demand, all fines, penalties, forfeiture, court costs and out-of-pocket expenses incurred by Contractor as a result of any material breach of this Contract on the part of Owner.

**11.1 PERMIT/VARIANCE PROCESS.** If Contractor is responsible for obtaining the building permit, Contractor shall, on Owner's behalf, after the signing of this Contract, receipt of full deposit, Homeowners Association approval and location survey (plot plan) as secured by Owner, and/or bank loan approval, apply for a building permit. If a variance is needed, Owner acknowledges and agrees that the building permit process will extend the time for Contractor's performance on a day-to-day basis. Owner acknowledges and agrees that obtaining a variance is not a basis for canceling this Contract. Should the Contractor be unable to obtain a building permit or variance on behalf of the Owner, this Contract shall be declared null and void, and Contractor hereby agrees to return to Owner all deposit monies, less the costs Contractor expended to attempt to obtain the necessary building permit and variance. Notwithstanding the foregoing, in the event the County/City or other regulatory body responsible for issuing the building permit or variance requires as a condition to issuing the building permit or variance and final building inspection that the Owner make improvements, replacements or repairs to any aspect or component of the subject property or the improvements thereon not specifically the subject of this Contract, Owner shall promptly cause such improvements, replacements or repairs to be made at Owner's sole cost and expense in order to facilitate the issuance of the building permit or variance; and, should Owner fail to do so resulting in Contractor's inability to secure the building permit or variance, then Contractor shall be entitled to liquidated damages consisting of Contractor's reasonable approximation of Contractor's actual damages at the time this Contract was entered into, including: (1) the Down Payment and (2) all costs and expenses incurred by the Contractor in excess of the Down Payment for permit and variance fees, engineering fees, labor, materials, and commissions, incurred by Contractor for the preparation to fulfill and perform this Contract.

**11.2 NOTIFICATION OF BREACH OF EXPRESS WARRANTY.** Owner must notify Contractor, in writing within the applicable warranty period, of the express warranty that Owner claims has been breached. Owner shall send Owner's written notice to Contractor at the Great Day Improvements, LLC branch office listed on page 1 of the Contract, including a copy of this Contract.

**11.3 CANCELLATION AND/OR TERMINATION.** While the Contract specifies that the Down Payment is non-refundable once the 3 day cancellation period has expired, there may be circumstances that Contractor may choose, in Contractor's sole discretion, to return all or part of the Down Payment based on the nature or amount of the costs incurred by Contractor. In the event that both Contractor and the Owner agree to cancel this Contract



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# Contract

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

## TERMS OF SALE, continued

for convenience, Contractor maintains the right to retain the Down Payment to compensate Contractor for all costs and expenses incurred by Contractor, which may include permit or variance fees, engineering fees, labor, materials, commissions incurred by Contractor for the preparation to fulfill and perform this Contract. In addition, Owner shall pay Contractor on demand, all fines, penalties, forfeiture, court costs and out-of-pocket expenses incurred by Contractor as a result of any breach of this Contract on the part of Owner. Contractor has the right to initiate the termination of this Contract for Contractor's convenience at any time.

**11.4 CARDINAL CHANGES.** Owner understands and agrees that, after execution of this Contract, there may be changes in the scope of work or Contract Price that are so substantial that the changes will effectively require the Contractor to perform duties materially different from those bargained for prior to the execution of this Contract. Such changes include, by way of example, a large increase in the Contract Price due to a change in design, latent, unforeseen or concealed conditions or Owner's withdrawal of promised Owner furnished work to obtain required building permits, variances or meet Home Owner Association requirements. Upon the occurrence of such cardinal change, Contractor shall provide written notice to Owner describing the nature of the cardinal change and the impact to Contractor's performance in terms of increased time and cost. Following Contractor's written notice to Owner of a cardinal change, Contractor shall be entitled to stop work and not perform until and unless Owner agrees in advance to pay Contractor for the extra work resulting from the cardinal change by signing an agreed Additional Work Authorization related to the cardinal change. If this Contract is cancelled or terminated due to a cardinal change, Contractor's remedies shall be as set forth in Section 11.3 above.

**12. TELEPHONE CONTACT.** Owner expressly authorizes Contractor and Contractor's agents and representatives to contact them to discuss this Contract and/or its ancillary products and to conduct customer satisfaction or marketing surveys.

**13. PHOTO RELEASE.** Owner authorizes Contractor and Contractor's agents and representatives to take photos or videos of the space where the contracted work is to be performed before, during and after the installation for estimating, planning, installation, training, marketing and advertising purposes, including but not limited to, internal company files and external advertising including print or web-based publications. Owner releases any rights or claims to the photos and/or videos and acknowledges that Owner is not entitled to any compensation or royalties with respect to Contractor's use of the photos or videos retained or published.

**14. LIMITATION AND DISCLAIMER OF IMPLIED WARRANTIES.** There are no warranties, express or implied, of merchantability or fitness for a particular purpose or otherwise which extend beyond the description on the face hereof and the separate attached express written limited warranty given at time of sale. The foregoing, together with the attached express written

limited warranty and job folder constitutes the entire and complete agreement between Owner and Contractor, and there are no other agreements or understandings express or implied other than those specifically set forth herein. Any promises, contracts or agreements in the future are valid only if in writing and signed by a properly authorized representative of Contractor. Owner acknowledges and agrees that Owner has not relied upon any statement of fact, or promise in entering into this Contract, beyond the matters set forth in the foregoing and the express written limited warranty. Owner acknowledges that Owner has fully investigated the nature of the product and/or services that are the subject of this Contract, and Owner has exercised Owner's own independent judgment in deciding to execute this Contract. THIS IS A LEGALLY BINDING CONTRACT.

**15. RESPONSIBILITIES/UNDERSTANDINGS.** Contractor represents, and Owner agrees and understands that: (i) Contractor does not guaranty that Owner's existing window/door treatments will properly fit after installation of window products; (ii) Owner agrees that, prior to installation, Owner shall remove and reposition/reinstall any and all obstructing plants, furniture, pictures, blinds, curtains, rods, window/wall decorations, stain glass, and other personal property items (the "Objects") from the installation area; (iii) if Contractor is required to move the Objects to perform the installation, Owner shall pay Contractor a service fee of \$100 and Owner agrees to hold Contractor harmless and not liable for any damage to the Objects; (iv) Owner agrees and understands that during installation or removal of products Contractor will use reasonable efforts to minimize damage to Owner's existing improvements on Owner's real property and Owner agrees that Contractor shall not be responsible for any damage to driveways, landscaping, including lawns, bushes, plants, flowers, trees, lighting, sprinkler heads, shrubs and any other similar landscaping items, underground pipes, lines or any other existing improvements on Owner's real property; and (v) Contractor shall not be responsible for disconnecting or reconnecting alarm systems, heating or cooling units.

**16. FORCE MAJEURE DELAYS.** The estimated date for completion of this Contract will be extended for any reason specified in this Contract and for causes beyond Contractor's control, including, but not limited to, weather, permits, variances, Home Owner Associations, latent, concealed or unforeseen conditions, labor disputes, strikes, natural disasters, Acts of God, labor or material shortages, stoppage required to comply with any rule, order or regulation, interference by Owner, or other circumstances beyond Contractor's control. All such delays shall extend the time for Contractor's performance on a day-by-day basis.

**17. ELECTRONIC SIGNATURES AND COUNTERPARTS.** This Contract and the Documents incorporated by reference may be executed in one or more counterparts, each of which shall be deemed an original, but all of them shall constitute one and the same Contract. For the convenience of Owner and Contractor, a facsimile, electronic, or .pdf signature shall be deemed an original signature to this Contract.



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# Addendum

OHIO

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

## CONSUMER NOTICES

- 1. EXCESS COSTS. IF AT ANY TIME THE PERFORMANCE OF THIS CONTRACT REQUIRES EXTRA COSTS ABOVE THE COST SPECIFIED OR ESTIMATED IN THE CONTRACT THAT WERE REASONABLY UNFORESEEN, BUT REASONABLE OR NECESSARY, AND THE TOTAL OF ALL EXTRA COSTS TO DATE EXCEEDS FIVE THOUSAND DOLLARS (\$5,000.00) OVER THE COURSE OF THE ENTIRE CONTRACT, YOU HAVE A RIGHT TO A VERBAL OR WRITTEN ESTIMATE OF THOSE EXCESS COSTS BEFORE CONTRACTOR BEGINS WORK RELATED TO THOSE COSTS.**
- 2. NOTICE OF CONTRACTOR'S RIGHT TO RESOLVE ALLEGED DEFECTS. OHIO LAW CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY FILE A LAWSUIT OR COMMENCE ARBITRATION PROCEEDINGS FOR DEFECTIVE CONSTRUCTION AGAINST CONTRACTOR. AT LEAST SIXTY (60) DAYS BEFORE YOU FILE A LAWSUIT OR COMMENCE ARBITRATION PROCEEDINGS, YOU MUST PROVIDE THE CONTRACTOR WITH A WRITTEN NOTICE OF THE CONDITIONS YOU ALLEGE ARE DEFECTIVE. UNDER CHAPTER 1312 OF THE OHIO REVISED CODE, CONTRACTOR HAS AN OPPORTUNITY TO OFFER TO REPAIR OR PAY FOR THE DEFECTS. YOU ARE NOT OBLIGATED TO ACCEPT ANY OFFER CONTRACTOR MAKES. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER STATE LAW, AND FAILURE TO FOLLOW THEM MAY AFFECT YOUR ABILITY TO FILE A LAWSUIT OR COMMENCE ARBITRATION PROCEEDINGS.**



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# Funding Authorization

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

I, we hereby accept your proposal to furnish all labor and material necessary to perform the following work on the premises of the

Owner **Rebecca Urbiztondo**

located at **2193 Lakeland Ave**

in the City of **Lakewood**

State of **OH**

Zip

**44107**

Phone

**(216) 541-3341**

Customer email address **rucaninedoc570@gmail.com**

Phone

Sales representative **Jeffrey Leonard**

License #

**N/A**

(if applicable)

Total Contract Amount: **\$22,039.76**

**Down Payment**

**\$6,611.93**

GreenSky

\$6,611.93

**Upon Order of Manufactured Material**

**\$6,611.93**

GreenSky

\$6,611.93

**at Start of Installation**

**\$6,611.93**

GreenSky

\$6,611.93

**at Substantial Completion**

**\$2,203.97**

GreenSky

\$2,203.97

The undersigned agrees and authorizes Great Day Improvements, LLC, to charge the above referenced account for the payment(s) listed above. No additional authorization is required for future charges with regard to the above referenced payments for only this specific contract. Value of work not complete not to exceed 10% of contract value. Please note: Any changes to this contract are required by a written Additional Work Authorization and will require a separate credit authorization.

*Rebecca Urbiztondo*

(Customer Signature)



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# Notice of Cancellation

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

**YOU MAY CANCEL THIS TRANSACTION, WITHOUT ANY PENALTY OR OBLIGATION, WITHIN THREE BUSINESS DAYS FROM THE ABOVE DATE.**

**IF YOU CANCEL, ANY PROPERTY TRADED IN, ANY PAYMENTS MADE BY YOU UNDER THE CONTRACT OR SALE, AND ANY NEGOTIABLE INSTRUMENT EXECUTED BY YOU WILL BE RETURNED WITHIN TEN BUSINESS DAYS FOLLOWING RECEIPT BY THE SELLER OF YOUR CANCELLATION NOTICE, AND ANY SECURITY INTEREST ARISING OUT OF THE TRANSACTION WILL BE CANCELED.**

**IF YOU CANCEL, YOU MUST MAKE AVAILABLE TO THE SELLER AT YOUR RESIDENCE, IN SUBSTANTIALLY AS GOOD CONDITION AS WHEN RECEIVED, ANY GOODS DELIVERED TO YOU UNDER THIS CONTRACT OR SALE; OR YOU MAY IF YOU WISH, COMPLY WITH THE INSTRUCTIONS OF THE SELLER REGARDING THE RETURN SHIPMENT OF THE GOODS AT THE SELLER'S EXPENSE AND RISK.**

**IF YOU DO MAKE THE GOODS AVAILABLE TO THE SELLER AND THE SELLER DOES NOT PICK THEM UP WITHIN TWENTY DAYS OF THE DATE OF YOUR NOTICE OF CANCELLATION, YOU MAY RETAIN OR DISPOSE OF THE GOODS WITHOUT ANY FURTHER OBLIGATION. IF YOU FAIL TO MAKE THE GOODS AVAILABLE TO THE SELLER, OR IF YOU AGREE TO RETURN THE GOODS TO THE SELLER AND FAIL TO DO SO, THEN YOU REMAIN LIABLE FOR PERFORMANCE OF ALL OBLIGATIONS UNDER THE CONTRACT.**

**TO CANCEL THIS TRANSACTION, YOU MUST EITHER:**

- 1.) SEND A SIGNED AND DATED WRITTEN COPY OF THIS NOTICE OF CANCELLATION BY REGISTERED OR CERTIFIED MAIL, RETURN RECEIPT REQUESTED, OR**
- 2.) PERSONALLY DELIVER A SIGNED AND DATED COPY OF THIS NOTICE OF CANCELLATION TO:**

**1943 Midway Drive , Twinsburg, OH 44087**

**NOT LATER THAN MIDNIGHT OF** 3/26/2025  
(Date of third day after transaction date)

**I HEREBY CANCEL THIS TRANSACTION** \_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Print Buyer's Name)

\_\_\_\_\_  
(Buyer's Signature)



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(Date)

\_\_\_\_\_  
(Print Buyer's Name)

\_\_\_\_\_  
(Buyer's Signature)



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# Limited Lifetime Warranty

OHIO VALLEY REGION  
Date: 3/22/2025  
OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

## GREAT DAY IMPROVEMENTS, LLC MANUFACTURED MATERIALS — LIMITED LIFETIME WARRANTY

This Warranty valid on all Patio Enclosures® Sunrooms, Solariums, Screen Rooms and Stanek® Windows and Patio Doors.

Great Day Improvements, LLC warrants the original purchaser that the product will be free of defects in manufacturing and materials for as long as the original purchaser owns the residence where the product was installed.

### WHAT IS COVERED BY THIS LIMITED LIFETIME WARRANTY?

- All vinyl and aluminum extrusions are warranted against chipping, cracking, peeling, blistering, warping and sagging.
- All balancers, rollers, locks, keepers, wheels and hardware are warranted to operate properly and serve the designed function.
- All glass units are warranted against seal failure and broken glass due to manufacturing defects.
- This warranty covers only those products manufactured by Great Day Improvements, LLC. All products not manufactured by Great Day Improvements, LLC carry the original manufacturer's warranty.

### LABOR — TWO YEARS

For the first two years from the date of installation, all work performed by any Great Day Improvements, LLC location is guaranteed to be free from defects in material and workmanship. If any defects exist within two years, Great Day Improvements, LLC will provide both labor and materials to repair or replace, at Great Day Improvements, LLC option, such defects at no charge to the customer.

### EXCEPTIONS

- Great Day Improvements, LLC does not guarantee against, and shall not be liable for, Acts of God, fire, vandalism, accidents, abuse or misuse, neglect, normal weathering, or any other cause beyond the control of Great Day Improvements, LLC.
- Torn or damaged screens, broken glass, application of tinted films or other media, damage caused by chemicals or a harsh environment are not covered by this Limited Lifetime Warranty.
- If the manufactured product was used for a purpose other than what it was intended, it is not covered by this Limited Lifetime Warranty.
- Pre-existing structures, walls, roofs and foundation settling are not covered by this Limited Lifetime Warranty.
- Carpentry labor performed by Great Day Improvements, LLC is limited to (2) two years.
- Concrete and other masonry work is not covered by this Limited Lifetime Warranty.
- Products not manufactured by Great Day Improvements, LLC will be covered only to the extent of the manufacturer's warranty, if any.
- Products not installed by Great Day Improvements, LLC are not warranted or covered by this Limited Lifetime Warranty.
- Condensation is a natural result of moisture in the home. We cannot give any warranties that condensation will not occur.
- Color-coated exteriors are warranted for (10) ten years from date of purchase.

### WARRANTY IS VOID

If customer fails to pay their bill according to the terms of their contract.

### EXCLUSIVE REMEDY

This expressed limited warranty shall be the customer's exclusive remedy against Great Day Improvements, LLC for any and all defects in materials or workmanship and is in lieu of all other warranties, expressed or implied, including but not limited to the implied warranty of merchantability, the implied warranty of fitness for a particular purpose, and implied or expressed warranties by sample. Routine maintenance of walls, roller tracks, roofs, moveable parts, cleaning of windows, door tracks and sills must be performed on the product during the term of the warranty. Customer acknowledges and agrees that Great Day Improvements, LLC has not made any statements of fact concerning the subject matter of this agreement and customer has not relied upon any statement by Great Day Improvements, LLC in deciding to purchase the products and services that are the subject of this contract.

The customer acknowledges and agrees that they have read and understand the limitations, exclusions, and disclaimers applicable to this Limited Lifetime Warranty.

**This warranty is in effect for as long as you own your home.**



Date: 3/22/2025

# YOUR GUIDE TO **SUNROOM CONSTRUCTION**

This document contains valuable information on the processes involved in the design, manufacture and installation of your sunroom. We encourage you to read through it at your convenience.

Please contact your local office if you have any questions not addressed here. We are always glad to hear from you.



## Measuring your sunroom

Although it is not required, we'd prefer your presence at the measurement. If you can't be present due to scheduling issues, we will leave a door hanger to let you know your site has been measured.



## Building permits

Every community handles the building permit process differently. Whether we obtain the permit or help you get the permit yourself, please remember we have no control over local zoning requirements, building codes, regulations, waiting periods or variances. We will do our best to help cut through any red tape.

If you choose to get the permit yourself, please contact your local Patio Enclosures office immediately after your permit has been issued. If we obtain the building permit, the operations administrator at your local office will contact you when your permit arrives. Materials for your sunroom will be ordered when your permit has been obtained.



## Site preparation

We prepare the site for your new sunroom before your installation begins. So, please expect a period of time between the concrete work, carpentry work, and electrical and building inspections.

If you are doing your own site preparation, such as cement and/or carpentry work, please remember we cannot begin our part in the process until your site work and building inspections are complete. We must take final measurements of the site in order to process your order correctly. If you have any problems or questions, please let us know.



## Ordering materials

After your room is measured and the permit issued, your order is entered at your local office and sent to our manufacturing facility in the United States. You will be notified when the materials for your sunroom have been ordered. This is typically when your next payment is due.



## The manufacturing process

Once your order is sent to our factory in Macedonia, Ohio, our master fabricators begin manufacturing your sunroom, specific to your design requirements.



## Receiving the materials

Upon completion of the manufacturing process, your sunroom is shipped to your local office, where it is staged for installation. Your local office will notify you to let you know when your sunroom will be installed.



## Installation

Usually 1-2 days in advance of your installation day, our local office will call to confirm your installation date, subject to inclement weather. A payment is generally due at the start of your project.

Our installers are specialists, factory-trained in sunroom construction and your sunroom is installed to our rigorous standards.



## Blinds and shades installation

Upon completion of your sunroom, our installers will measure for blinds and shades. If you have purchased our custom blinds and shades, your order will be placed and manufactured. Delivery will take approximately 4 to 5 weeks. Once your local office receives your blinds and shades, you'll be contacted to set up a convenient installation date. Even if you have not purchased blinds and shades, we will have the measurements on file should you wish to purchase them in the future.

*continued on next page*



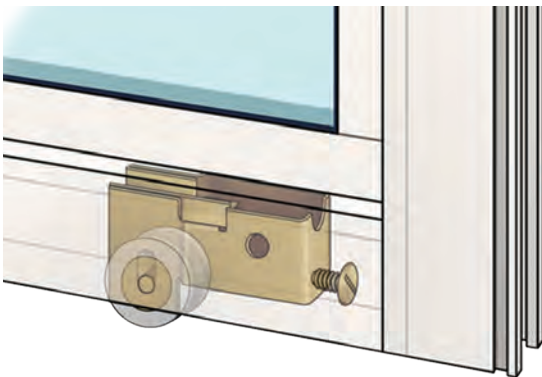
Date: 3/22/2025



## Maintenance

While your new sunroom is nearly maintenance free, here are a few tips to keep it looking and operating like new.

- Don't be afraid to use water on the roof and exterior walls to rinse off any accumulation of dirt or grime. The inside and outside may be cleaned with mild soap and water or any non-abrasive cleaner.
- It is advisable to avoid unnecessary activity on any roof, including your sunroom's. An annual inspection of the roof and gutters is suggested.
- Keep the door and window tracks clean, inside and out. Use a pure silicone spray to keep doors and windows operating smoothly. Do not use an oil-based lubricant. (Oil-based lubricants tend to attract dirt.)
- Weep holes should be kept clear for proper drainage.
- The wheels of the door and window units are adjustable. Should the need arise, there are openings at the bottom of each that give you access to the adjustment screws. A No. 2 Phillips-head screwdriver works well for this adjustment.



## Condensation in your new enclosure

### ***Why does my new enclosure have interior condensation?***

Moisture on the inside pane of the glass is caused by excessive moisture in the room and generally becomes most noticeable during the change of seasons. According to scientific studies, two people can release up to ten pounds of moisture — a gallon and a half of water — into the air in their home every day, just through the daily routines of cooking, showering, cleaning and breathing. Interior condensation is a very common occurrence. Many people wonder if the new enclosure is to blame, however, sunroom glass cannot create moisture. But, it does reveal excess moisture in the sunroom.

### ***How can I eliminate the interior condensation in my enclosure?***

The goal is to reduce the level of humidity indoors. If you are using a humidifier in the home, turn it down. Run your bathroom fan before and after showering or bathing for 15-20 minutes. Kitchen fans should also run 15-20 minutes before and after cooking. If you do not have externally vented bath and kitchen fans, consider installing them. Houseplants can also contribute to increased levels of humidity indoors. Try slightly opening the windows where you notice the condensation to allow the excess moisture to escape. If you have drapes or shades in your sunroom, try not closing them completely to allow warmer air to reach the glass.

### ***My new enclosure sometimes has exterior condensation. What causes this?***

Moisture on the outside of the glass is simply dew, the same dampness that you'll find on your lawn, car, and the siding of your home. When there is a change in the temperature (most often in the spring and fall), you'll tend to notice it in the mornings.

***continued on next page***



1943 Midway Drive , Twinsburg, OH 44087  
Cleveland@greatdayimprovements.com  
Main: (800) 589-4200 | Fax: (440) 526-4470

OHIO VALLEY REGION  
OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025



### Condensation *(continued)*

The condensation forms when a particular set of atmospheric conditions exists: a glass temperature below dew point temperature; a clear night sky; still air; high relative humidity; and well-insulated glass. The exterior surface of the glass can radiate heat away to the night sky causing the glass temperature to fall below the dew point of the ambient air. This is referred to as “night-sky radiation” and when this happens, moisture from the air condenses on the glass surface. Only when the glass temperature rises above the dew point will the condensation evaporate back into the air. Think of sitting outside on a hot, humid day with a glass of iced tea. The moisture in the surrounding air condenses on the colder exterior surface of the glass. But if the temperature of the glass of tea is closer to the outside air temperature, the outside of the glass remains warm and the condensation doesn’t appear.

External condensation (dew) on sunroom glass can be a nuisance. It is, however, quite normal and is an indication that the glass has a high insulation value.

### Is there anything I can do to get rid of exterior condensation?

In short, just give it some time. As soon as the sun can warm up the outside air, the humidity will be reduced and the condensation will dissipate. Sometimes you’ll notice certain areas of the enclosure will get more exterior condensation, while others rarely do. Where there is unimpeded air circulation around an area, the chance it will have exterior condensation is greatly reduced. Subtle differences such as plants, shrubs, screens or even the location in the room can impact the air flow patterns outside. Applying a product like Rain-X® to the outside pane has been shown to be helpful in making the water bead up and run off more quickly.

I have reviewed and acknowledge the information in this construction guide.

*Rebecca Urbiztondo*

(Buyer’s signature)

*Rebecca Urbiztondo*

(Buyer’s signature)



1943 Midway Drive , Twinsburg, OH 44087  
Cleveland@greatdayimprovements.com  
Main: (800) 589-4200 | Fax: (440) 526-4470

# Contract

OHIO VALLEY REGION

OH, Columbus #HIC03284; OH, Toledo HRC-21-00005

Date: 3/22/2025

Subject to terms and conditions which appear throughout this entire contract including Terms of Sale and applicable state addendum(s). Customer acknowledges receipt of an electronic copy of this contract, state addendum(s), if required, product warranty and notice of cancellation.

*ru*

(Customer Initials)

“You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the attached notice of cancellation for an explanation of this right.”

*Rebecca Urbiztondo*

(Customer Signature)






*Jeffrey Leonard*

(Signature of Company Representative)

<b>Title</b>	2193 Lakeland Ave_2025.03.22.11.44.01.pdf signing
<b>File name</b>	086e51ec-b648-4836-ada5-d821b3c1b6ca.pdf
<b>Document ID</b>	aed3c854af250241e2f7d9fb435e637681b8b668
<b>Audit trail date format</b>	MM / DD / YYYY
<b>Status</b>	● Signed

**This document was signed on pcms.accessgdi.com**

## Document History

 SENT	<b>03 / 22 / 2025</b> 11:44:30 UTC-4	Sent for signature to Rebeccah Urbiztondo (rucaninedoc570@gmail.com) from it@greatdayimprovements.com IP: 151.181.70.71
 VIEWED	<b>03 / 22 / 2025</b> 11:44:45 UTC-4	Viewed by Rebeccah Urbiztondo (rucaninedoc570@gmail.com) IP: 174.207.97.235
 AUTHENTICATED	<b>03 / 22 / 2025</b> 11:45:54 UTC-4	Successfully authenticated via signer access code by rucaninedoc570@gmail.com IP: 174.207.97.235
 SIGNED	<b>03 / 22 / 2025</b> 11:50:07 UTC-4	Signed by Rebeccah Urbiztondo (rucaninedoc570@gmail.com) IP: 174.207.97.235
 COMPLETED	<b>03 / 22 / 2025</b> 11:50:07 UTC-4	The document has been completed.



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

---

Application Cover Page

Docket No.: 07-58-25

Permit No.: BBS25-000055

Applicant Name: Marshall Wright, Marshall L. Wright Construction Inc.

Project Address: 1040 Nicholson Ave.

Project Name: n/a

Project: Applicant proposes the addition of a front porch.

**Andrew R Swellie**  
1040 Nicholson Ave  
Lakewood, OH 44107  
andrewswellie@gmail.com  
440-915-4369

**6-13-2025**

**To:**  
Lakewood Architectural Review Board  
City of Lakewood

**Subject:** Authorization for Architectural Review Board Submittal

Dear Members of the Architectural Review Board,

I am writing to formally authorize my contractor, **Marshall Wright**, to act on my behalf in submitting materials and representing my interests before the Lakewood Architectural Review Board regarding the proposed work at my residence located at:

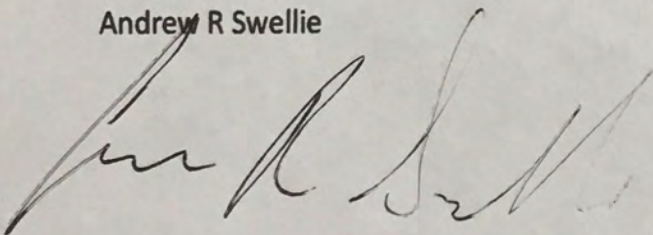
**1040 Nicholson Ave** Lakewood, OH 44107.

Mr. Wright has my full permission to prepare and submit all required documentation, attend meetings, and respond to any inquiries related to the architectural review process for this project.

If you require any additional information or documentation, please don't hesitate to contact me directly.

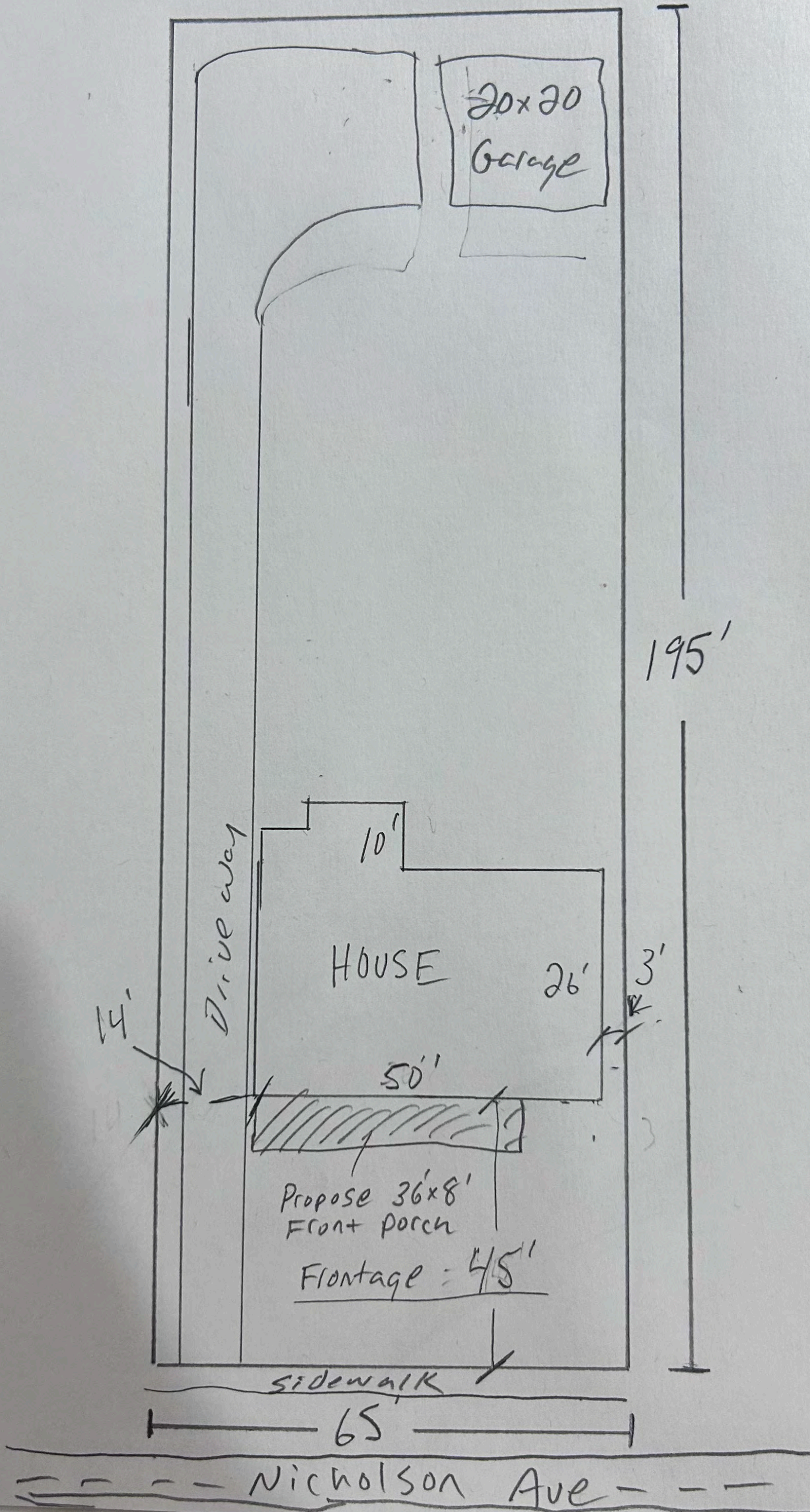
Thank you for your time and consideration.

Sincerely,  
Andrew R Swellie

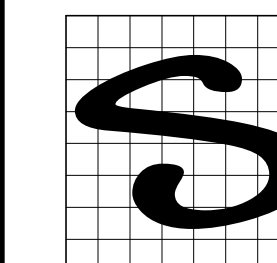
A handwritten signature in black ink, appearing to read 'Andrew R Swellie', written over the typed name.

6-13-2025

Handwritten text in blue ink, possibly a signature or a set of initials, consisting of several connected, stylized strokes.







Schill Architecture

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EMAIL ADDRESS: STEVE@SCHILLARCHITECTURE.COM

DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	3000 P.S.F.	N.A.	3000 P.S.F.

NOTES:  
1. ASSUMED SOIL BEARING CAPACITY IS 3000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.  
2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.  
3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	N.A.
MAIN FLOOR	WOOD-2"x6"1/2"x4"	N.A.
UPPER FLOOR	WOOD-2"x6"1/2"x4"	N.A.

AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	0,000 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	0,000 SQ.FT.
UPPER LEVEL	0,000 SQ.FT.
UPPER LEVEL (VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
<b>TOTAL HEATED AREA</b>	<b>0,000 SQ.FT.</b>
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	256 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
<b>TOTAL AREA UNDER ROOF</b>	<b>256 SQ.FT.</b>
REAR PORCH (NOT COVERED)	0,000 SQ.FT.
<b>TOTAL PROJECT AREA</b>	<b>256 SQ.FT.</b>

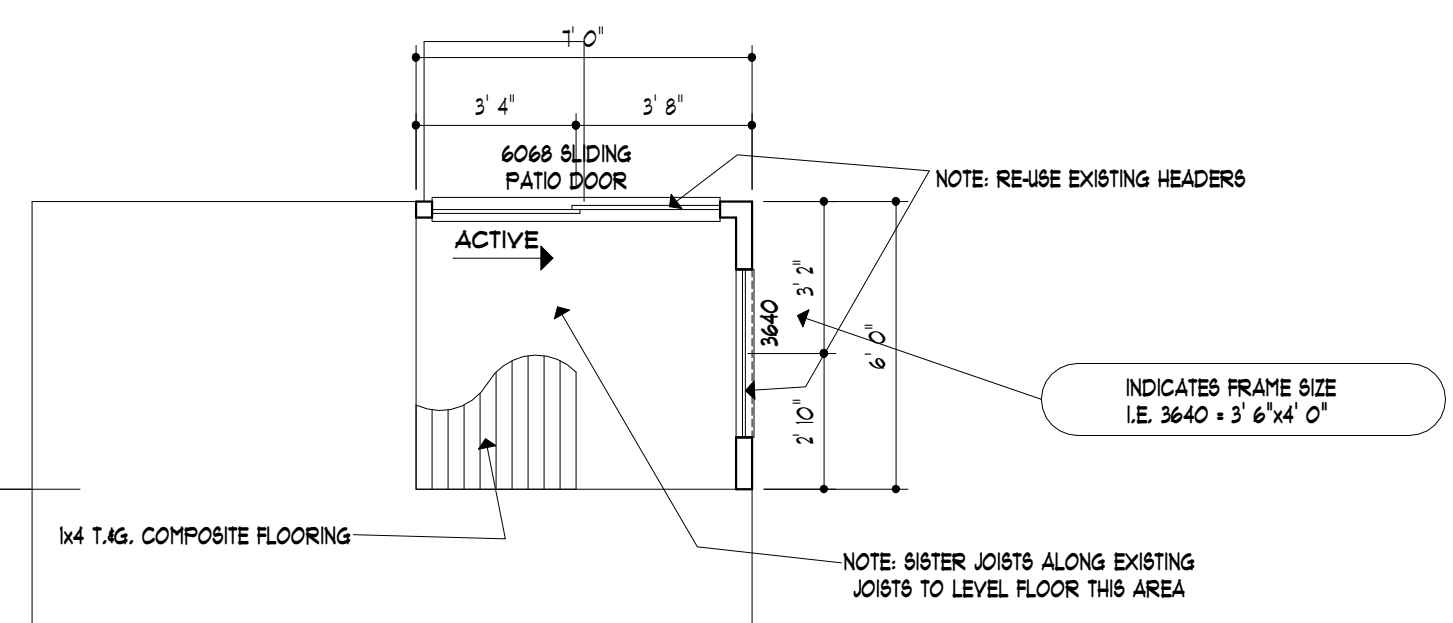
AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

REV. NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	21 MAY 2015

PROJECT: PORCH ADDITION TO: A PRIVATE RESIDENCE  
LOCATION: 1040 NICHOLSON AVENUE LAKEWOOD, OHIO 44101 CUYAHOGA COUNTY PERMANENT PARCEL NUMBER: 312-01-024

ADDITION PLANS

SCALE: AS NOTED	JOB NUMBER: 2BWRIGHTM1
DATE: 15 MAY 2025	CAD FILE NAME: C:\DRAWINGS\CENTRAL\ARCHIVE\SCHILL\2BWRIGHTM1\250425\250425.CAD
STEPHEN M. SCHILL LICENSE # 8871 EXPIRATION DATE: 03/31/2025	<b>A-1</b>
	DRAWING NUMBER



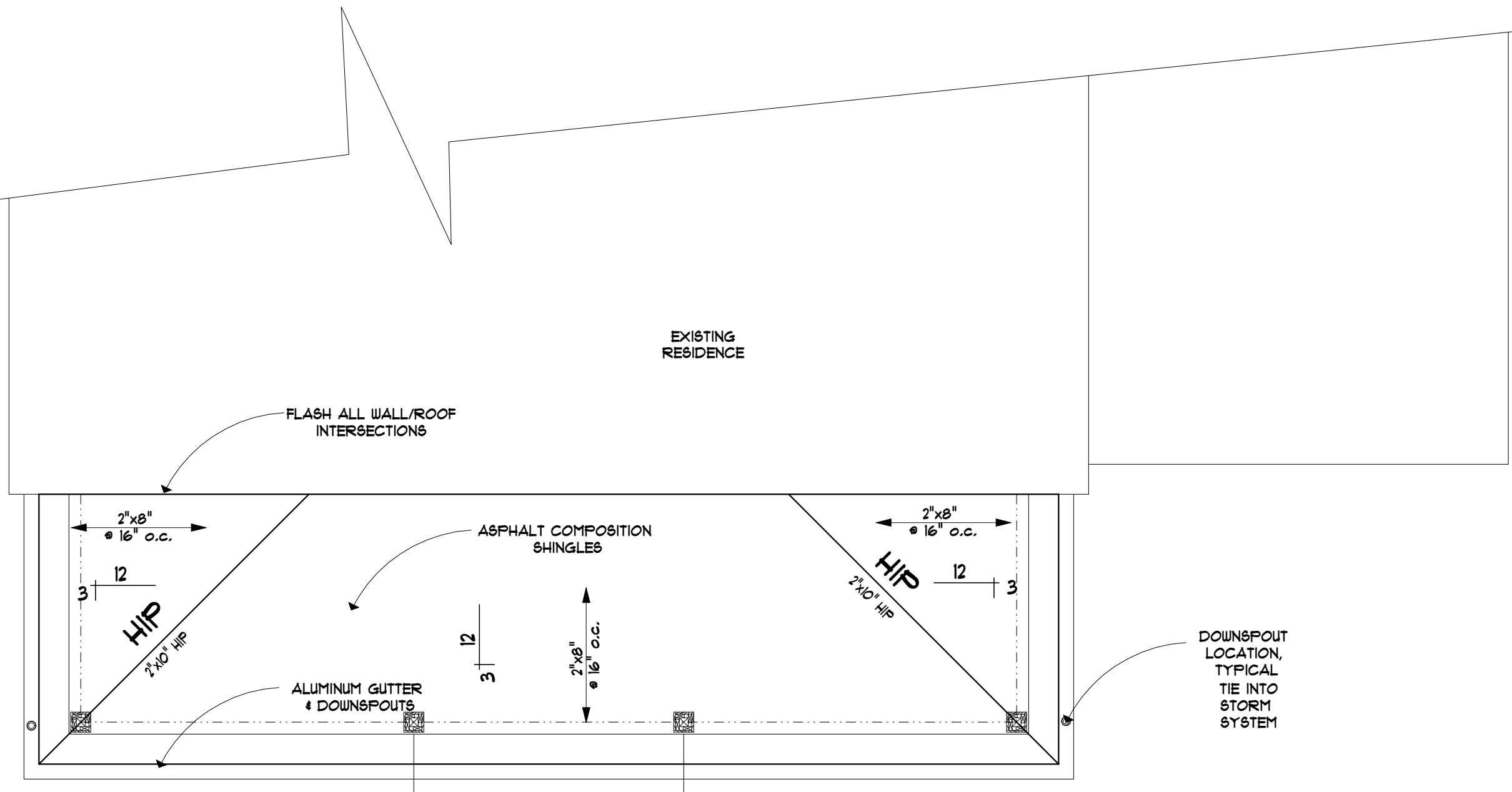
NOTE: ALL STAIRS SHALL COMPLY WITH SECTION R 311.5 OF THE R.C.O. ALL CONSTRUCTION SHALL INCLUDED, BUT NOT BE LIMITED TO THE FOLLOWING:  
1. ALL EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE OF THE DOOR. SEE EXCEPTIONS OF SECTION R311.4.3, WHEN THESE LANDINGS MAY BE OMITTED.  
2. GUARDS SHALL BE INSTALLED AS REQUIRED BY SECTION R 312.1 OF THE R.C.O.  
3. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. THE HANDRAIL SHALL BE LOCATED NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES FROM THE SLOPED PLANE OF THE TREAD NOSING

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREA, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

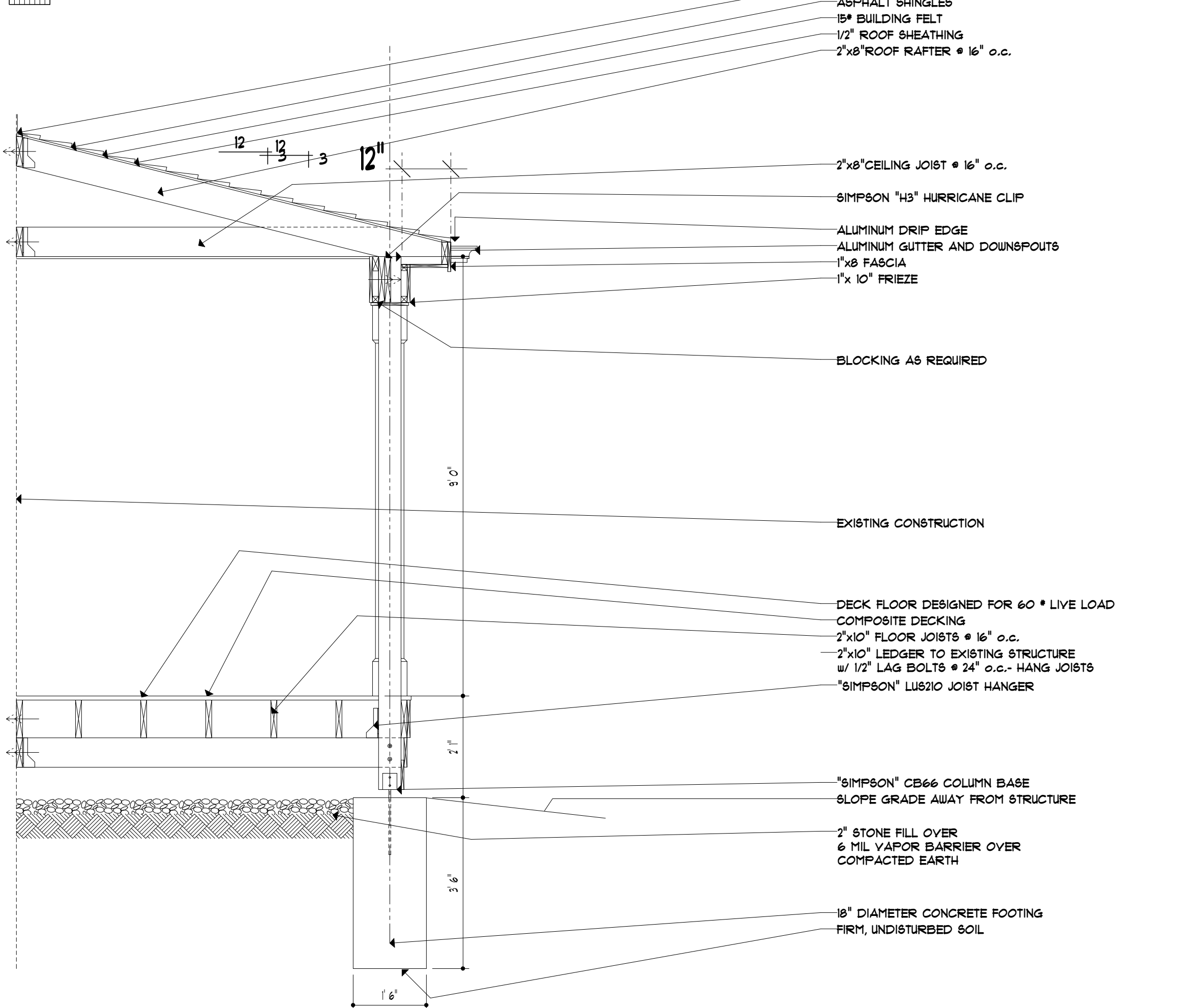
5015.1 Deck beam bearing. The ends of beams shall have not less than 1/2 - inches (38 mm) of bearing on wood or metal and not less than 3 - inches (76 mm) of bearing on concrete or masonry for the entire width of the beam. Where multiple-beam bear on intermediate posts, each ply must have full bearing on the post in accordance with Figures 5015.1(1) and 5015.1(2).

Section 210.12 requires that for chiseling units, all 120-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in chiseling unit kitchens, family rooms, dining rooms, living rooms, porches, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas shall be protected by AFCIs.

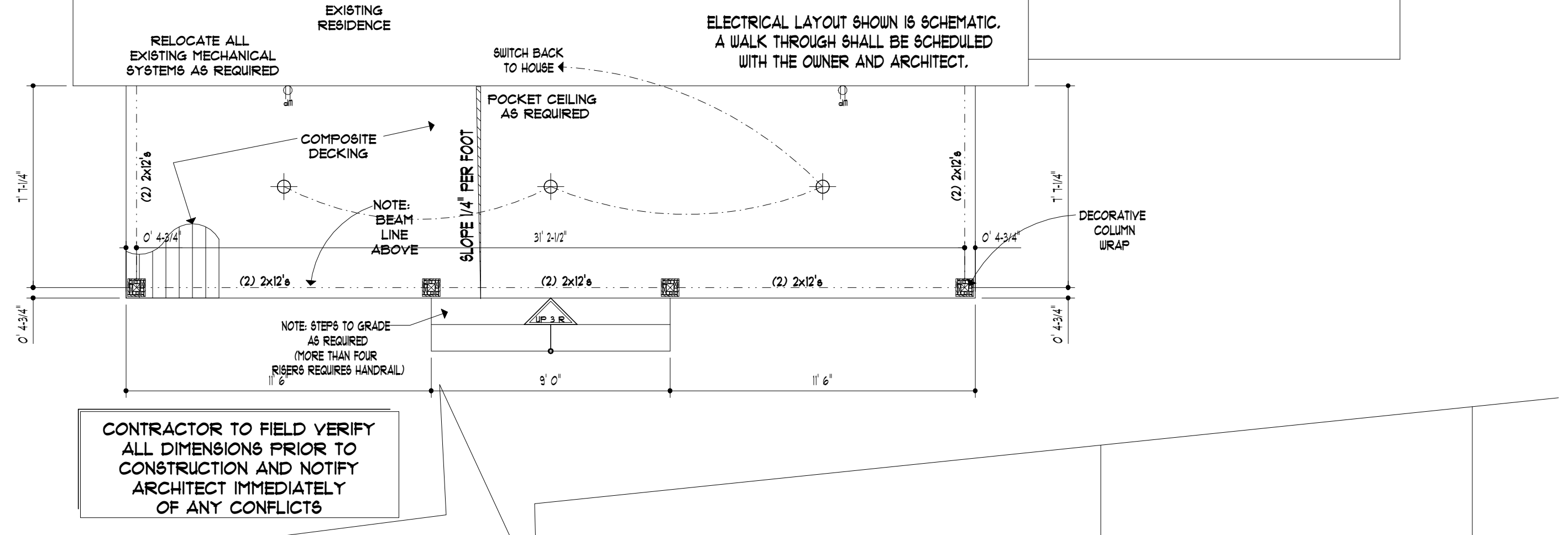
ELECTRICAL LAYOUT SHOWN IS SCHEMATIC. A WALK THROUGH SHALL BE SCHEDULED WITH THE OWNER AND ARCHITECT.



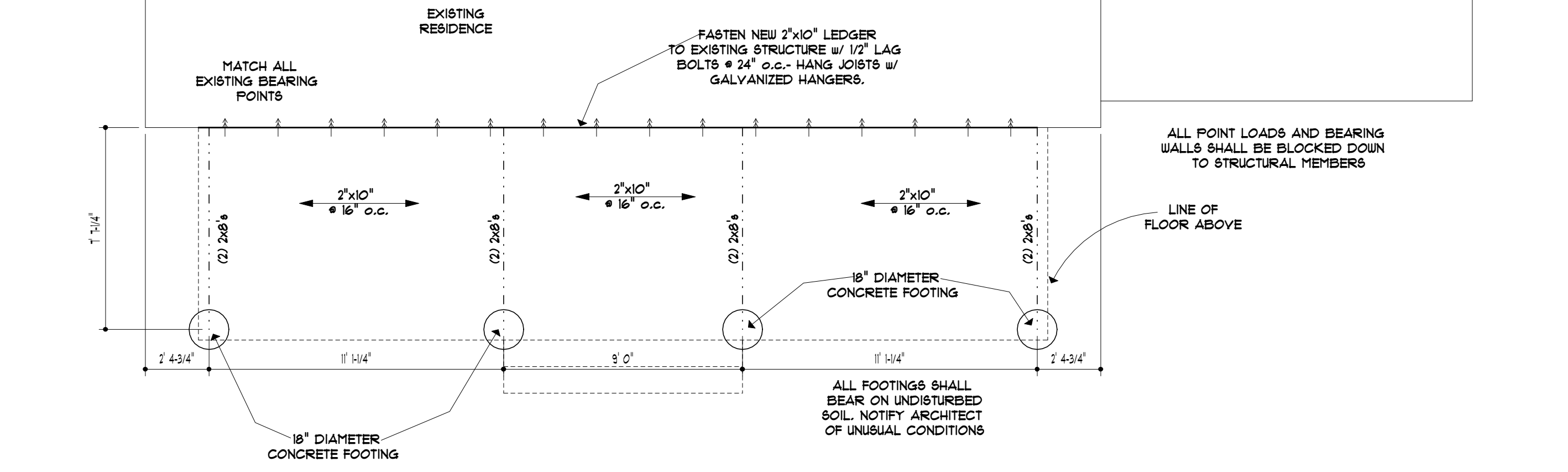
ROOF PLAN SCALE: 1/4" = 1' 0"



WALL SECTION SCALE: 1/2" = 1' 0"



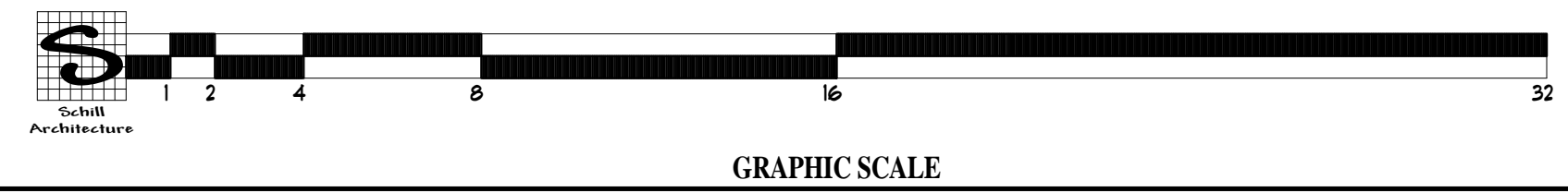
MAIN FLOOR PLAN SCALE: 1/4" = 1' 0"

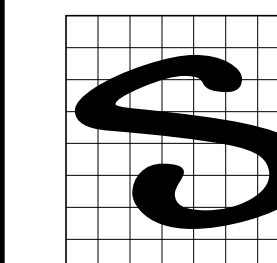


FOUNDATION PLAN SCALE: 1/4" = 1' 0"

MISCELLANEOUS PLANS SCALE: 1/4" = 1' 0"

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 RESIDENTIAL CODE OF OHIO





Schill  
Architecture

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EMAIL ADDRESS: STEVE@SCHILLARCHITECTURE.COM

**DESIGN LOADS**

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
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SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:  
1. ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.  
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3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

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UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
<b>TOTAL HEATED AREA</b>	<b>0,000 SQ.FT.</b>
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	256 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
<b>TOTAL AREA UNDER ROOF</b>	<b>256 SQ.FT.</b>
REAR PORCH (NOT COVERED)	0,000 SQ.FT.
<b>TOTAL PROJECT AREA</b>	<b>256 SQ.FT.</b>

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

ISSUED FOR PERMIT	21 MAY 2025
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REV. NO.	DESCRIPTION	DATE
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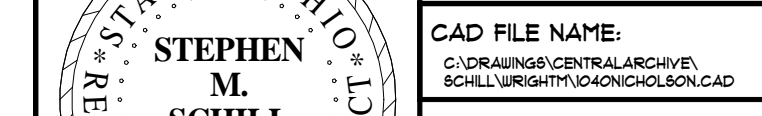
PROJECT:  
**PORCH ADDITION TO:  
A PRIVATE RESIDENCE**

LOCATION: 1040 NICHOLSON AVENUE  
LAKEWOOD, OHIO 44101  
CUYAHOGA COUNTY  
PERMANENT PARCEL NUMBER: 312-01-024

**ADDITION PLANS**

SCALE: AS NOTED	JOB NUMBER: 2BWRIGHT11
--------------------	---------------------------

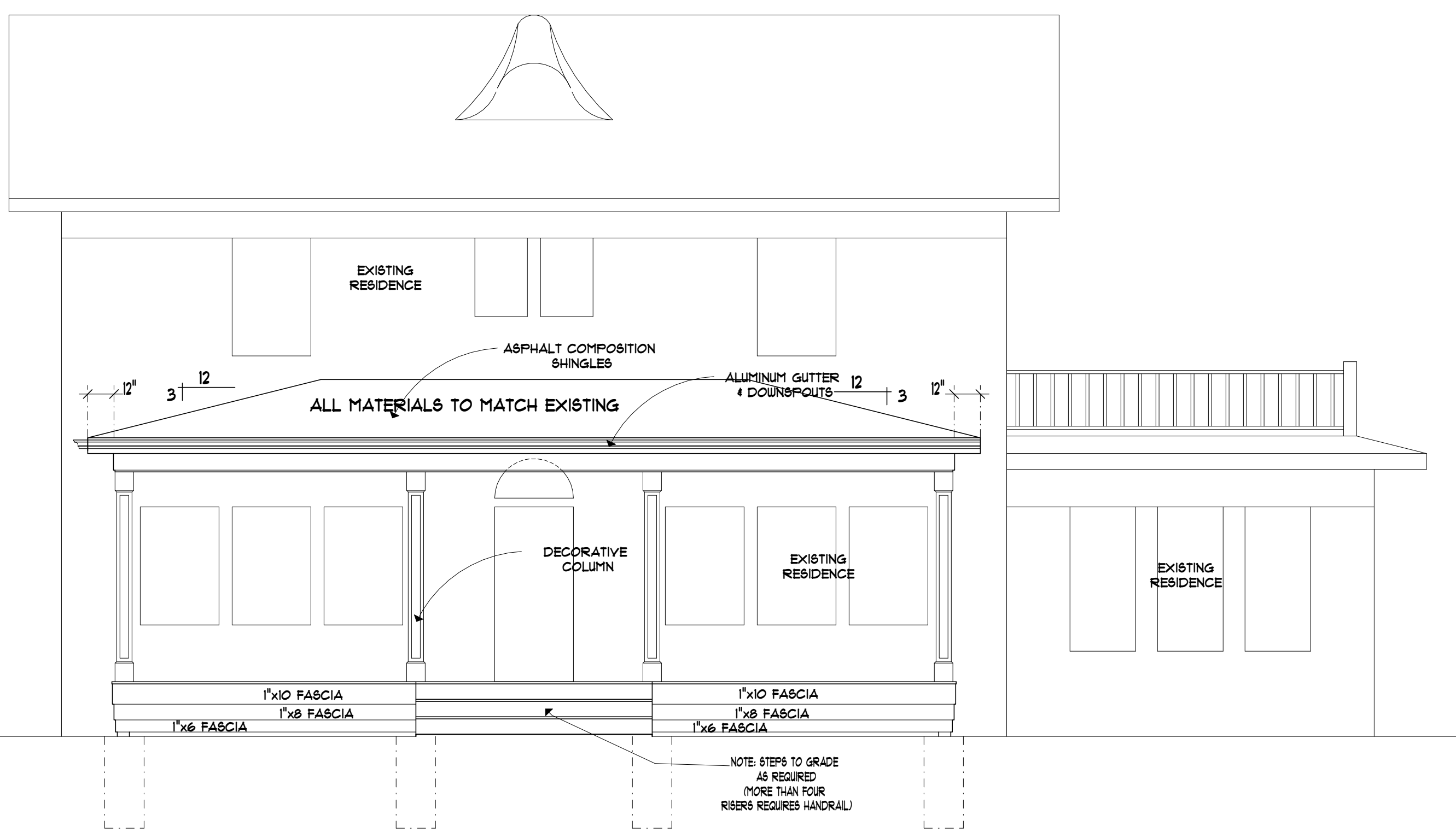
DATE: 15 MAY 2025	CAD FILE NAME: C:\DRAWINGS\CENTRAL\ARCHIVE\ SCHILL\URIGHT11\1040NICHOLSON.CAD
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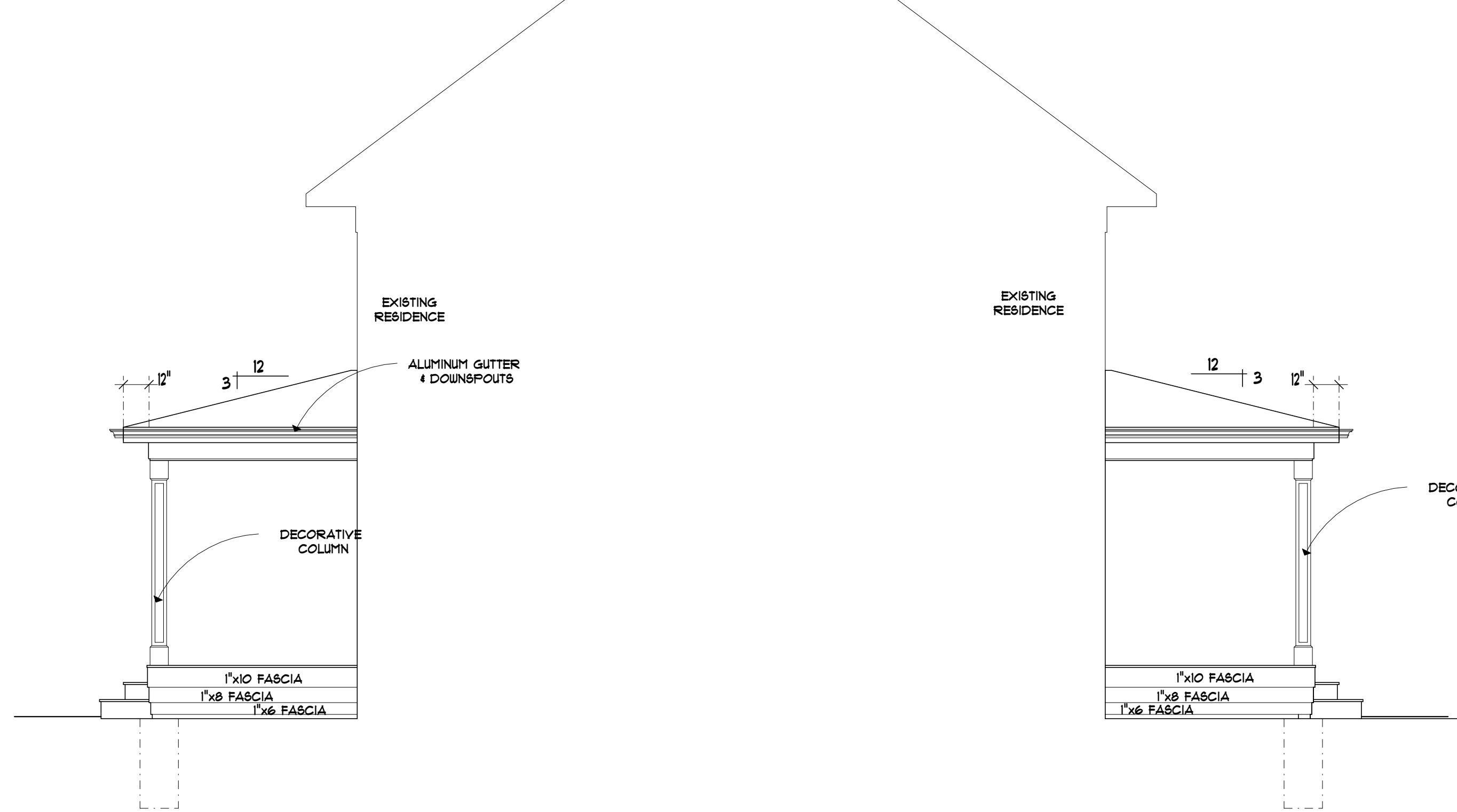
**A-2**

STEPHEN M. SCHILL, LICENSE # 8877  
EXPIRATION DATE: 03/31/2028

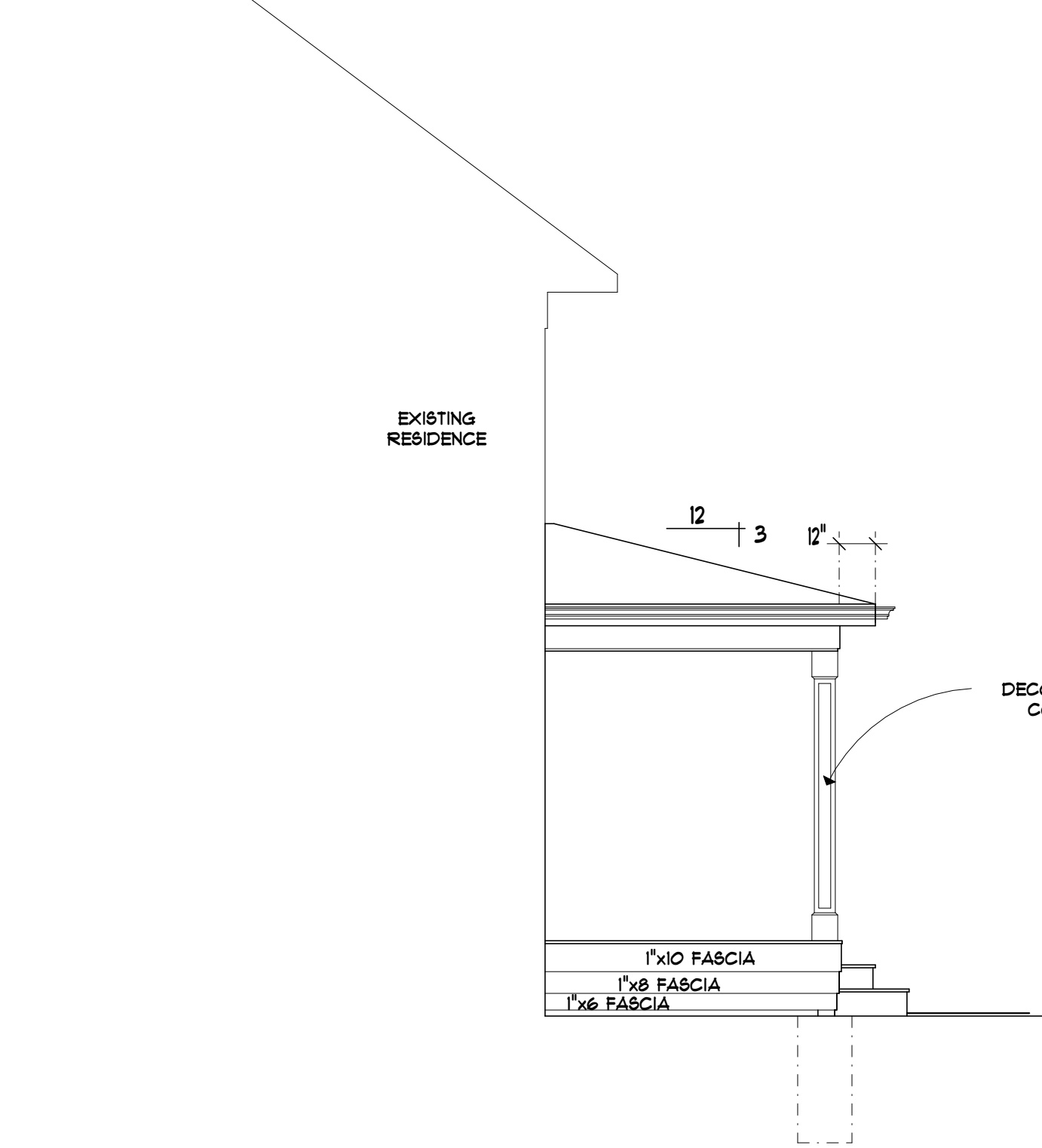
DRAWING NUMBER



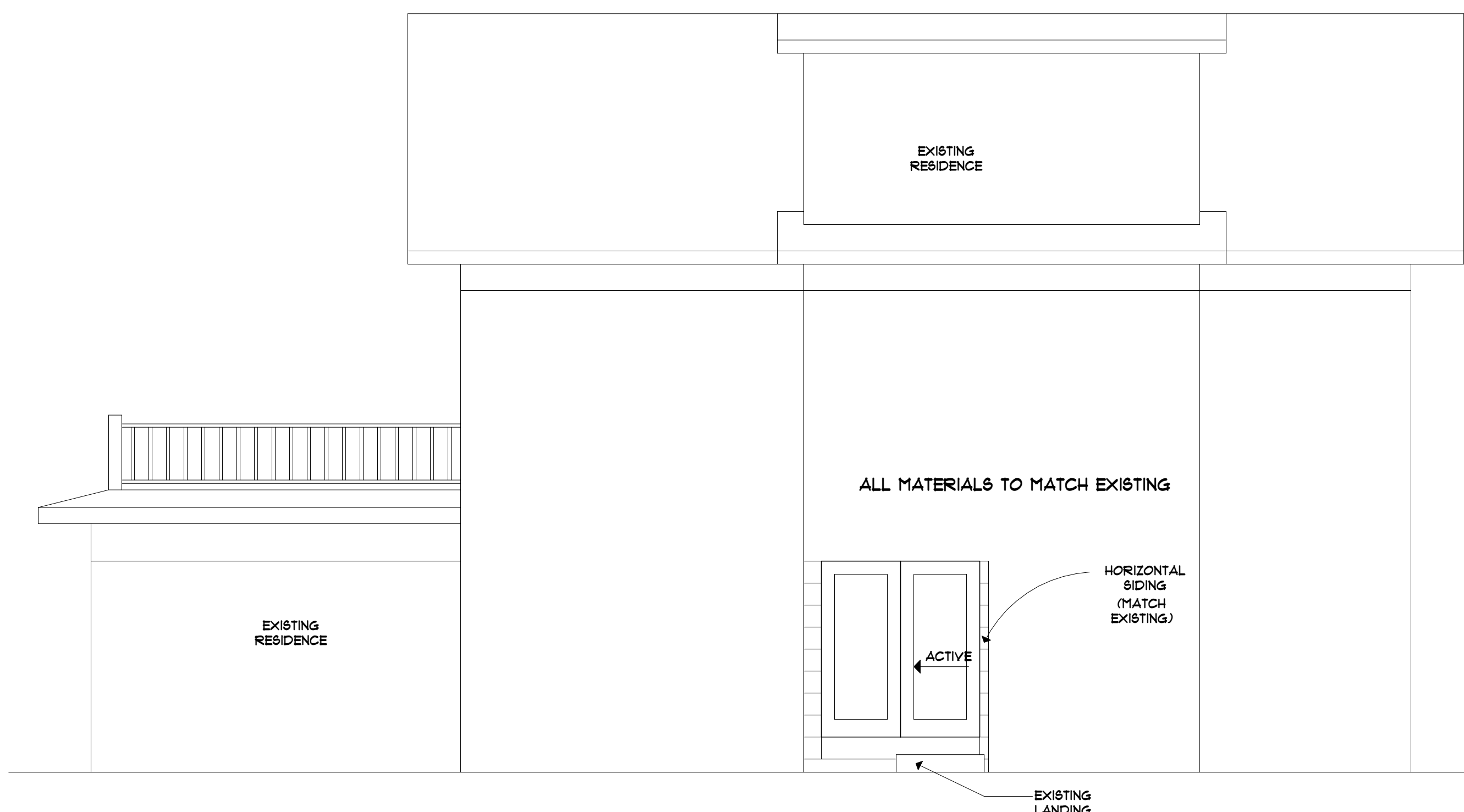
**EAST ELEVATION**  
SCALE: 1/4" = 1' 0"



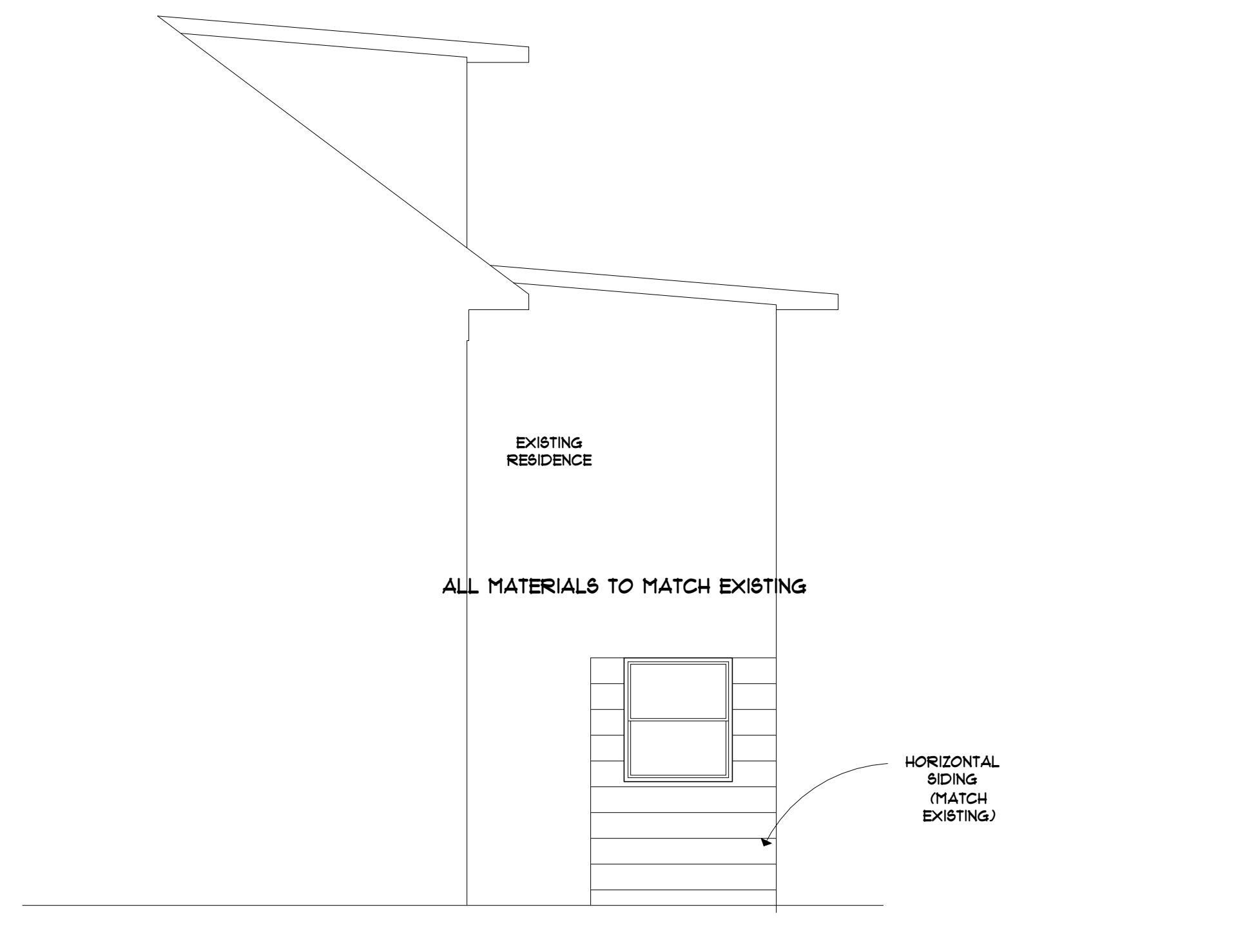
**NORTH ELEVATION**  
SCALE: 1/4" = 1' 0"



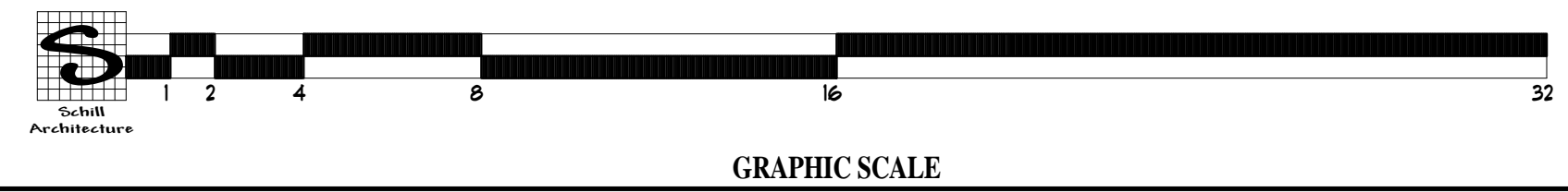
**SOUTH ELEVATION**  
SCALE: 1/4" = 1' 0"



**WEST ELEVATION**  
SCALE: 1/4" = 1' 0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1' 0"



GRAPHIC SCALE

**EXTERIOR ELEVATIONS**  
SCALE: 1/4" = 1' 0"

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO

# FASTENING SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENERS a,b,c	SPACING OF FASTENERS
<b>ROOF</b>			
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" x 0.135")	-----
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" x 0.135")	-----
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	-----
4	Collar tie rafter, face nail or 1/4"x20 gage ridge strap	3-10d (3" x 0.128")	-----
5	Rafter to plate, toe nail	2-16d (3 1/2" x 0.135")	-----
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3 1/2" x 0.135") 3-16d (3 1/2" x 0.135")	-----

<b>WALL</b>			
7	Built-up corner studs	10d(3" x 0.128")	24" o.c.
8	Built-up header, two pieces with 1/4" spacer	16d (3 1/2" x 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" x 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" x 0.113")	-----
11	Double studs, face nail	10d(3" x 0.128")	24" o.c.
12	Double top plates, face nail	10d(3" x 0.128")	24" o.c.
13	Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" x 0.135")	24" o.c.

<b>FLOOR</b>			
14	Sole plate to joist or blocking, face nail	16d (3 1/2" x 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 1/2" x 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	-----
17	Top or sole plate to stud, end nail	2-16d (3 1/2" x 0.135")	-----
18	Top plates, laps at corners and intersections, face nail	2-10d (3" x 0.128")	-----
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	-----
20	1"x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	-----
21	1"x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/2"	-----
22	Wider than 1"x 8" sheathing to each bearing, face nail	3-8d (2 1/2" x 0.113") 4 staples 1 1/2"	-----

<b>FLOOR</b>			
23	Joist to sill or girder, toe nail	3-8d (2 1/2" x 0.113")	-----
24	1"x 6" subfloor or less to each joist, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/2"	-----
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" x 0.135")	-----
26	Rite joist to top plate, toe nail (roof applications also)	8d (2 1/2" x 0.113")	6" o.c.
27	2" planks (plank & beam - floor 4 roof)	2-16d (3 1/2" x 0.135")	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	Nail each layer as follows: 33" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" x 0.135")	At each joist or rafter

## WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING AND PARTICLEBOARD WALL SHEATHING TO FRAMING

ITEM	DESCRIPTION OF BUILDING MATERIALS	NUMBER AND TYPE OF FASTENERS b,c,e	SPACING OF FASTENERS
30	3/8"-1/4"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof)	6 12 g
31	19/32"-1"	8d common nail (2 1/2" x 0.131")	6 12 g
32	1 1/8"-1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6 12

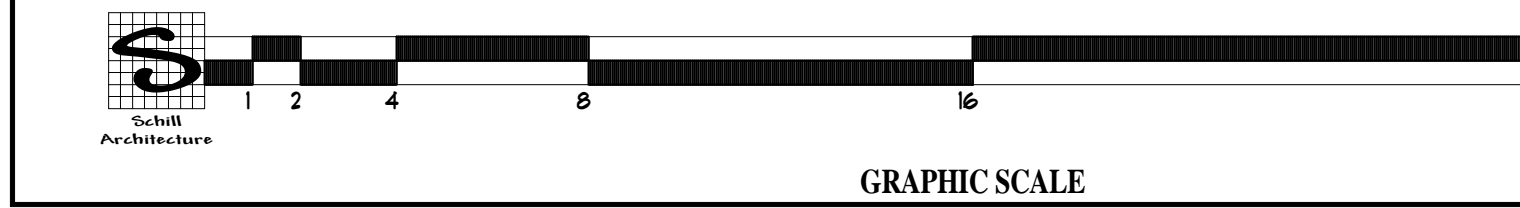
## OTHER WALL SHEATHING h

33	1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" crown or 1" crown staple 1/8" ga., 1/4" long	3 6
34	25/32" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" crown or 1" crown staple 1/8" ga., 1/4" long	3 6
35	1/2" gypsum sheathing d	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/8" screws, Type II or S	7 7
36	3/8" gypsum sheathing d	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/8" screws, Type II or S	7 7

## WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING

37	1/4" and less	6d deformed (2" x 0.130") nail or 8d common (2 1/2" x 0.131") nail	12
38	1/8"-1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.130") nail	12
39	1 1/8"-1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.130") nail	12

For 8d: 1 inch x 25.4 mm, 1 mill per hour x 0.441 mils, 1 mil x 6.895 MPa.  
 a. All nails are smooth-shank, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.132 inch (30d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.171 inch, and 100 ksi for shank diameters of 0.142 inch or less.  
 b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.  
 c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.  
 d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.  
 e. Spacing of fasteners not included in this table shall be based on Table 602.3(1).  
 f. For regions having basic wind speed of 100 mph or greater, 8d deformed (2 1/2" x 0.130") nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gables and walls, if mean roof height is more than 25 feet, up to 35 feet maximum.  
 g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable and wall framing shall be spaced 6 inches on center, when basic wind speed is greater than 100 mph; nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable and wall framing.  
 h. Gypsum sheathing shall conform to ASTM C 396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.  
 i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.



## ALTERNATE ATTACHMENTS

### WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING AND PARTICLEBOARD WALL SHEATHING TO FRAMING

NOMINAL MATERIAL THICKNESS (INCHES)/DESCRIPTION a,b OF FASTENERS (INCHES)	SPACING c OF FASTENERS	
	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
UP TO 1/2"	Staple 15 ga. 1 1/2"	4 8
	0.091 - 0.099 Nail 2 1/4"	3 6
19/32 and 5/8"	Staple 16 ga. 1 1/2"	3 6
	0.113 Nail 2"	3 6
23/32 and 3/4"	Staple 15 and 16 ga. 2"	4 8
	0.091 - 0.099 Nail 2 1/4"	4 8
	Staple 14 ga. 2"	4 8
	Staple 15 ga. 1 1/2"	3 6
	0.091 - 0.099 Nail 2 1/4"	4 8
	Staple 16 ga. 2"	4 8
	Staple 14 ga. 2"	4 8
	Staple 15 ga. 2 1/4"	3 6
	Staple 15 ga. 2 1/4"	4 8
	0.091 - 0.099 Nail 2 1/4"	4 8

### FLOOR UNDERLAYMENT: PLYWOOD-HARDWOOD-PARTICLEBOARD f

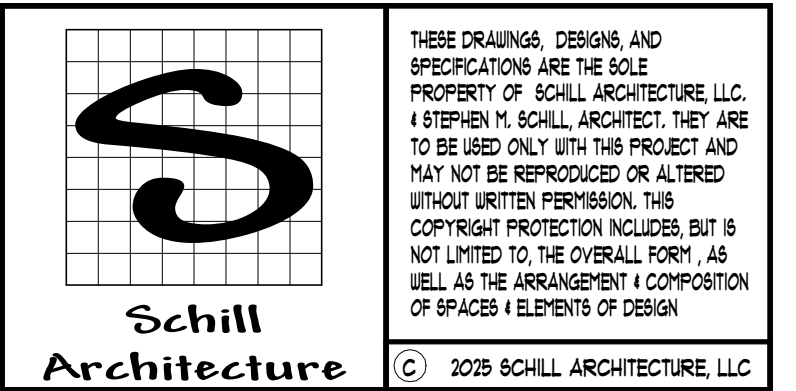
NOMINAL MATERIAL THICKNESS (INCHES)/DESCRIPTION a,b OF FASTENERS (INCHES)	SPACING c OF FASTENERS	
	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
<b>PLYWOOD</b>		
1/4 and 5/16"	1/4 ring or screw shank, nail-minimum 12 1/2 ga. (0.099") shank diameter	3 6
	Staple 18 ga. 1/8, 3/16 crown width	2 5
19/32, 5/8, 19/32, and 1/2"	1/4 ring or screw shank, nail-minimum 12 1/2 ga. (0.099") shank diameter	6 8e
	1/4 ring or screw shank, nail-minimum 12 1/2 ga. (0.099") shank diameter	6 8
1/2, 5/8	Staple 16 ga. 1 1/2"	6 8
	1 1/2 long ring-grooved underlayment nail	6 6
0.200	4d cement-coated sinker nail	6 6
	Staple 18 ga. 1/8 long (plastic coated)	3 6
<b>PARTICLEBOARD</b>		
1/4"	4d ring-grooved underlayment nail	3 6
	Staple 18 ga. 1/8 long, 3/16" crown	3 6
3/8"	6d ring-grooved underlayment nail	6 10
	Staple 16 ga. 1/8 long, 3/8" crown	3 6
1/2, 5/8	6d ring-grooved underlayment nail	6 10
	Staple 16 ga., 1 5/8" long, 3/8" crown	3 6

For 8d: 1 inch x 25.4 mm.  
 a. Nail is a general description and may be T-head, modified round head or round head.  
 b. Staples shall have a minimum crown width of 3/16-inch on diameter except as noted.  
 c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.  
 d. Fasteners shall be placed in a grid pattern throughout the body of the panel.  
 e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.  
 f. Hardboard underlayment shall conform to CPAN/ANSI A 135.4.

### REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES a,b,c

MINIMUM NAIL SIZE	PENETRATION (INCHES)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)		
					Edges (Inches o.c.)	Field (Inches o.c.)	Wind exposure category		
6d Common (2 1/2" x 0.131")	1 1/2"	24/0	3/8"	16"	6	12	10	90	85
6d Common (2 1/2" x 0.131")	1 1/2"	24/6	1/8"	16"	6	12	110	90	
									110

For 8d: 1 inch x 25.4 mm, 1 mill per hour x 0.441 mils.  
 a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.  
 b. Table is based on wind pressures acting toward and away from building surfaces per Section 301.2. Lateral bracing requirements shall be in accordance with Section 602.10.  
 c. Wood Structural Panels with span ratings of Wall-6 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 oc or 24 oc shall be permitted as an alternate to panels with a 24/6 span rating. Wall-6 and Plywood siding 16 oc shall be used with studs spaced a maximum of 16 inches on center.



**Schill Architecture**  
 8SCHILL ARCHITECTURE, LLC  
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 FACSIMILE: 440.808.3485  
 WWW.SCHILLARCHITECTURE.COM

OFFICE ADDRESS: 180 CROSSINGS PARKWAY SUITE E WESTLAKE, OHIO 44145  
 EMAIL ADDRESS: STEVE@SCHILLARCHITECTURE.COM

### DESIGN LOADS

COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK UP STORAGE)	30 P.S.F.	15 P.S.F.	45 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	15 P.S.F.	35 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	15 P.S.F.	25 P.S.F.
DECKS	40 P.S.F.	15 P.S.F.	55 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	15 P.S.F.	75 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	15 P.S.F.	215 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	15 P.S.F.	65 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	15 P.S.F.	65 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	15 P.S.F.	55 P.S.F.
SLEEPING ROOMS	30 P.S.F.	15 P.S.F.	45 P.S.F.
STAIRS	40 P.S.F.	15 P.S.F.	55 P.S.F.
ROOFS	25 P.S.F.	15 P.S.F.	40 P.S.F.
SNOW	25 P.S.F.	N.A.	25 P.S.F.
WIND	15 M.P.H.	N.A.	15 M.P.H.
SOIL BEARING	2000 P.S.F.	N.A.	2000 P.S.F.

NOTES:  
 1. ASSUMED SOIL BEARING CAPACITY IS 2000 P.S.F. A GEOTECHNICAL ENGINEER SHALL BE RETAINED AND THE ARCHITECT SHALL BE NOTIFIED AT ONCE IF UNUSUAL OR UNSTABLE SOIL CONDITIONS EXIST.  
 2. NOTIFY ARCHITECT IF STONE OR TILE FLOORING IS TO BE USED.  
 3. NOTIFY ARCHITECT IF ROOFING MATERIAL IS OTHER THAN ASPHALT SHINGLE.

### MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE- 8"	N.A.
MAIN FLOOR	WOOD-2"x6" 1/2"x4"	N.A.
UPPER FLOOR	WOOD-2"x6" 1/2"x4"	N.A.

### AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	0,000 SQ.FT.
FINISHED LOWER LEVEL	0,000 SQ.FT.
MAIN LEVEL	0,000 SQ.FT.
UPPER LEVEL	0,000 SQ.FT.
UPPER LEVEL(VOLUME SPACE)	0,000 SQ.FT.
THIRD FLOOR	0,000 SQ.FT.
<b>TOTAL HEATED AREA</b>	<b>0,000 SQ.FT.</b>
GARAGE	0,000 SQ.FT.
ARRIVAL PORCH	256 SQ.FT.
FRIENDS/ FAMILY PORCH	0,000 SQ.FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ.FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ.FT.
REAR PORCH (NOT COVERED)	0,000 SQ.FT.
<b>TOTAL PROJECT AREA</b>	<b>256 SQ.FT.</b>

AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS, STAIRWELLS AND TERRACE AREAS ARE INCLUDED ONCE GARAGES, OPEN SPACES, DECKS, PATIOS, AND EXTERIOR PORCHES ARE NOT INCLUDED IN THESE FIGURES. THEY ARE SUMMARIZED AS ADDITIONAL AREAS IN THIS TABLE.

ISSUED FOR PERMIT: 21 MAY 2025

REV. NO.	DESCRIPTION	DATE

PROJECT:  
**PORCH ADDITION TO:  
 A PRIVATE RESIDENCE**  
 LOCATION: 1040 NICHOLSON AVENUE  
 LAKEWOOD, OHIO 44101  
 CUYAHOGA COUNTY  
 PERMANENT PARCEL NUMBER: 312-01-024

### ADDITION PLANS

SCALE:	JOB NUMBER:
A6 NOTED	2BUWRIGHTM1

DATE:  
 15 MAY 2025

CAD FILE NAME:  
 C:\DRAWINGS\CENTRAL\ARCHIVE\2BUWRIGHTM1\1040NICHOLSON.CAD

**A-3**  
 DRAWING NUMBER

## SPECIFICATIONS

SCALE: NONE

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO

STEPHEN M. SCHILL, LICENSE # 8971  
 EXPIRATION DATE: 03/31/2025







1040



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 07-59-25

Permit No.: BBS25-000056

Applicant Name: Vincent Valentino

Project Address: 1515 Wayne Ave.

Project Name: n/a

Project: Applicant proposes the addition of a dormer on the south side of the roof.

# PERMISSION TO ENTER PROPERTY

**Purpose:** Authorization to Enter Property for construction project.

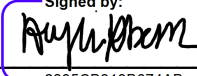
**Location:** 1515 and 1517 Wayne Ave Lakewood OH 44107 (Multi-family/Duplex)


I, Haylie Haberek (tenant 1) and Jeremy Giesken (tenant 2)], as the lawful tenant(s) of the above-referenced property, hereby authorize the landlord/property manager and their designated contractors to enter the premises for the purpose of conducting the construction or renovation work as described below.

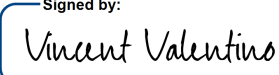
I understand and agree to the following terms:

- Scope of Work:** The authorized work includes, but is not limited to:  
Third floor dormer extension project, and additional construction related to build (ie. electrical, plumbing, structural changes, other)
- Access Schedule:** Entry will occur as needed. Tenant(s) will be notified within 24-hours for entry.  
Estimated Start: Summer/Fall 2025  
Estimated End: Currently Unknown (tenant will be notified of specific start/end dates, upon plan approval and contractors schedule, once known).
- Advance Notice:** I will be notified at least 24-hours in advance of entry, unless in case of an emergency.
- Safety and Clean-Up:** Contractors will take reasonable care to minimize disruption and leave the property in clean, safe condition after each workday.

---

(1) **Tenant Signature:**   
**Date:** 6/15/2025

(2) **Tenant Signature:**   
**Date:** 6/15/2025

**Landlord/Manager Signature (If multiple, only 1 require):**   
**Date:** 6/16/2025

14/11/16

# Valentino Residence

# Room Addition



## drawing index

- A-1 cover sheet
- A-2 elevations
- A-3 foundation floor plan / main floor plan
- A-4 upper floor plan / attic floor plan (electric)
- A-5 section/details

## code summary & design criteria

- 2024 Ohio Plumbing Code
- 2024 Ohio Mechanical Code
- 2023 National Electric Code (NEC) - NFPA 70-17
- 2021 International Fuel Gas Code
- Accessibility - Chapter 11 OBC with current amendments & ICC/ANSI A117.1-2009
- 2018 International Energy Conservation Code
- ASHRAE 90.1-2010
- 2016 National Fire Alarm Code (NFPA 13-16)
- 2016 International Fire Code
- 2019 OBC - Residential Code of Ohio (RCC)

**Design Snow Load:**  
 section 301 design criteria  
 figure 301.2(5) ground snow loads  
 roof snow load = 20 psf

**Design Wind Load:**  
 table 301.2(2) component and cladding loads for a building  
 with a mean roof height of 33 feet located in exposure b  
 115 mph (3 second gust)

## building information

Square Foot (Finished/Living)	
Basement	0
Main Floor	0
Upper Floor (addition)	166
	166

Concrete	
Basement	0
Garage	0
Entry Covered Porch	0
Rear Covered Porch	0

## general notes

the use of these documents is restricted to the ordinal site for which they were prepared, reuse or reproduction of the documents (in whole or in part), for any other purpose is prohibited. Streamline Designs, and Jonah Bok retains all rights of ownership for these documents.

do not scale drawings, written dimensions govern.

if a discrepancy or conflict between code requirements, drawings details, specifications, engineering data, manufacturer's recommendations, or owner provided information becomes known to the contractor, he or she shall promptly report to the conflict or discrepancy in writing to the architect or owner's representative for clarification and corrected action, in addition, any work installed in conflict with requirements identified herein, without proper notification shall be corrected by the contractor at this or her expense, and at no cost to the architect, engineer, occupant, or building owner.

all exterior dimensions are from face of masonry to face of masonry, or face of sheathing unless otherwise noted. verify all dimensions prior to beginning work.

all interior dimensions are from the face of rough framing to face of rough framing unless otherwise noted. verify all dimensions prior to beginning work.

sub-contractor shall determine erection procedure and sequencing and provide whatever bracing that may be required to complete the work.

verify all rough openings with manufacturer prior to framing.

each sub-contractor shall obtain and pay for required permits and schedule at inspections and coordinate all trades.

the contractor and sub-contractors shall be solely responsible for complying with all federal, state and local safety requirements together with exercising precautions at all times for the protection of all persons including employees and property. it is the sole responsibility of the contractor and sub-contractors to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work.

draftstopping shall be provided in all attic areas exceeding 3,000 sq. ft. in area.

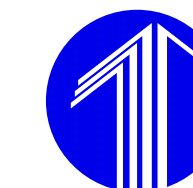
firestopping shall be installed in all concealed spaces of stud walls and partitions including furred or studded off spaces of masonry or concrete walls, and at the ceiling and floor or roof levels. firestopping shall be installed at the interconnections between vertical and horizontal spaced such as occurring at soffits over cabinets, drop ceilings, cove ceiling and etc.

symbols and abbreviations used on these drawings are considered to be construction standards. if the contractor has questions regarding abbreviations or symbols as to their exact meaning, the designer shall be notified at once for clarification.

## consultants

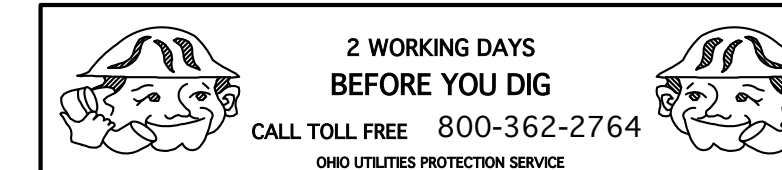
### STRUCTURAL ENGINEERING BY:

**PRO-E DESIGN, LLC**  
 1261 Meadow Woods Dr.  
 Macedonia, OH 44056  
 330.467.5877  
 prodesignohio.com



all residential plans drawn by streamline designs are structurally sized by an independent structural engineer.

any beam size, wall movements or spanned opening changes made during construction to a stamped set of plans without consulting streamline designs completely negates any structural responsibilities of independent structural engineer.



## abbreviation legend

a.f.f.	above finish floor	elev.	elevation	max.	maximum	sched.	schedule
a.c.t.	acoustical ceiling tile	eq.	equal	mech.	mechanical	sht. no.	sheet number
alum.	aluminum	ex.	existing	mtl.	metal	sect.	section
approx.	approximate	exp. jt.	expansion joint	min.	minimum	stl. fr.	steel frame
bd.	board	fin.	finish	midg.	moulding	struct.	structural
b.o.	bottom of	flr.	floor	mtd.	mounted	s.g.	supply grille
blk'g	blocking	g.b.	glass block	mfr.	manufacturer	susp. clg.	suspended ceiling
bm.	beam	gl.	glass	n.i.c.	not in contract	sim.	similar
c.t.	ceramic tile	gyp. bd	gypsum board	n.t.s.	not to scale	t.	tread
clg.	ceiling	h.m.	hollow metal	o.c.	on center	t.o.	top of
cl.	center line	h.p.	high point	o.d.	outside dimension	typ.	typical
c.j.	control joint	ht.	height	opn'g.	opening	u.n.o.	unless noted otherwise
clr.	clear dimension	hr.	hour	plas.	plaster	v.i.f.	verify in field
cmu	concrete masonry unit	i.d.	inside dimension	plam.	plastic laminate	vin.	vinyl
col.	column	insul.	insulation	ptd.	painted	vnr.	vener
conc.	concrete	jst. brg.	joist bearing	plumb.	plumbing	v.b.	vapor barrier
contr.	contractor	l.p.	low point	r.	riser	w.w.f.	welded wire fabric
cpt.	carpet	m.o.	masonry opening	r.d.	roof drain	w/	with
d.s.	down spout	mas.	masonry	r.o.	rough opening	wd.	wood
dbl.	double	matl.	material	ref.	refer to	w.p.	work point
dtl.	detail			reinf.	reinforced	win.	window
dn.	down			r.g.	return grille		
dwg (s)	drawings			rfg.	roofing		
ea.	each						
elec.	electrical						

streamline designs does not provide any construction supervision, builder and / or owner is responsible to verify that all structure matches the plans as drawn and designed.

streamline designs is not responsible for structural or non structural issues related to soil conditions, any design, plan flip, site study, mechanical or truss related changes and/or issues brought to streamline designs after the printing of final construction sets will be considered changes to the drawings and billed.

streamline designs is not a truss designer. engineered roof trusses are the responsibility of the builder and/or owner, lumber company and truss manufacturer. truss designed roof plans are to be reviewed by the truss manufacturer prior to printing final construction sets, during this review process it will be the responsibility of the truss manufacturer to verify that all plate heights, heel heights and roof pitches will create a buildable truss package. the truss manufacturer is also responsible to verify, and if necessary, adjust the size of or add any beam, post or header that is directly effected or required to carry the roof loads. in this event, the truss manufacturer, builder and/or owner shall contact schill architecture, llc to update the plan set.

it is the responsibility of the builder and/or owner to field verify all as built dimensions of foundation and framing prior to ordering trusses. streamline designs assumes no responsibility for trusses ordered solely from this set of construction documents.

streamline designs assumes no responsibility for any construction schedule changes or delays due to any engineered roof truss issues.

all trusses are to be designed by the truss manufacturer with detailed drawings describing truss layouts and load calculations used to design the trusses.

## symbol legend

point load above, continues load	existing floor joist/ceiling joist/rafter direction	kitchen cabinet and cased openings	main floor walls
point load above, transferred load to there bearing	floor joist direction	cantilever floors	main floor bearing walls
section	ceiling joist direction	other floor building lines	upper floor walls
sheet	rafter direction	roof line	upper floor bearing walls
cross section	roof truss direction	elevation lines	half wall
sloped ceiling direction	roof truss girder	hidden line & post footing	face brick
stair direction	flush multiple joist or beam	regular object line	walls above
elevation heights	dropped header or beam	center line	basement floor walls
inches	steel beam	plumbing fixtures above	c.m.u. foundation wall
feet	footer		contrasting foundation wall
door size (3'-0")	closet rod and shelf		poured foundation wall

## baseline structural criteria & design information

**Framing Lumber (Minimum):**  
 E = 1,600,000 psi  
 Fb = 1400 psi  
 Fv = 105 psi

**Microlam (LVL):**  
 E = 1,900,000 psi  
 Fb = 2600 psi  
 Fv = 285 psi

**Parallam (PSL):**  
 E = 2,000,000 psi  
 Fb = 2900 psi  
 Fv = 290 psi

**Steel: ASTM A-36**  
 E = 29,000,000 psi  
 Fb = 22 ksi  
 Fv = 14.5 ksi

**Wind Speed (design)**  
 90 MPH, ASD /  
 115 MPH ULT  
 exposure B

**Concrete:**  
 Interior = 3000 psi  
 Exterior = 4000 psi (air)

**Soil Bearing Capacity (min.):**  
 2500 psf assumed,  
 geotechnical engineer  
 to verify soil bearing  
 capacity

**Live Loads:**  
 Roof = 30 psf  
 Floor = 40 psf  
 Ceilings = 20 psf  
 Attic = 10 psf (no storage)  
 Attic = 20 psf (limited storage)  
 Decks = 40 psf  
 Balconies (Exterior) = 40 psf

**Dead Loads:**  
 Roof = 15 psf  
 Ceilings = 10 psf  
 Floor = 12 psf

**Allowable Deflection:**  
 Rafters = L/180  
 Ceilings = L/240  
 Floors = L/360  
 Beams & Headers = L/360  
 Lintels for Masonry = L/600  
 (L = Span Length)

**Truss Data (Min.):**  
 Top Chord: LL= 25 psf  
 DL= 10 psf  
 Bottom Chord: LL= 10 psf  
 (no storage)  
 DL= 5 psf

**Seismic Category**  
 B

**Engineered Products**  
 LVL's, PSL's, TJI's by Truss Joist Weyerhaeuser

all engineered floor systems shall be designed by the manufacturer.

it is the builder and/or owners responsibility to supply any/all of this information if requested by the building department to issue building permits.



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JOB NUMBER

104

DRAWN BY:

JMB

DATE

5/21/25

ISSUE

permits

REV

A

5/30/25

DESCRIP.

doc rev.

SHEET TITLE

cover sheet

SHEET

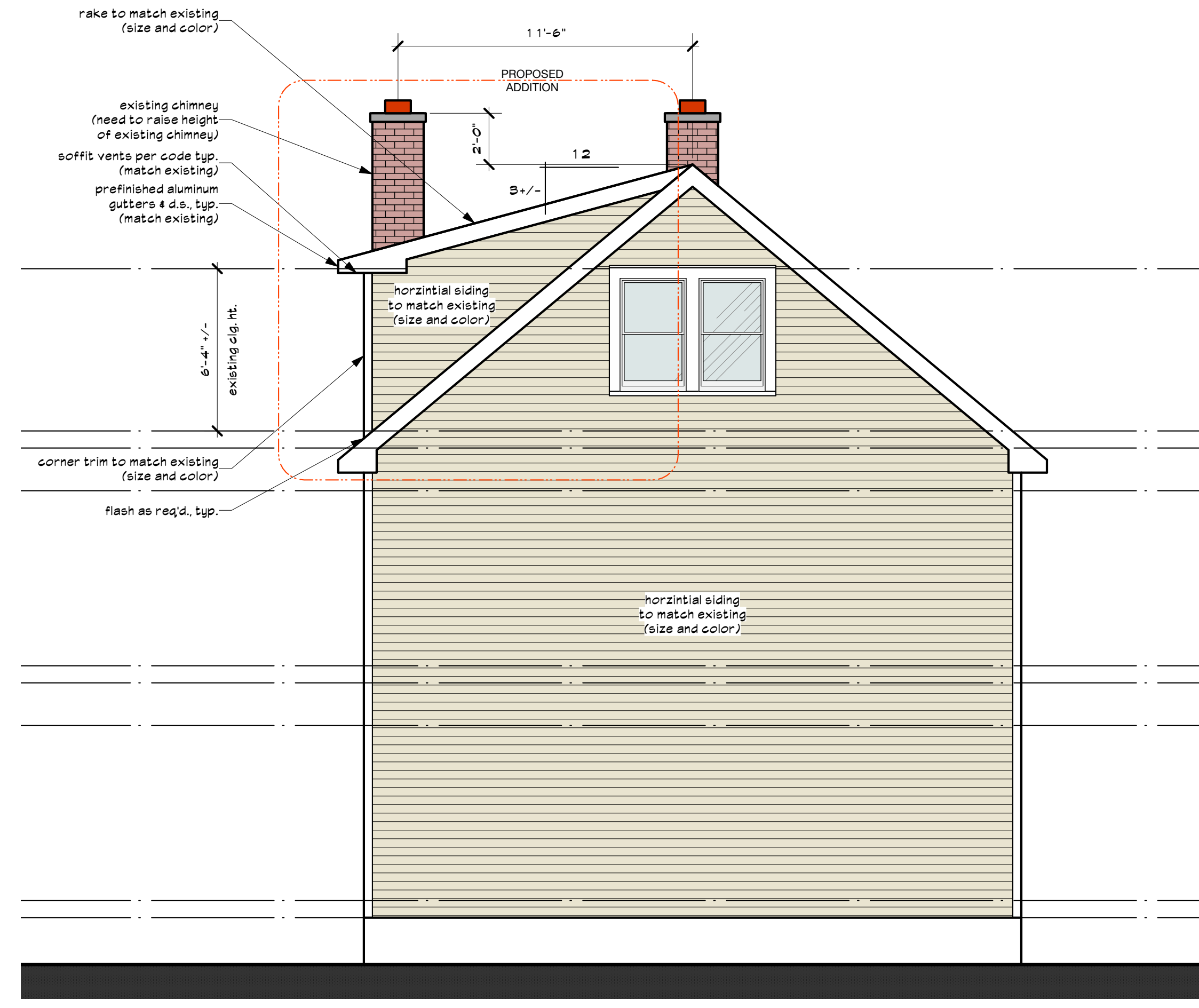
A-1

of

5

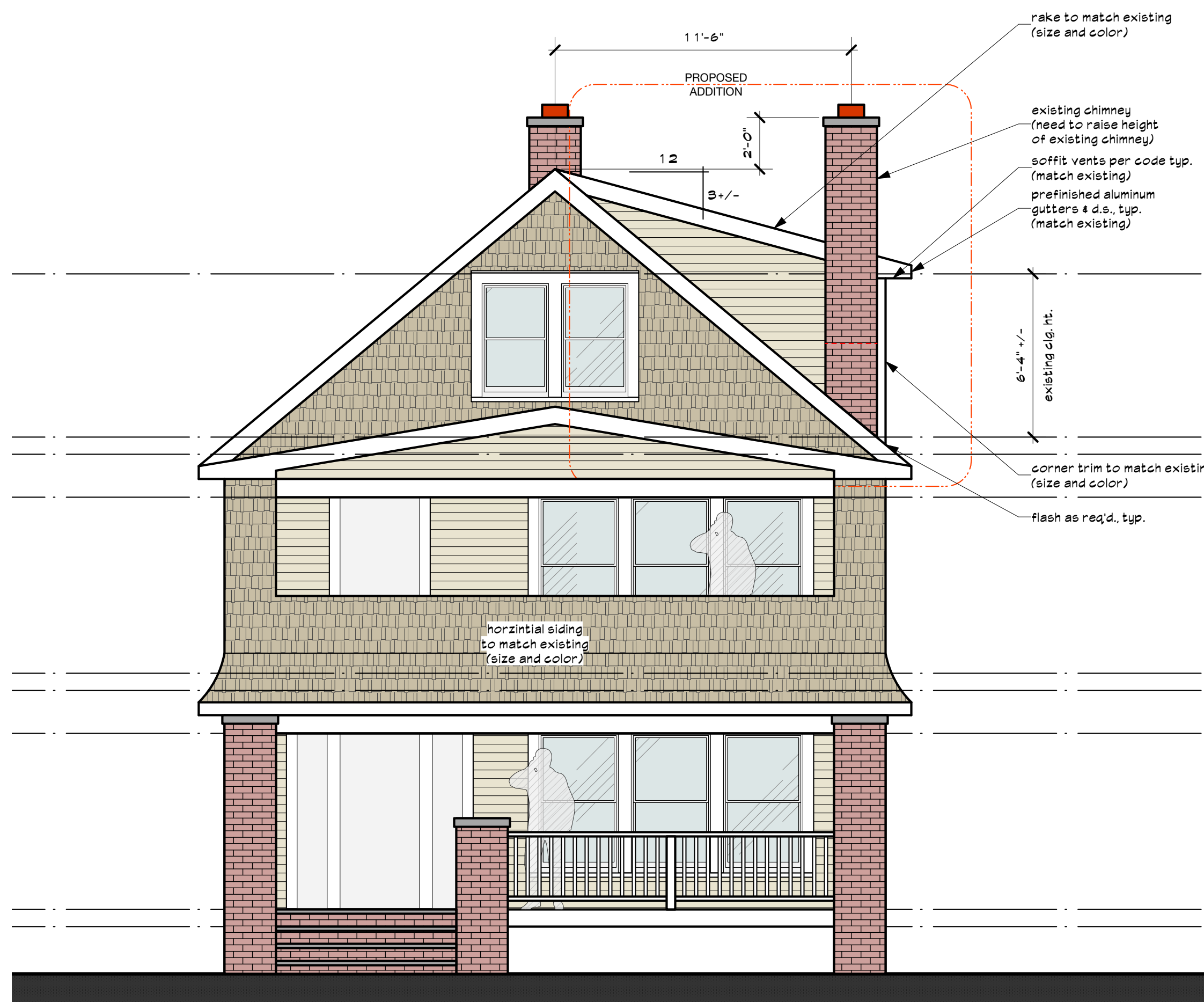
**note**

- 1) building contractor to verify all materials, finishes and sizes prior to construction.
- 2) provide safety glass for window glazing < 10' x 11' or adjust window size to fit.
- 3) field verify all window locations & rough openings as required with window manufacturers specifications.
- 4) treated wood include all anchors, connectors, fasteners etc. must be of suitable material to resist reaction or corrosion with the treated lumber. consult with manufacturer or material supplier for proper fasteners required.



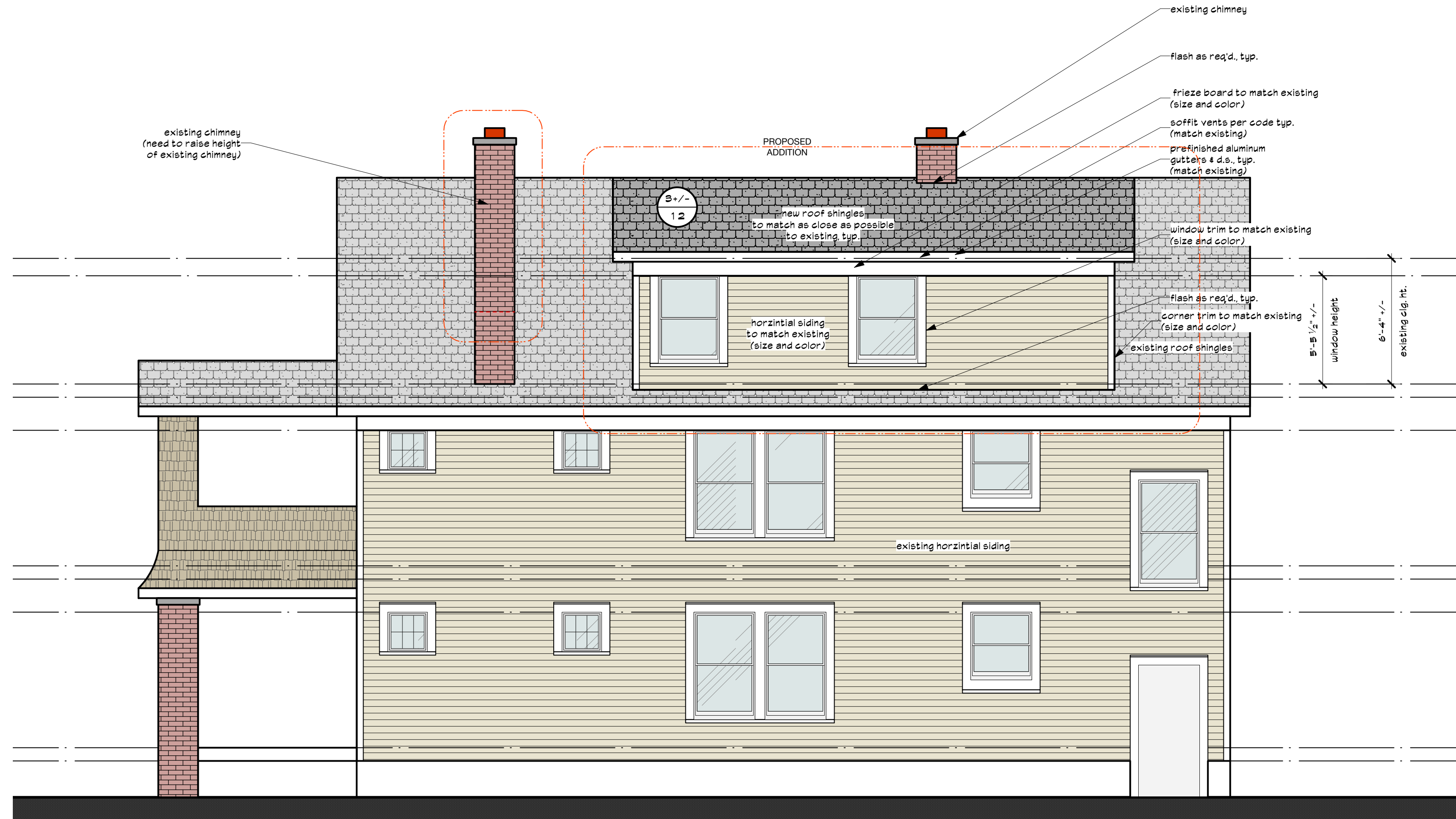
**rear elevation**

scale: 1/4" = 1'-0"



**front elevation**

scale: 1/4" = 1'-0"



**right side elevation**

scale: 1/4" = 1'-0"



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**104**

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DATE	ISSUE	
5/21/25	permits	
REV	DATE	DESCRIP.
A	5/30/25	doc rev.

SHEET TITLE

elevations

SHEET

**A-2**

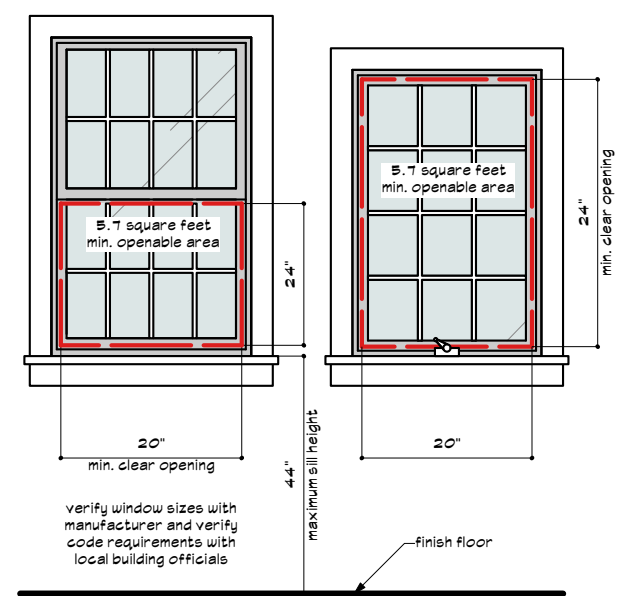


# window size designation note

Window sizes are designated in feet and inches.  
 Indicates the size of window  
 3060 = 3'-0" x 6'-0"

Indicates what type of window  
 SH - single hung  
 DH - double hung  
 AWH - awning  
 C - casement  
 F - fixed

Indicates the operation of window  
 (E) - egress  
 (T) - tempered glass



## typical window egress requirements

## treated wood note

1) all anchors, connectors, fasteners etc. must be of suitable material to resist reaction or corrosion with the treated lumber. consult with manufacturer or material supplier for proper fasteners required.  
 2) provide preservative treated wood with quality mark as:  
 a) framing members with a 8' of grade on concrete or masonry.  
 b) exterior wood siding/trim/roof framing with 16' of grade or 2' of concrete steps, porch slabs, or patio slab or similar.

## header schedule

- typical header u.o.c.
- 1) 2"x10" with 1/2" plywood spacer for 2"x4" walls.
  - 2) 2"x10" with 1/2" plywood spacer for 2"x4" walls.
  - 3) 2"x10" with 1/2" plywood spacer for 2"x4" walls.

## lvl notes

\* lvs denote laminated veneer lumber sections with section depths indicated on plan.  
 \* all lvs are 1 3/4" wide typical.  
 \* all lvs are flush with floor framing u.o.c.

## rafter/ceiling joist schedule

Ohio Residential Building Code 2019 RBS02.21(2)  
 Lumber Source: Pine-Fir (SPF) #2 or equal, unless noted otherwise. Refer to roof truss shop drawings for layout and spacing of joist.

- A 2" x 12" rafters @ 16" o.c.
- B 2" x 10" rafters @ 16" o.c.
- C 2" x 8" rafters @ 16" o.c.
- D 2" x 6" rafters @ 16" o.c.
- E 2" x 12" ceiling joist @ 16" o.c.
- F 2" x 10" ceiling joist @ 16" o.c.
- G 2" x 10" ceiling joists @ 16" o.c. Douglas fir select structural
- H 2" x 8" ceiling joists @ 16" o.c.
- J 2" x 6" ceiling joists @ 16" o.c.
- T1 pre-engineered roof truss system refer to mfg. shop drawings
- T2 pre-engineered roof truss system attic type refer to mfg. shop drawings
- T3 pre-engineered roof truss system scissor type OR modified refer to mfg. shop drawings
- T6 pre-engineered girder truss refer to mfg. shop drawings

## column schedule

\* unless noted otherwise, 4"-0" openings shall have 1 jamb & 1 king stud each side. openings over 4'-0" shall have 1 jamb & 2 king studs each side.

- \* block all posts & multi stud posts to solid support below. multi stud posts shall be glued & nailed.
- \* all columns to be laterally braced full length.

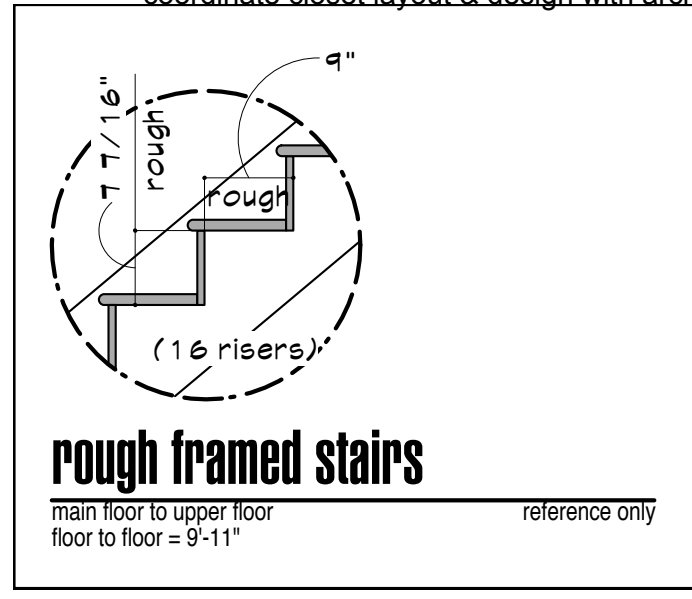
- C1 (3)2x4
- C2 (4)2x4
- C3 (5)2x4
- C4 (6)2x4
- C5 4x4
- C6 (3)2x6
- C7 (4)2x6
- C8 3 1/2" x 5 1/4" PSL
- C9 5 1/4" x 5 1/4" PSL
- C10 has 4x4 square steel column with 1/2" bearing plate and cap plate bolted to sound bearing and beam above
- C11 3" dia. adjust. schd. 40 steel column with 1/2" bearing plate bolted to sound bearing

## post & footing schedule

- P1 4x4 treated wood post with post base and post cap on 16" dia. x 48" deep conc. footing on undisturbed soil
- P2 6x6 treated wood post with post base and post cap on 20" dia. x 48" deep conc. footing on undisturbed soil
- P3 8x8 treated wood post with post base and post cap on 32" dia. x 48" deep conc. footing on undisturbed soil

## steel column & footing schedule

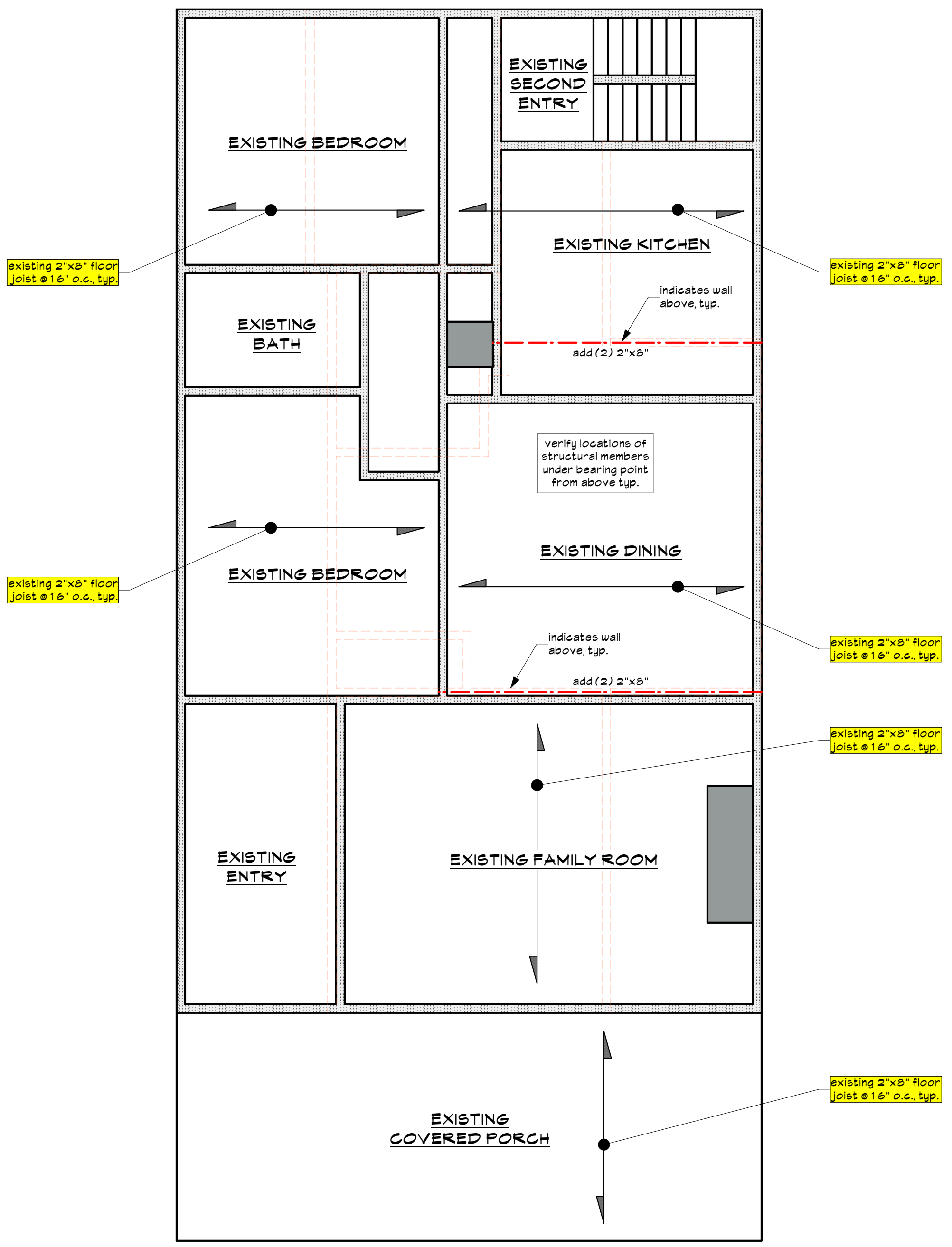
- W 4" inside dia. schedule 40 steel column over 42"x12" deep conc. footing with (5)#5 bars each way at bottom
- X 4" inside dia. schedule 40 steel column over 30"x30"x12" deep conc. footing with (4)#5 bars each way at bottom
- Y 4" inside dia. schedule 40 steel column over 30"x30"x12" deep conc. footing with (3)#5 bars each way at bottom
- Z 36"x36"x12" deep conc. footing with (4)#5 bars each way at bottom
- U 30"x30"x12" deep conc. footing with (3)#5 bars each way at bottom
- V 24"x24"x12" deep conc. footing with (2)#5 bars each way at bottom



## rough framed stairs

main floor to upper floor floor to floor = 9'-11"

## upper floor plan



scale: 1/4" = 1'-0"

g.c. shall provide caulk and seal package of all gaps between frame walls.

g.c. and / or owners shall notify the architect of any field changes made to the plans or building during construction.

field changes made to the building without the consultation and/or approval of the architect will be the sole responsibility of g.c. and building owners.

g.c. shall notify the architect of any questions or clarifications of the design drawings, any changes or alteration made to the drawings without the consent or clarification of the framing notes

all windows shall be flashed and sealed over nailing flanges with window flashing tape.

all enclosed attics and rafter spaces shall have cross ventilation with the net free ventilating area not less than 1/300 of the area to be ventilated. all openings shall be protected against the entrance of snow and rain.

provide 1"x3"x" bridging @ 8' 0" o.c. or solid blocking all angled walls are 45 degrees u.o.c.

adjust all overhangs of different pitches to maintain consistent level .

all lumber in contact with masonry and/or concrete shall be protected from decay in accordance with o.c. 317.1.2 provide 2" 4" clear spacing between masonry fireplaces and all wood framing.

provide firestopping between floor levels.

all cutting, notching, and boring shall be in conformance with o.c. 1-602.6 & 1-602.6.1 all joists, beams and girders shall bear a minimum of 1-1/2" on wood or metal, and 3" on masonry.

of masonry or concrete walls, and at the ceiling and floor or roof levels.

it is the responsibility of the builder and/or owner to verify that all lumber used for this project meets or exceeds the minimum requirements of strength and moisture content set forth by the state and local building codes.

all jacks shall be blocked below the deck.

all partitions over 10' 0" high shall be framed w/ 2"x6" 's @ 16" o.c. provide 3-2x4 structural column @ wood beam bearing points.

provide 3" steel column @ steel beam bearing points. provide 2x6 top plate of all steel beams- stagger bolt @ 2' 0" o.c. w/ 3/8" bolts. provide galvanized joist hangers @ all flush beams. install per manufacturers specifications. provide 2x6 stiffbac

porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.

open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guards not less than 34 inches in height measured vertically from the nosing of the treads.

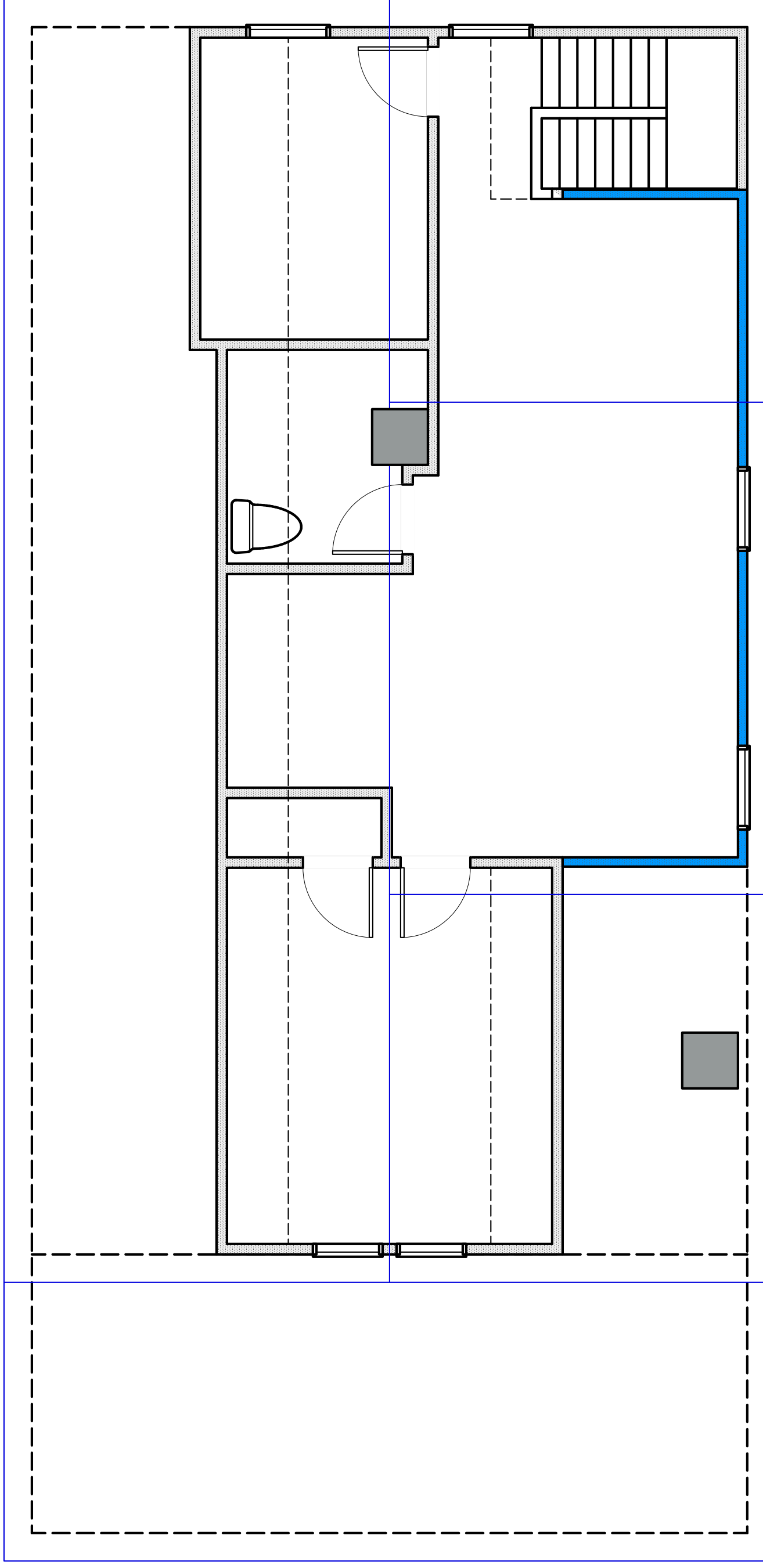
required guards on open sides of stairways, raised floor area, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches or more in diameter.

firestopping shall be installed in all concealed spaces of stud walls and partitions including furred or studded off spaces of masonry or concrete walls, and at the ceiling and floor or roof levels.

firestopping shall be installed at all interconnections between vertical and horizontal spaces such as occurring at soffits over cabinets, drop ceilings, cove ceiling, etc.

coordinate cabinet layout & design with architect

coordinate closet layout & design with architect



## general plan notes

- 1) exterior walls are dimensioned at 4" to the outside (1/2" sheathing with 3 1/2" rough, unless otherwise noted) or concrete walls are dimensioned at 2" to the outside (1/2" sheathing with 3 1/2" rough, unless otherwise noted). interior wood framed walls are dimensioned at 3 1/2" rough, unless otherwise noted.
- 2) building contractor must verify all site conditions prior to commencement of construction.
- 3) all wall angles are 45 degrees unless otherwise noted.
- 4) field verify all window locations & rough openings as required with window manufacturers specifications.
- 5) provide safety glass for windows glazing < 18" a.l. or adjust window size typ.
- 6) structural and framing members indicated are sized based on species of lumber that satisfy the span.
- 7) builder verify that all roof truss bracing and bear on load bearing walls which align as shown and terminate at foundation and be supported by thickened slab grade beam or footing as indicated.

## wall bracing notes

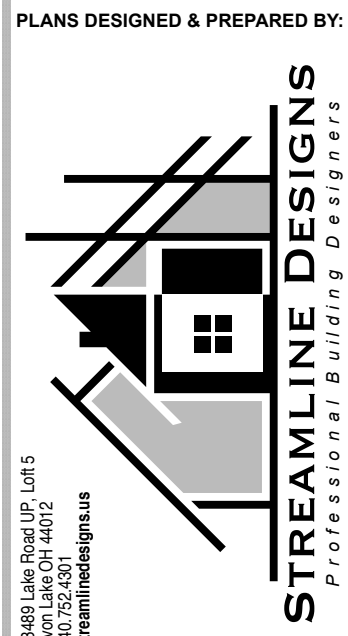
all exterior walls shall be continuously sheathed and built per wall type 1 specification indicated on wall brace details, sheet A-9

2 denotes type 2 interior braced wall to be built per specifications and details on sheet A-9

## floor joist schedule

Ohio Residential Building Code 2019 RBS02.21(2)  
 Lumber Source: Pine-Fir (SPF) #2 or equal, unless noted otherwise. Refer to TJI floor joist shop drawings for layout and spacing of joist.

- 560 20" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 20" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 20" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 20" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 20" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 20" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 16" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 16" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 16" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 16" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 14" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 14" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 14" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 14" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 11 7/8" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 11 7/8" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 11 7/8" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 11 7/8" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 11 7/8" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 11 7/8" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 9 1/2" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 9 1/2" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 9 1/2" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 9 1/2" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 360)
- 560 9 1/2" TJI floor joists @ 12" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 9 1/2" TJI floor joists @ 16" o.c. with bracing per mfg. shop drawings. (series 210)
- 560 2X12 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
- 560 2X12 floor joists @ 16" o.c. double every other joist with 'x' bracing @ midspan or as required.
- 560 2X12 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
- 560 2X10 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
- 560 2X10 floor joists @ 16" o.c. double every other joist with 'x' bracing @ midspan or as required.
- 560 2X10 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
- 560 2X10 treated floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.



# Valentino Residence

1515 Wayne, Lakewood, Ohio



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JOB NUMBER  
**104**

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 JMB

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5/21/25	permits	
REV	DATE	DESCRIP.
A	5/30/25	doc rev.

SHEET TITLE  
**upper floor plan**

SHEET  
**A-4**

of  
 5

### design loading for braced walls

wind..... 115 mph, exposure b

### wall bracing note

This fully sheathed structure per the 2019 IRC relies on the sheathed exterior walls built in accordance with the requirements listed on this page for lateral stability and is considered adequately braced in accordance with the building code.

**\* NOTE: "SHEAR WALL" AND "BRACED WALL" TERMINOLOGIES ARE EQUAL AND INTERCHANGEABLE ON THIS DRAWING**

### braced wall construction specifications

wall type 1 - typical exterior shear wall construction requirements:  
all exterior walls shall have continuous sheathing 3/16 1/2" or 15/32" exposure 1 with 8d common nails at 6" o.c. at edges and 12" o.c. at intermediate supports with interior drywall finish comprised of 1/2" minimum gypsum board with 5d x 1 5/8" nails, or #6 x 1 1/4" type w or s screws at 7" o.c. at edges and 12" o.c. at intermediate supports.

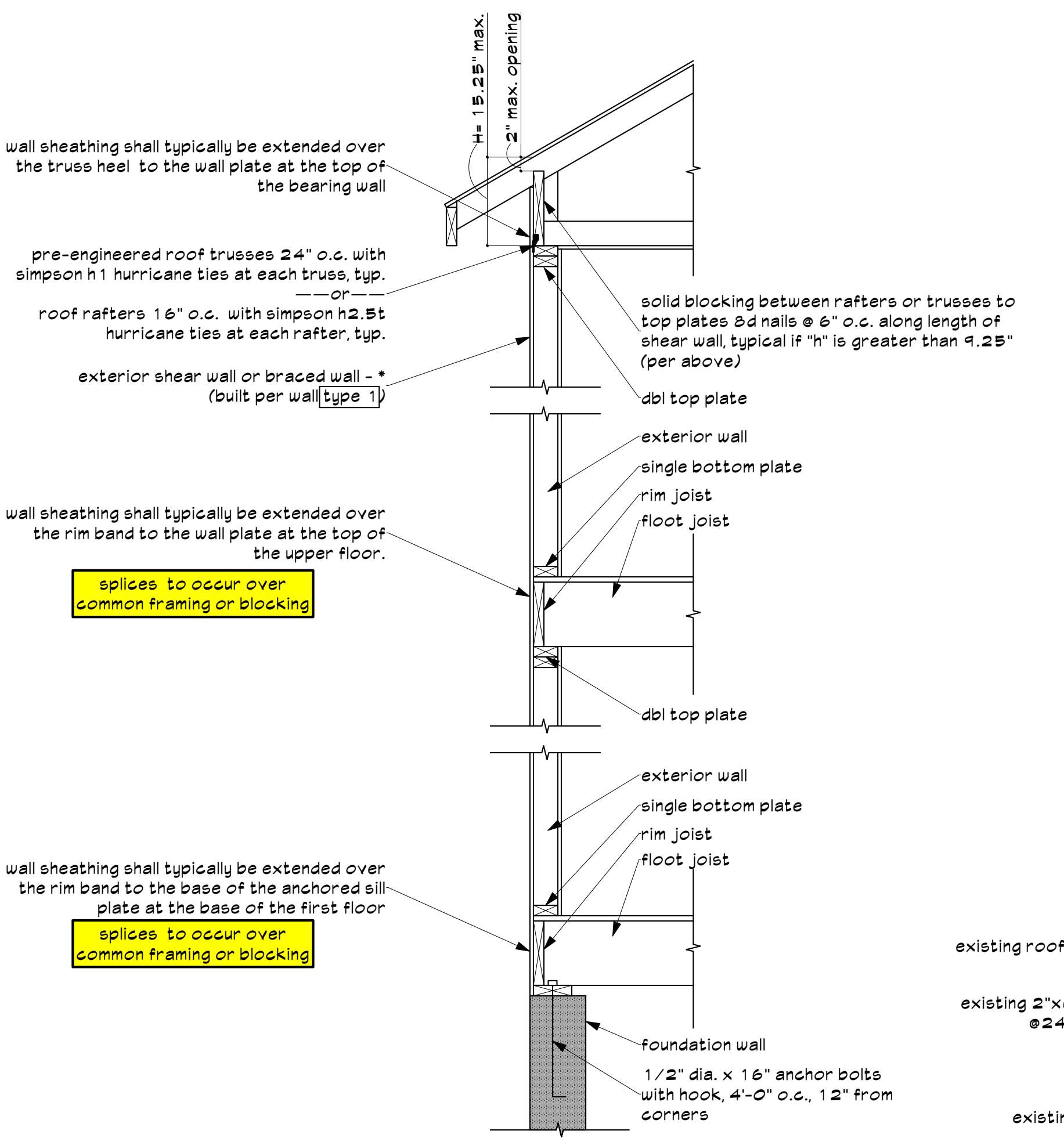
wall type 2 - typical interior shear wall construction requirements:  
interior shear walls as indicated on plan shall have 1/2" gypsum board with 5d x 1 5/8" galvanized nails or no. 6 x 1 1/4" long type w or s screws at 4" o.c. at edges and 7" o.c. at intermediate supports or 5/8" gypsum board with 5d x 1 7/8" galvanized nails or no. 6 x 1 1/4" long type w or s screws at 7" o.c. at edges and 7" o.c. at all supports

sidewall flashing  
scale 1 1/2"=1'-0"

window/door opening wrap  
scale 1 1/2"=1'-0"

flashing system at window  
scale 1 1/2"=1'-0"

rules for dimension "h":  
- For "h" less than 4 1/4", no blocking required  
- For "h" greater than 4 1/4" up to 15 1/4", install blocking per above.  
- For "h" greater than 15 1/4", further engineering is required.

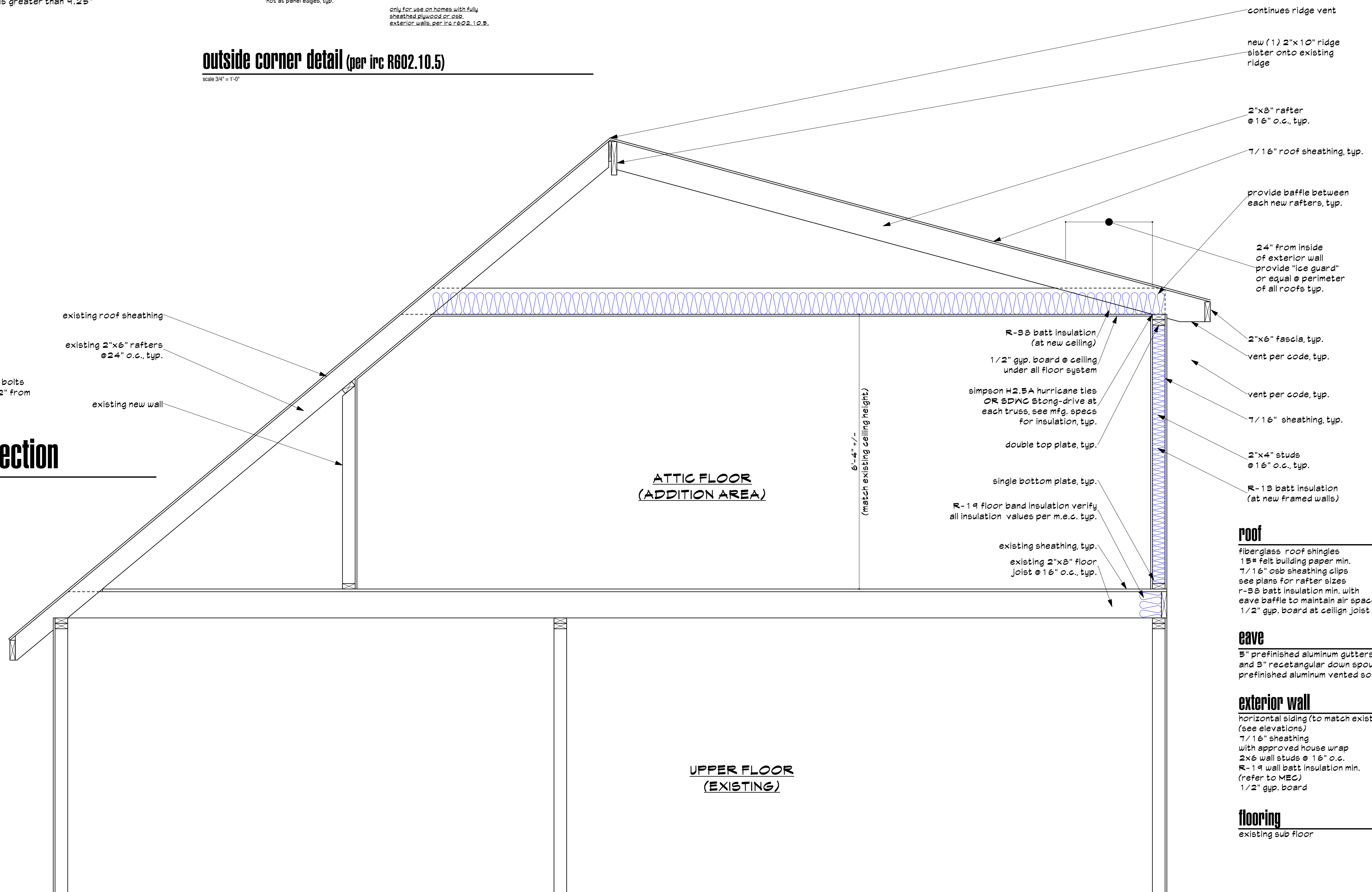
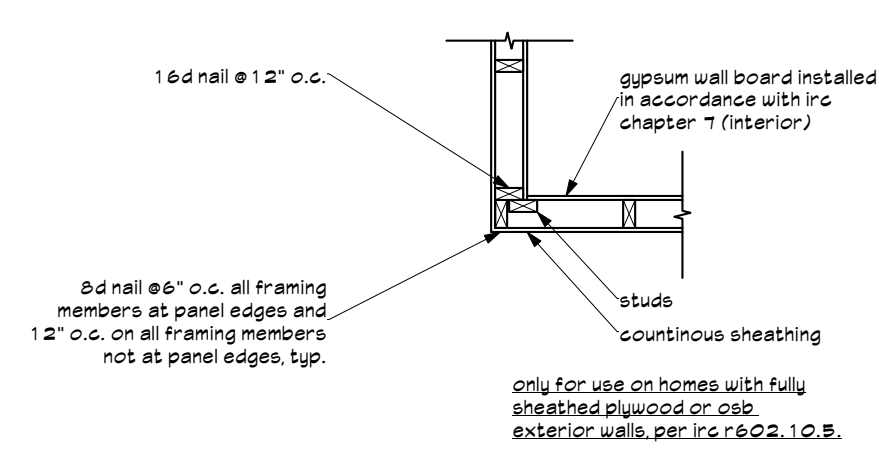


### typical exterior full continuous sheathing section

scale 3/4" = 1'-0"

### outside corner detail (per IRC R602.10.5)

scale 3/4" = 1'-0"



### typical wall section

scale 3/4" = 1'-0"



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

P: (216) 529-6630  
F: (216) 529-5907  
planning@lakewoodoh.gov

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Application Cover Page

Docket No.: 07-60-25

Permit No.: BBS25-000061

Applicant Name: Aleksandra Brankov, Lakewood Seventh Day Adventist Church

Project Address: 1382 Arthur Ave.

Project Name: Lakewood Seventh Day Adventist Church

Project: Applicant proposes to paint the brick exterior of the church school building to be consistent with the adjacent painted brick wall.





# Exterior Painting Estimate

## Pinpoint Painting LLC

8001 Sweet Valley Drive  
Suite #10  
Valley View, OH 44125  
Office Phone: 216-524-3365



[www.PinpointPainting.com](http://www.PinpointPainting.com)

Owner: Doug Rhamy  
Phone: 440-665-9709  
Fax: 440-334-5240  
E-mail: [doug@pinpointpainting.com](mailto:doug@pinpointpainting.com)

---

Customer Name:	Seventh Day Adventist Church	Job Address:	1382 Arthur
	Attn: Aleksandra Brankov		Lakewood
Phone Number:	440-364-3223	Proposal Date:	3-13-23 <b>Revised 5-5-25</b>
E-Mail Address:	<a href="mailto:aleksandra530@gmail.com">aleksandra530@gmail.com</a>		

## PROJECT DESCRIPTION

- **QUOTE 1 Exterior Painting Project that includes:**
  1. Prime & Paint North Facing Brick Wall (previously painted, beginning at "column" adjacent to other/unpainted brick)
  2. Prime & Paint Brick on 1 story portion of building, including section of brick on roof – ends at north facing wall facing tennis courts (priced as optional add-on)
  3. Paint Wood Soffits & Fascia on 1 story portion of building – ends at north facing wall facing tennis courts (priced as optional add-on)
- **OPTIONAL ADD-ON Exterior Painting Project that includes:**
  1. Prime & Paint Brick on North Facing Side (1 story) facing tennis courts
  2. Paint Wood Soffits & Fascia on North Facing Side (1 story) facing tennis courts
  3. Paint Metal Door & Adjacent Trim on North Facing Side (1 story)

**Exclusions:** windows, window casings, any surface not previously painted or listed above

## PREPARATION

- Exterior: Protect driveway, landscaping and other property in work area with plastic and tarps
  - Exterior: Scrape loose and flaking coatings to the best of our ability in a thorough and workmanlike manner
  - Exterior: Prime bare brick with Sherwin-Williams Loxon Conditioner Masonry Primer
  - Exterior: Spot prime areas of bare wood or new boards
  - Exterior: Spot prime areas of rust or bare metal
  - Exterior: Re-caulk where existing caulk is either loose or missing
  - Exterior: Windows and storm windows (if applicable): the following items, pertaining to windows and storm windows, will be an additional charge at our Add-on rate listed below:
    1. Re-glazing of windows
    2. Storm window removal and re-installation
  - Perform thorough cleanup at the end of the project
- Note: Our general surface preparation includes scraping loose and flaking coatings to the best of our ability. Existing imperfections on the surfaces that are to be painted (e.g. ridges caused by previous scrape and repaint applications) as well as previous paint spatters/drips will remain unless otherwise specified in the preparation section above. Restoration work (e.g. extensive sanding, paint removal, grinding, wood filling) and other extensive surface preparation will be subject to an agreed upon additional charge prior to such work commencing.
- Note: Pinpoint Painting will do its best to avoid damaging plants, shrubs and general landscaping. However, there may be times when damage to landscaping is unavoidable. Examples: bushes or shrubs are too close to the home, or bushes and shrubs are in a location that ladders, cords, equipment, foot traffic must be set in the same place, whether for safety or workmanship.

**PAINTS & FINISHES**

Area	Product	Color	Coats
Exterior areas to be painted	Sherwin-Williams or Pittsburgh Paints (PPG) Exterior Flat (See product options below)	TBD	2
Exterior – brick primer	Sherwin-Williams Loxon Conditioner Masonry Primer	Clear / White	1
All Doors	Sherwin-Williams DTM Direct-to-Metal Semi-Gloss	TBD	2

**COLORS**

- Color scheme included in this proposal: Based on current color scheme, colors may change

Additional colors added to the color scheme (E.g. multiple-colored spindles, additional trim and accent colors) will result in an agreed upon additional cost.

**PRICING**

We proudly use high quality coatings from both Sherwin-Williams and Pittsburgh Paints (PPG). Listed below you will find 3 price levels and their respective paints that will be used on your project. Each pair of products, which are equal in quality, has been carefully selected to ensure we give you the highest possible performance at each price level. All other specialty products are listed above in the "Paints & Finishes" section.

Visit this address for more information about the above paints (or click the link) → [www.pinpointpainting.com/paints](http://www.pinpointpainting.com/paints)



**Best**



Sherwin-Williams Duration  
PPG Permaizer (Timeless)

QUOTE 1 Exterior  **\$9,765**

**Better**



Sherwin-Williams SuperPaint  
PPG Acri-Shield (Manor Hall)

**\$9,070**

**Good**



Sherwin-Williams A-100  
PPG Sunproof (Fortis 350)

**\$8,745**

- After pricing level is selected, Pinpoint Painting will determine which product will be used based on location and availability.
- This amount includes all labor, paint, and materials needed to complete the work.

**PROPOSED ADD-ONS**

Listed below are optional add-ons to the estimated prices above. Note: unless otherwise specified, add-ons below are listed at "Better" pricing level and will be adjusted accordingly if *Best* or *Good* paint options are used.

- **Prime & Paint North Facing Side of (1 story, facing tennis courts) Brick, Paint Wood Soffits, Paint Door/Door Frame = +\$1,465 (if done at same time as main project)**

**ADDITIONAL CHARGE INFORMATION (If Applicable)**

**CARPENTRY**

- Pinpoint Painting can perform general carpentry such as siding replacement, trim repair, deck repair/replacement, and other general carpentry. Such work will be billed as an add-on of **\$90/hour + materials** in addition to the project price. There is a **minimum charge of \$300** for all carpentry work.
- The billable hours for carpentry include, but not limited to: work performed, time spent on assessment of project, ordering and picking up materials, disposing of materials, picking up and/or dropping off tools and equipment, associated travel costs

- At times, more than one carpenter will be working on the project. Billing will adjust accordingly depending on how many carpenters are working. For example; if two carpenters are working, the billing rate would be \$150/hour + materials.
- **Important Note regarding initial estimated ranges:** An initial time-frame estimate or range may be given or listed on estimate. We will bill to the exact hours spent on the work, which may be less or exceed the initial estimate range. By signing this contract, the customer understands that the exact hours spent on the additional carpentry work will be billed and understands that the actual hours may be less or more than any initial estimated range that was discussed or listed on the estimate.
- **Important Note regarding payment terms:** A materials deposit may be required for carpentry work. All carpentry work will be billed as a separate invoice, which will be due upon receipt of invoice. This may include progress invoices prior to completion of work.
- Design Consultation that is beyond color consultation will be billed at \$80/hour + materials. This may include, but not limited to: selection assistance of window treatments, tile, flooring, fixtures, and other items that may be consulted during project. This does not apply to color consultation, which is included at no additional cost for any booked project.

#### **ADD ONS**

- Pinpoint Painting will bill any additional charges such as; added painting projects or drywall and plaster work, excessive brush removal, excessive furniture removal, hanging lights, or other miscellaneous tasks that may be requested by the customer at **\$70/hour + materials**. Estimates that are approved through the add on system are based on this billing rate with the exception of Carpentry.

#### **PAYMENT TERMS**

- Deposit Required: 0
- Note: For projects exceeding \$15,000, progress invoice(s) may be required
- **Note: If your project includes carpentry**, please see notes regarding carpentry payment terms in *Additional Charge Information* section above.
- Note: There will be a 1.5% fee accessed to all Credit Card Payments
- Signed proposal is required prior to beginning project.
- **Full payment is due at the time of project completion.**
- Methods of payment accepted: Cash, Check, E-Check, Credit Card



#### **CONDITIONS**

- Unforeseen conditions that arise that could not be determined by visual inspection prior to beginning the work will be subject to an additional charge.
- Colors are to be chosen prior to commencement of work. If a color change is requested after the project has commenced, the customer will incur additional labor and material charges that result from the color change.
- Any alteration or deviation from the above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the amount on this estimate. All agreements are contingent upon accidents, or delays beyond our control.
- Slate/Tile/Shingle Roof (if applicable) – It may be necessary to walk on the slate/tile/shingle roof to properly paint all areas. Pinpoint Painting will take caution while walking on the slate. Pinpoint Painting will not be responsible for tiles/shingles that break or crack, and such repairs would need to be done by a contractor who specializes in such work.
- Windows/storm windows (if applicable) – It may be necessary to open and close windows or remove/re-install storm windows. Pinpoint Painting will take caution while working on these areas. Pinpoint Painting will not be responsible for windows that break or crack. Repair costs would be the responsibility of the customer.
- This proposal is valid for 60 days after the proposal date listed above.

#### **FURNITURE**

- Unless otherwise noted or discussed and decided upon, Pinpoint Painting will expect that pictures, paintings, mirrors and other decorations will be removed from the walls prior to the arrival of the paint crew.
- Pinpoint Painting will aid in the moving of large furniture (i.e. sofas, end tables, bookshelves, beds)
- It is the responsibility of the homeowner or business owner, unless otherwise noted, to remove pictures, books, and other decorative items from the shelves prior to the arrival of the paint crew.
- Any deviations from the standards listed may result in additional charges. These charges would be discussed and approved by homeowner prior to work commencing.

#### **WARRANTY**

- Visit this address for more information about our Hassle-Free 2 Year Touch-up Guarantee (for most projects) and Extended Warranty (or click the link) → <http://www.pinpointpainting.com/warranty>

#### **ADDITIONAL INFORMATION**

1. Certificate of Liability Insurance available upon request.
2. We have a decorator available for color consultations at all times. This service is free of charge if we have your signed proposal for the project.
- 3.
4. We appreciate the opportunity to place a yard sign in front of your home to promote our company while working on your project. Please initial here if this is not acceptable: \_\_\_\_\_
5. We will likely be taking before and after pictures of the project. We may post these pictures to our website or social media pages. If you would prefer us not to use pictures of your project, please initial here: \_\_\_\_\_
6. We strive to keep a clean and neat work environment while we are working on your project. Our crew will perform basic cleanup each day. Ladders, tools, drop cloths and other supplies will be stored away in a safe and acceptable location deemed appropriate by the client. A thorough cleanup will be done upon completion of the project.
7. We are EPA Certified Lead-Safe Contractors. License #NAT-F111764-1
8. Visit our Facebook page for more information on our company and photos of recent projects.  
www.facebook.com/pinpointpaintingllc



**EPA LEAD-SAFE "RENOVATE RIGHT" PAMPHLET (THIS SECTION IS ONLY FOR HOMES BUILT PRE-1978)**

To view pamphlet: <https://www.epa.gov/sites/production/files/2020-09/documents/renovaterightbrochurebwlandscapesep2011.pdf>

I have received a copy of the lead hazard information pamphlet informing me of the potential risk of the lead hazard exposure from renovation activity to be performed in my dwelling unit. I received this pamphlet before the work began.

\_\_\_\_\_  
Printed Name of Owner-occupant

\_\_\_\_\_  
Signature of Owner-occupant

\_\_\_\_\_  
Signature Date

**PROJECT ACCEPTANCE**

I acknowledge and accept the terms and conditions of this estimate.

Customer Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Preferred contact method for scheduling, job updates, etc:

- Phone: \_\_\_\_\_
- Text: \_\_\_\_\_
- E-Mail: \_\_\_\_\_

Respectfully Submitted By:

Doug Rhamy  
Owner –  
Pinpoint Painting LLC